

**MACEDONIA PLANNING COMMISSION  
PUBLIC HEARING  
NOVEMBER 21, 2022**

**TIME: 5:15 p.m.**

**CALL TO ORDER:**

**ROLL CALL:** Mr. Cox, Mr. Schiavone, Mr. Westbrook, Mr. Roberts, and Mr. Wallenhorst.

- 1) Mr. Barber with Active Plumbing Supply is proposing approval of a Conditional Use Certificate to allow wholesale plumbing supply sales in a G-1 General Industrial District.

Blake Barber  
Director of Finance and Administration  
Active Plumbing Supply  
440-352-4411  
[blakeb@activeplumbing.com](mailto:blakeb@activeplumbing.com)

**---CLOSE PUBLIC HEARING---**

**MACEDONIA PLANNING COMMISSION  
MEETING AGENDA  
NOVEMBER 21, 2022**

**Location:** Macedonia City Hall  
Council Chambers  
9691 Valley View road  
Macedonia, Ohio 44056

**Time:** 5:30 P.M.

**Call to Order**

**Roll Call:**

- Mr. Westbrooks
- Mr. Schiavone
- Mr. Cox
- Mr. Wallenhorst
- Mr. Roberts

**Approval of the October 17, 2022 minutes.**

**Agenda Items:**

- 1) Mr. Barber with Active Plumbing Supply is proposing approval of a conditional use certificate to operate retail & wholesale plumbing supply sales in a G-1 General Industrial District.

Blake Barber  
Director of Finance and Administration  
Active Plumbing Supply  
440-352-4411  
[blakeb@activeplumbing.com](mailto:blakeb@activeplumbing.com)

- 2) Mr. Zickafoose is proposing an addition of a pickup window & revised parking for the Chipotle restaurant located at 8195 Golden Link Blvd.

Jordan Zickafoose  
1495 Old Henderson Rd.  
Columbus, OH 43220  
614-306-4111  
[jordanz@sandsdecker.com](mailto:jordanz@sandsdecker.com)

- 3) Mr. Cospers is proposing a change to the façade at Gateway Plaza located at 500 E. Aurora Rd. for The Rack.

Craig Cospers  
6060 Rockside Woods Blvd. North, Suite 100  
Independence OH 44131  
216-524-8400  
[ccospers@cuparc.com](mailto:ccospers@cuparc.com)

**Miscellaneous:**

**Adjournment**

**Tabled Items:**

**Continued items:**

- 7/18/2022 Proposed addition to the Goddard School located at 2073 Alexandria Way.**  
**7/18/2022 Proposed pick-up window at Chipotle located at 8195 Golden Link Blvd.**  
**7/18/2022 Proposed installation of vehicle charging stations located at 8100 Macedonia Commons Blvd.**

**The next regularly scheduled meeting is set for December 19, 2022**  
**All requests & documentation for the Planning Commission must be submitted by November 18, 2022**  
**Tabled items will be removed after one (1) year of inactivity.**

**MACEDONIA PLANNING COMMISSION  
PUBLIC HEARING MINUTES  
OCTOBER 17, 2022  
5:15 p.m.**

**CALL TO ORDER**

Mr. Westbrooks called the Public Hearing to order at approximately 5:18 p.m.

**ROLL CALL:**

Present: Mr. Westbrooks, Mr. Cox, and Mr. Wallenhorst. Mr. Roberts & Mr. Schiavone were absent.  
City Planner: Mr. Frantz  
City Fire Inspector: Mr. Kalish  
Building Commissioner: Mr. Rodic

**PROPOSED CONDITIONAL USE PERMIT TO CONSTRUCT SELF-STORAGE UNITS IN A G-1 INDUSTRIAL DISTRICT**

NO PUBLIC COMMENT

**PROPOSED CONDITIONAL USE PERMIT TO DETERMINE A COMPATIBLE USE FOR TRAILER SALES SIMILAR TO AUTOMOBILE SALES IN A G-1 INDUSTRIAL DISTRICT.**

Mr. John Carse commented that he is totally in support of approving the Conditional Use Permit.

End

**ADJOURNMENT**

Mr. Westbrooks motioned to adjourn at 5:22 p.m. Mr. Wallenhorst seconded, and Mr. Cox agreed.

-----Close Public Hearing-----



**MACEDONIA PLANNING COMMISSION  
OCTOBER 17, 2022  
MEETING MINUTES**

**CALL TO ORDER:** Mr. Westbrooks called the meeting to order at approximately 5:33 p.m.

**MEMBERS PRESENT:**

Planning Commission: Mr. Westbrooks, Mr. Schiavone, Mr. Cox, and Mr. Wallenhorst.

**ABSENT:** Mr. Roberts

City Planner: Mr. Frantz

City Fire Inspector: Mr. Kalish

Building Commissioner: Bob Rodic

**APPROVAL OF THE SEPTEMBER 19, 2022 PLANNING COMMISSION MEETING MINUTES.**

Mr. Schiavone motioned to approve, Mr. Wallenhorst seconded, Mr. Westbrooks agreed, and Mr. Cox abstained.

**PROPOSED CONDITIONAL USE PERMIT TO CONSTRUCT SELF-STORAGE UNITS IN A G-1 DISTRICT.**

Mr. Kresse and Mr. Valante were present. Mr. Frantz made his comments. Mr. Kresse gave an overview of the project. Mr. Frantz made his comments. Mr. Kalish commented that, per 2017 Ohio fire code, a secondary driveway or emergency access is required with the square footage of the building and 300 feet spacing for fire hydrants per the city code. The secondary driveway was discussed. Mr. Kalish requested that the fire hydrants be inside the fence. Mr. Westbrooks motioned to approve the Conditional Use permit with stipulations: Additional landscaping per the City Planner memo, a lease agreement to allow the fire department to do inspections, notation of no outdoor storage, and a 500-foot setback is allowed. Mr. Cox seconded, Mr. Schiavone and Mr. Wallenhorst agreed.

**PROPOSED PRELIMINARY PLAN APPROVAL FOR SMART SELF STORAGE UNITS LOCATED AT 8231 BAVARIA RD.**

Mr. Kresse and Mr. Valante were present. Mr. Frantz made his comments. The wetland impact was discussed and is in the process of being permitted. Mr. Frantz discussed the landscaping, focusing on the terrain and easements with the property to the north that is in Twinsburg, and the landscaping in the front of the property. The barrier free parking space was discussed as well as the drive isle. Mr. Frantz commented that the applicant could apply to the BZA to eliminate the parking lot. Mr. Valante stated that if BZA disapproves the elimination of the parking lot that they would go back to the co compliant parking lot. Mr. Valante commented that the chain link fence will be from the northeast building H down to building D and will not go around the entire property. Mr. Frantz requested a cross section view of the fence and how it gets constructed onto the future proposal. The lighting was discussed. Mr. Frantz requested the City Architectural Advisor should review the plans. Mr. Westbrooks motioned to approve the preliminary plans subject to the City Planner and Fire Inspector's comments. Mr. Cox seconded, Mr. Wallenhorst and Mr. Schiavone agreed.

**PROPOSED CONDITIONAL USE PERMIT TO DETERMINE A COMPATIBLE USE FOR TRAILER SALES IN A G-1 INDUSTRIAL DISTRICT.**

Mr. Startzenbach and Mr. Henning were present and gave an overview of what they were planning, stating that they are a trailer sales company currently located in Oakwood Village and would like to move to Macedonia. Mr. Frantz made his comments. The Planning Commission identified the trailer sales as a permitted use in a general industrial district.

**PROPOSED CONCEPTUAL SITE APPROVAL FOR JOHN'S TRAILER COMPANY LOCATED ON PARCEL NUMBER 3313343.**

Mr. Sartzenbach and Mr. Henning were present and commented that the plans are conceptual and the wet land study has not been done yet and gave an overview of the plans. Mr. Cox questioned if they saw Mr. Frantz's comments stating that they couldn't display trailers any closer than 300 feet away from the road. Mr. Startzenbach stated he was more concerned if they would be allowed to develop the property. Mr. Frantz made his comments. Parking the trailers closer to the road was discussed. Mr. Frantz stated that there was no action needed on a conceptual plan

**PROPOSED SIGNAGE FOR BURNS INDUSTRIAL & EQUIPMENT LOCATED AT 8155 ROLL & HOLD PKWY.**

Mr. Fridrich with North coast Signs was present and gave an overview of the project. Mr. Frantz made his comments. Mr. Wallenhorst motioned to approve the signage with no spacing between the sign and that the same grey color used throughout the sign. Mr. Schiavone seconded, Mr. Westbrooks and Mr. Cox agreed.

**PROPOSED AWNINGS FOR I-HOP LOCATED AT 613 E. AURORA RD.**

Mr. Farnsworth with Archer Signs was present and gave an overview of the project. Mr. Frantz stated that the two wall signs were not acceptable and Mr. Farnsworth stated that it was no longer there. Mr. Westbrooks read Ms. Shultz's memo. The metal awnings and the colors were discussed. Mr. Wallenhorst commented black would look better, but he has no issues with the blue metal awning. Mr. Wallenhorst motioned to approve the awnings subject to the Architectural Advisors recommendations only using blue awnings at the main entrance with the rest being black metal. Mr. Westbrooks seconded. Mr. Cox discussed the color blue with the applicant and the applicant responding that the blue is the branding color. Mr. Wallenhorst motioned to amend the last motion to approve the blue metal awnings as being acceptable, but the Macedonia sign with I-Hop on it on the side is not approved. Mr. Cox seconded, Mr. Westbrooks and Mr. Schiavone agreed.

**PROPOSED SIGNAGE FOR PANDA EXPRESS LOCATED AT 8253 GOLDEN LINK BLVD.**

Mr. Mc Arthur was present. Mr. Frantz made his comments. Mr. Mc Arthur stated that there is an emergency exit in the rear (south) of the building but not a customer entrance. Mr. Frantz stated that the other signs would need to be reduced in size or the applicant could seek a variance in order to have the sign on the building at the south exit. Mr. Mc Arthur stated that the logo on the heading bar can be removed. The monument sign was discussed. Mr. Wallenhorst stated that he would like to see brick go all the way across the bottom of the monument. Mr. Westbrooks motioned to approve the signage with the following additions: the elimination of the "C" signage on the south side, applicant needs to confirm the 4ft size is met for the instructional signs, no signage on the clearance bar, and the brick base is the width of the monument sign. Mr. Wallenhorst seconded, Mr. Schiavone and Mr. Cox agreed.

**PROPOSED FAÇADE CHANGE TO THE T.J. MAXX STORE FRONT AT GATEWAY PLAZA LOCATED AT 500 E. AURORA RD.**

Mr. Greenburg, Mr. Cospers, and Mr. Cipriani were present. Mr. Frantz made his comments. Mr. Frantz made his comments. The colors were discussed. There was much discussion of the corner tower. Mr. Wallenhorst commented that the Burlington store front and the corner tower were to be completed within the same time frame. A development agreement was discussed to ensure that the tower was completed. Mr. Rodic commented that he would touch base with the Law Director regarding the

Development agreement. Mr. Wallenhorst motioned to approve as submitted with the City Planner comments, elimination of the column signs, applicant to supply Burlington's white next to China White for review and approval. Mr. Cox seconded, Mr. Cox and Mr. Westbrooks agreed.

**MISCELLANEOUS:**

Mr. Wallenhorst motioned to amend the previously approved December 20, 2021 Gateway construction plans approval to add a condition that if the remainder of the building (including the RT 8 side) architecture is not reviewed by December 31, 2022 then a letter of credit or bond will need to be put in place through a development agreement with the owner and the City. Mr. Westbrooks seconded. Mr. Cox and Mr. Schiavone agreed.

**ADJOURNMENT:**

Mr. Schiavone motioned to adjourn at approximately 7:30 p.m., Mr. Wallenhorst seconded, Mr. Westbrooks, and Mr. Cox agreed.



**City of Macedonia**  
**Building, Engineering, Zoning & Planning Dept.**

*The Crossroads of Northeast Ohio*

9691 Valley View Road • Macedonia, Ohio 44056

330 / 468-8360 • Fax: 330 / 468-8396

**APPLICATION FOR HEARING BEFORE THE  
MACEDONIA PLANNING COMMISSION**

**ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.**

DATE OF APPLICATION: 10-27-2022

LOCATION OF PROPERTY INVOLVED: 7792 Capital Blvd #4

NATURE OF REQUEST: Zoning for Wholesale Use

APPLICANT NAME & PHONE: Active Plumbing Supply (Blake Barber) 440-667-6019

APPLICANT ADDRESS: 216 Richmond Street, Painesville, OH 44077

APPLICANT EMAIL ADDRESS: blakeb@activeplumbing.com

APPLICANT SIGNATURE: BLB

NOTES:

MEETING DATE: 11-21-2022 FILING FEE  ESCROW REQUIRED

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish TWO sets of sketches, maps, drawings, descriptions, or photographs of the property in question. TWO copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

**PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE. ADDITIONAL FEES MAY BE REQUIRED.**

The Macedonia Planning Commission meets on the 3<sup>rd</sup> Monday of each month.

Make checks payable to:  
City of Macedonia

Please submit plans to:  
Macedonia Building Department  
9691 Valley View Rd.  
Macedonia, OH 44056

\* Please let me know how much  
is needed.

Blake Barber (440-667-6019)



**Distributing Quality Kitchen, Bath, Plumbing & Heating Supplies for over 66 years.**

10-27-2022

Macedonia Zoning Board  
Building Department  
9691 Valley View Road  
Macedonia, OH 44056

Active Plumbing Supply is a family-owned Plumbing wholesale company based in Painesville, Ohio. We currently have 6 locations throughout the greater Cleveland Area and our future Macedonia Branch would be our 7<sup>th</sup> location. We are open to the public but the majority of our customers are made up of Plumbing Contractors and General Contractors. The majority of our sales are from the residential market but we do work with Municipalities, Hospitals, Schools and Nursing Homes.

Currently Active Plumbing Supply is being operated by the 3<sup>rd</sup> generation of the founder, which is listed below. We are looking to continue to group the company and we feel that our future branch in Macedonia will be a strong performing location. Many of our current customers already do business in Macedonia but there is a large basis of customers whom we have never done business with in the region that we feel could benefit from our product offering and proximity with the new location.

Bryce Barber – Director of Sales/Vice President/Owner  
Dale Barber – Director of Operations/President/Owner  
Blake Barber – Director of Finance and Admin./Treasurer/Owner

We appreciate your consideration for our zoning request so that we can operate in Macedonia. We are not planning on changing the building exterior beside adding new signage which I believe was already submitted. Attached will be the site sketches as well as some more information regarding the sketches to hopefully answer any questions that you may have.

Sincerely,

Blake Barber  
Active Plumbing Supply  
Director of Finance and Administration  
440-352-4411  
[blakeb@activeplumbing.com](mailto:blakeb@activeplumbing.com)

**Painesville: Main Office**  
216 Richmond Street  
Painesville, OH 44077  
P (440) 352-4411  
F (440) 352-0096

**Ashtabula**  
1220 Lake Avenue  
Ashtabula, OH 44004  
P (440) 964-7575

**Avon**  
1756 Moore Road  
Avon, OH 44011  
P (440) 934-3720

**Chagrin Falls**  
9890 E. Washington  
Chagrin Falls, OH 44023  
P (440) 543-2233

**Cleveland**  
5331 Commerce Parkway W.  
Cleveland, OH 44130  
P (216) 459-2700

**Macedonia**  
7792 Capital Blvd. #4  
Macedonia, OH 44056  
P (440) 439-6826

**Willoughby**  
38033 Elm Street  
Willoughby, OH 44094  
P (440) 953-1532

Overhead view of all of 7792 Capital Blvd, 18 parking spaces are assigned to Unit 4 and 5 (green highlighted area) which is the space going to be occupied by Active Plumbing Supply



North East Exterior – No changes to existing structure except adding signage





Unit 4 and 5 (highlighted in Green) is the building space that makes up Active Plumbing Supply's Floor plan. Unit 1, 2 and 3 are leased out to other tenants. Total Floor plan makes up 8,700 sq/ft. Unit 5 area will be mainly shelving and overstock. Unit 4 will be main sales area with gondola style shelving and a small self-pick area.

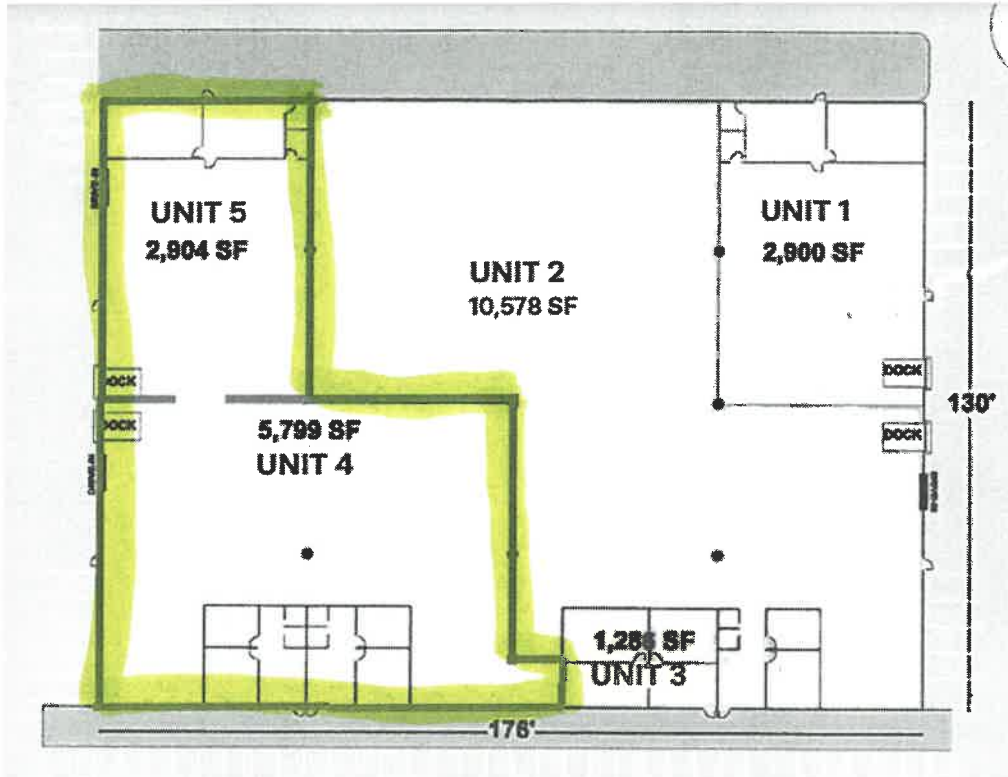


Image of inside of unit 5 with future shelving



Image of unit 4 with Gondola style shelving

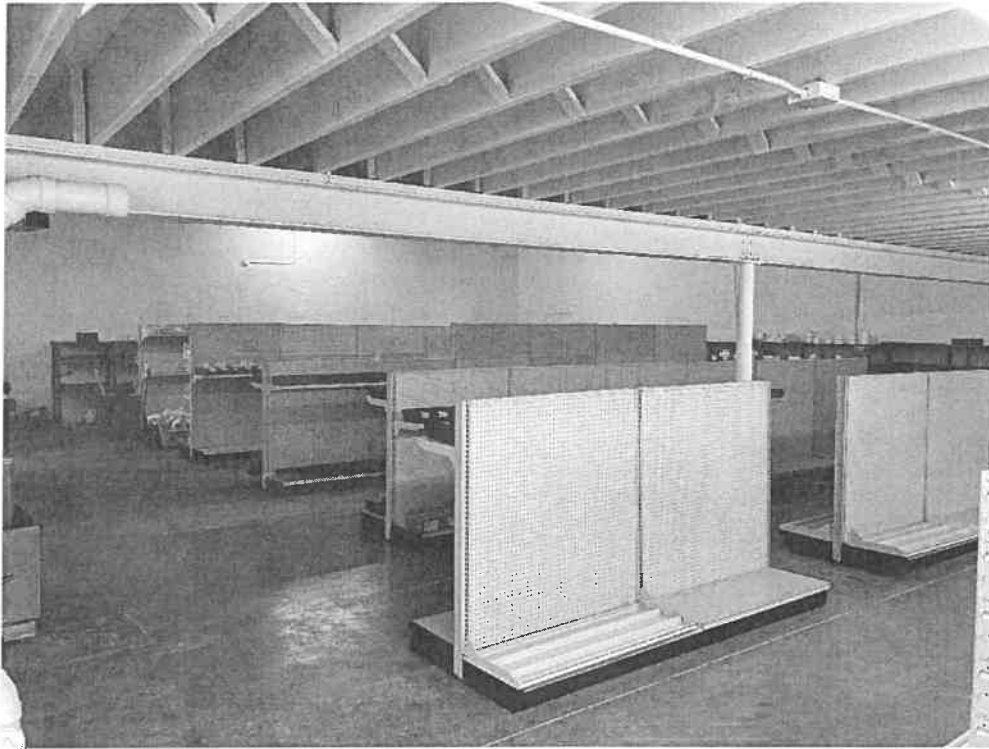
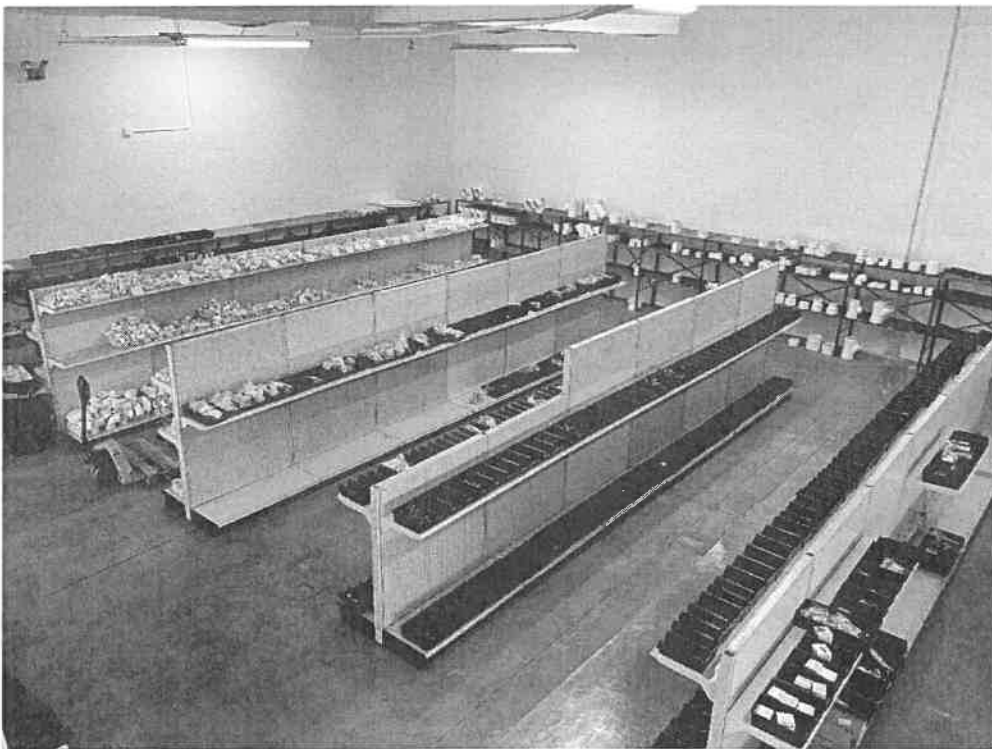


Image of unit 4 with Gondola style shelving





# Memorandum

**TO:** Nicholas Molnar, Mayor  
and Macedonia Planning Commission

**FROM:** Brian M. Frantz, AICP

**SUBJECT:** Active Plumbing Supply Conditional Use Permit – 7792 Capital Boulevard

**DATE:** November 12, 2022

---

The applicant previously proposed a 2'x3' (6 sq.ft.) instructional sign and two wall signs for their tenant space located at 7792 Capital Boulevard. The first wall sign was/is located on the rear of the building fronting Route 8 and is 4'x8' (32 sq.ft.) and the additional wall sign was/is located on the front of the building above the customer entrance and is 2'x6' (12 sq.ft.). As a reminder, this multi-tenant industrial building is located near the end of Capital Boulevard, just before the cul-de-sac, and is zoned General Industrial (G-I).

I have reviewed an application (including narrative and floor plans) dated October 27, 2022 in connection with this request and offer the Planning Commission the following comments for their consideration:

## **Analysis – Conditional Zoning Certificate**

As previously documented, the applicant's use (retail and wholesale plumbing supply sales) is not specifically permitted or conditionally permitted in the G-I District. However, Section 1169.04 (c) describes circumstances in which retail businesses can be conditionally permitted and it states:

Retail businesses which:

- a) Generally sell a single product line requiring a large floor area for the product or service sold;
- b) Are businesses occupying or intending to occupy an existing industrial building;
- c) Do not generally need to associate, for marketing purposes, with other retail businesses in a shopping center type environment; and
- d) Are determined by the Planning Commission to be compatible with the other uses permitted in this district.

When this application was previously discussed, the Planning Commission opined that the applicant's use is subject to a conditional zoning certificate requirements outlined in Section 1137.04 of the Planning and Zoning Code.

During the last discussion, information about the use and related off-street parking was not provided. The current application provides narrative that describes the leasable floor area (units four & five) and

the associated area with each. Unit four is 5,799 square feet, while unit five is 2,904 square feet. The applicant states that a total of **18 off-street parking spaces** are assigned to the two units that will be occupied by Active Plumbing.

Based on the provided area information, the required off-street parking is calculated shown below.

	Area	Required Parking	Reduction (1171.11 b 2)	Required Parking
Unit 4	5,799	1/200 (sales)=29 Spaces	5,799*.20= 4,639.2 sq.ft.	4,639.2/200=24 spaces
Unit 5	2,904	1/800 (stock)=4 spaces	2,904*.20=2,323.2	2,323.2/800=3

Even with the 20% reduction provided by Section 1171.11 (b) (2) of the Code, the total required parking for units four and five based on the applicant’s use is 27 spaces and only 18 are provided. It’s unknown whether the other units have additional parking available based on use. If the applicant can demonstrate that occupied units one, two and three have parking available for their use, then the nine-space deficiency might be irrelevant. However, if the three units utilize all the additional spaces then the applicant will need to seek a variance from the Board of Zoning Appeals (BZA).

**Analysis – Signage (not included with application but assumes no change from previous)**

The applicant’s tenant space is a corner unit (#4) located in the northwest portion of the multi-tenant industrial building. To the best of my knowledge, this unit was previously occupied by Next Level Fitness. Given the applicant is occupying a corner unit, two wall signs are permissible.

Section 1179.03 (f) (2) of the Code permits two square feet of sign area for every lineal foot of building (tenant) frontage. According to the Summit County Auditor’s records, the total building length is 178 feet, which provides for 356 of sign area. Unfortunately, the tenant frontage for this unit is not provided to accurately determine the total permissible sign area. It’s safe to assume the applicant’s proposal of 44 square feet of wall signage is acceptable, but exact frontage measurements for all tenant spaces in the building are needed to ensure compliance.

Pursuant to Section 1179.05 (a) (8) of the Code, instructional signs must be four square feet or less and are exempt from the total area requirements found in Section 1179.03 (f) (2). The proposed instructional sign is 2’x3’ (6 sq.ft.) and therefore must be reduced. A 2’x2’ customer entrance is acceptable and compliant with the Code.

**Conclusion**

As previously requested, more information is needed to approve the signage. Specifically, the frontage by tenant space is required to ensure compliance with the total permissible sign area. Moreover, the instructional sign must be reduced in area as noted. Finally, the only concern I have regarding the conditional zoning certificate relates to the off-street parking. Either the applicant needs to

demonstrate other parking spaces are available to make-up for the nine-space deficiency or they need to seek a variance from the BZA.

If you have any questions or need additional information, please feel free to contact me.



**City of Macedonia**  
**Building, Engineering, Zoning & Planning Dept.**  
*The Crossroads of Northeast Ohio*

9691 Valley View Road °Macedonia, Ohio 44056

330 / 468-8360 ° Fax: 330 / 468-8396

**APPLICATION FOR HEARING BEFORE THE  
MACEDONIA PLANNING COMMISSION**

**ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.**

**DATE OF APPLICATION:** 10/21/22

**LOCATION OF PROPERTY INVOLVED:** 8915 Golden Link Blvd, Macedonia, OH

**NATURE OF REQUEST:** Addition of pickup window & revised parking

**APPLICANT NAME & PHONE:** Jordan Zickafoose 614-306-4111

**APPLICANT ADDRESS:** 1495 Old Henderson Rd, Columbus, OH 43220

**APPLICANT EMAIL ADDRESS:** jordanz@sandsdecker.com

**APPLICANT SIGNATURE:** 

**NOTES:**  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**MEETING DATE:** 11/21/22 **FILING FEE** \$50 **ESCROW REQUIRED** \_\_\_\_\_

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish TWO sets of sketches, maps, drawings, descriptions, or photographs of the property in question. TWO copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

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**Make checks payable to:**  
City of Macedonia

**Please submit plans to:**  
Macedonia Building Department  
9691 Valley View Rd.  
Macedonia, OH 44056

**GENERAL NOTES**

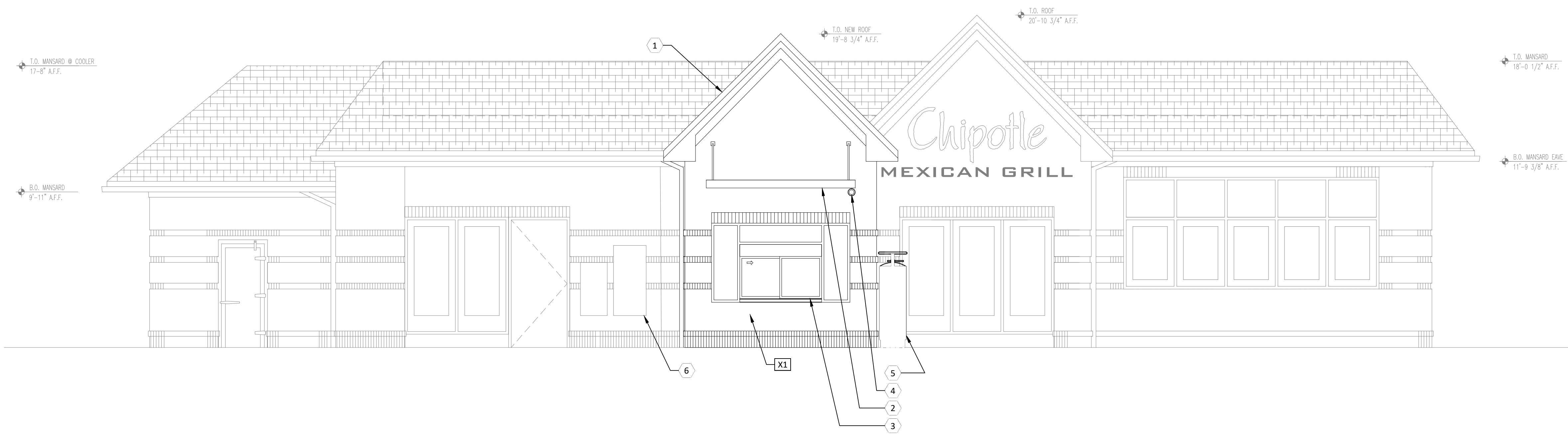
- A. REFER TO EXTERIOR ELEVATIONS THIS SHEET FOR EXTERIOR SIGNAGE LOCATIONS, SIZES & DESCRIPTIONS.
- B. EXTERIOR SIGNAGE PROVIDED BY TSV AND INSTALLED BY TSV. GC TO MAKE FINAL CONNECTION.
- C. PLANK WALL PANELS AND CANOPY AS MANUFACTURED BY ARCH-FAB. CONTACT: JEFF KENNY, (817) 926-7270 x109, jeff.kenny@arch-fab.com

**FINISH LEGEND** □

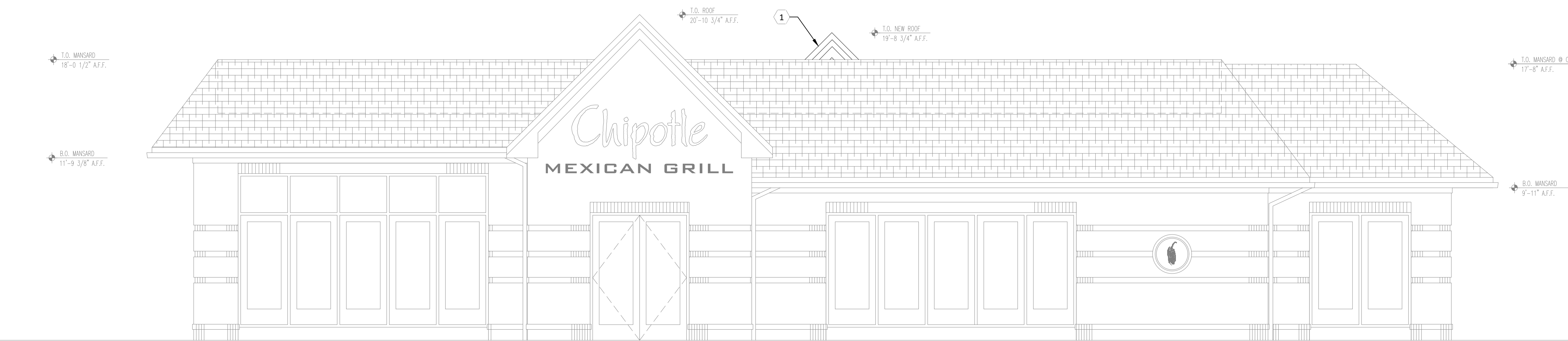
X1 BRICK VENEER TO MATCH EXISTING

**CODED NOTES** ○

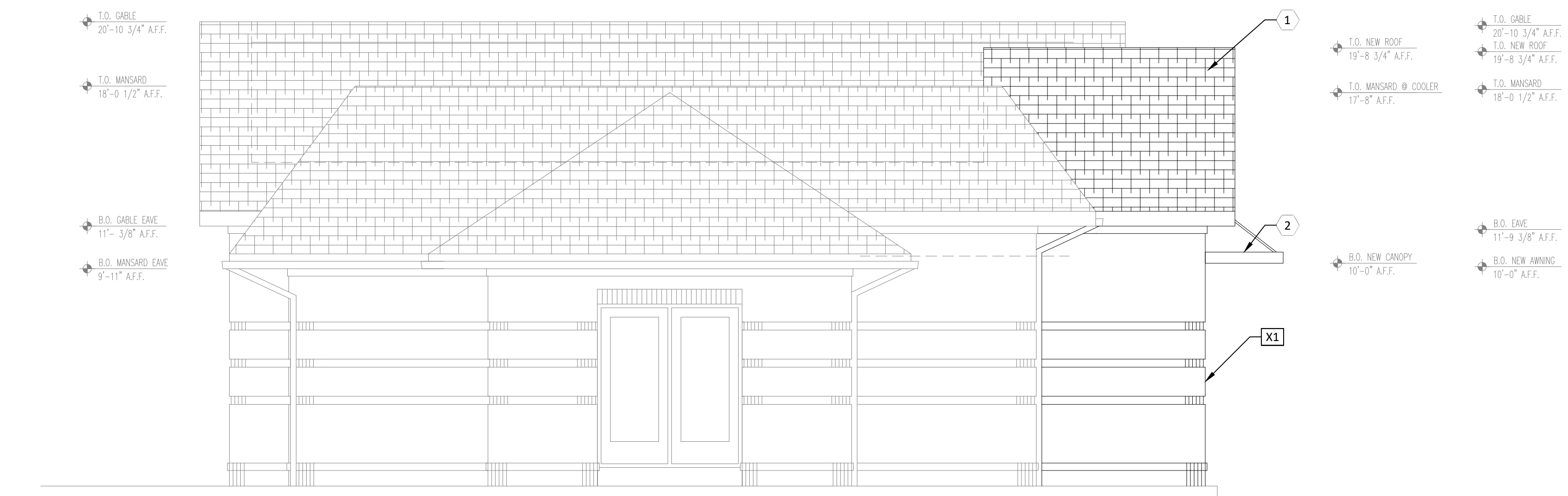
- 1 SHINGLES TO MATCH EXISTING
- 2 DARK BRONZE CANOPY
- 3 DARK BRONZE ALUMINUM PASS-THRU WINDOW. REFER TO WINDOW TYPES
- 4 SECURITY CAMERA AT 9'-6" AFF U.N.O., REFER TO ELECTRICAL DRAWINGS
- 5 RELOCATED CO2
- 6 RELOCATED ELECTRICAL EQUIPMENT



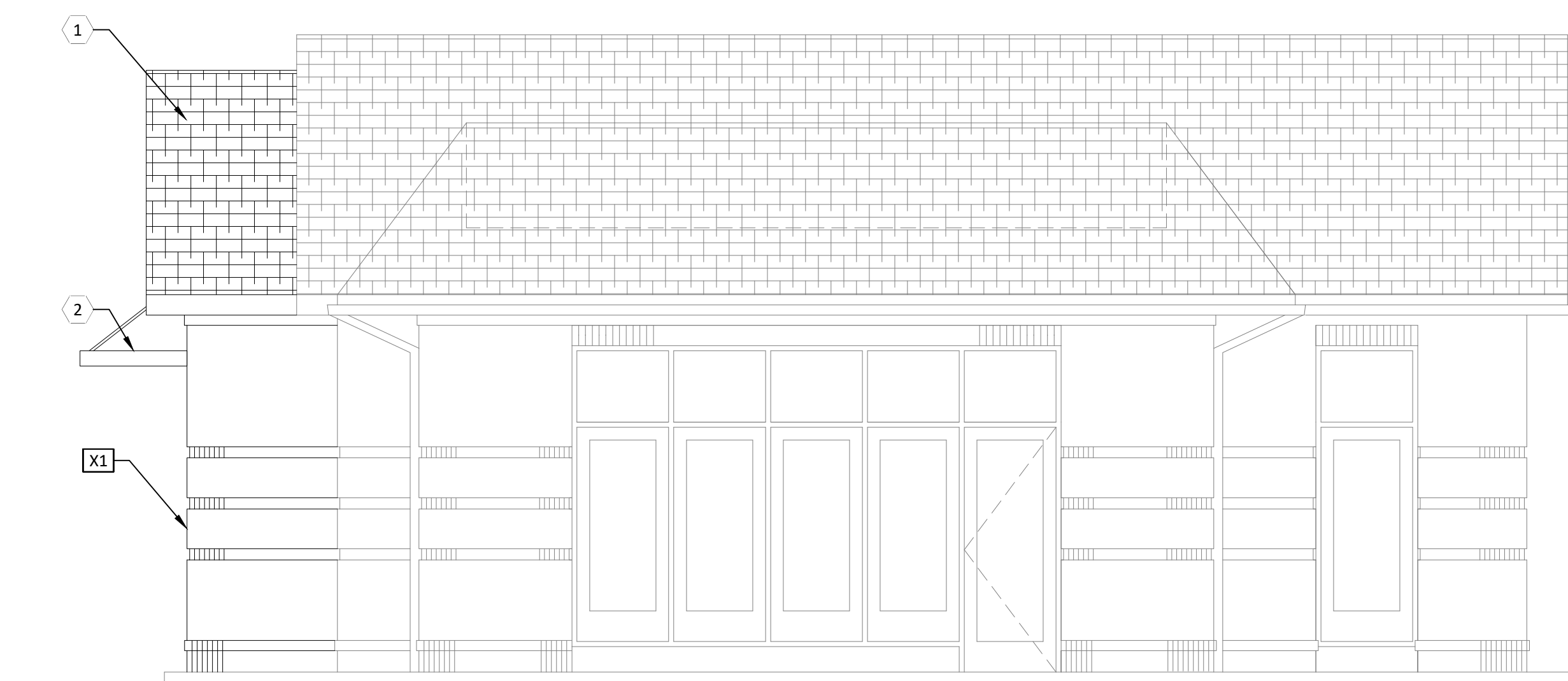
4 **EXTERIOR ELEVATION - REAR**  
A301 1/4" = 1'-0"



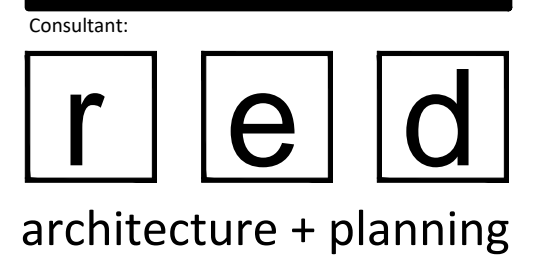
3 **EXTERIOR ELEVATION - FRONT**  
A301 1/4" = 1'-0"



2 **EXTERIOR ELEVATION - SIDE**  
A301 1/4" = 1'-0"



1 **EXTERIOR ELEVATION - SIDE**  
A301 1/4" = 1'-0"



589 W Nationwide Blvd, Suite B  
Columbus, Ohio 43215  
tel: 614.487.8770  
fax: 614.487.8777

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COLUMBUS, OH 43218-2566  
TELEPHONE: 614.338.2400  
INTERNET: WWW.CHIPOTLE.COM

STORE NO.: 0559  
MACEDONIA  
CHIPOTLANE CONVERSION  
GOLDEN LINK BLVD.  
MACEDONIA, OH 44067

Issue Record: PHOTO VERSION: 11/2021

06/16/22	REVIEW SET
00/00/00	PERMIT SET
00/00/00	BID SET
00/00/00	CONSTRUCTION SET

Revisions:


Drawn: \_\_\_\_\_ Checked: \_\_\_\_\_

Project No.  
CFP489

Contents:  
EXTERIOR ELEVATIONS

# Memorandum

**TO:** Nicholas Molnar, Mayor  
and Macedonia Planning Commission

**FROM:** Brian M. Frantz, AICP

**SUBJECT:** Chipotle Drive-thru Addition (revised plans) – 8195 Golden Link Blvd.

**DATE:** November 12, 2022

---

The applicant is proposing to alter their site layout and façade by adding a drive-thru on the south building elevation. The building is located in the Crossings at Golden Link retail development.

I have reviewed an application (and a revised site plan) dated October 21, 2022 in connection with this request and offer the Planning Commission with the following comments for their consideration:

## Analysis

- 1) The south building elevation will receive a new drive-thru lane and associated pick-up window. The previous proposal created a 10-foot-wide one-way drive-isle with 60-degree parking along the western edge of the drive-isle. The revised plan creates a 20-foot-wide drive-isle coming into the site but transitions to a 19-foot-wide drive isle adjacent the five parallel mobile order pick-up spaces. **ACTION ITEM: Section 1171.11 (b) (6) requires a 22-foot-wide drive-isle when adjacent to parallel parking. To mitigate this and provide more parking, angled spaces could be utilized instead of parallel parking spaces. This would likely provide more parking and reduce the drive-isle minimum width to 19 feet.**

**Consideration could be given to eliminating the landscape island near the end of the east end of the parallel parking spaces to provide additional parking. This approach will also provide more separation from relocated garbage dumpster from the parking spaces.**

- 2) The total off-street parking is reduced from 47 total spaces to 35. If consideration is given to the parking discussion noted in item #1 above, the total parking could reach closer to 40 spaces. Regardless, to reduce the parking a variance from the Board of Zoning Appeals (BZA) is needed. **ACTION ITEM: Reconfigure the site to achieve the maximum number of parking spaces and seek a variance for the deficiency.**
- 3) The traffic adjacent the drive-thru lane (and in the drive-thru lane) exit into a two-way traffic drive-isle that is 21.77 feet wide. For two-way traffic, 22 feet is required. But, there is no need for two-way traffic in this location because cars heading from the north to the south can't go anywhere because the drive-isle adjacent the drive-thru is one-way. **ACTION ITEM: The west, south and east drive-isles should be designed to be one-way with a total of 19 feet**

**provided. This will require a revised site design but will improve the overall layout and traffic flow.**

- 4) The existing dumpster is proposed to be relocated from the southwest corner of the building to southern edge of the site. It appears the relocated dumpster is proposed within the required setback. **ACTION ITEM: A variance from the BZA is needed for the dumpster enclosure to be located in the required setback.**
- 5) As previously recommended in my earlier report, the applicant is now proposing a black decorative fence (with brick columns and lights) along the Route 8 frontage to match the fencing created along the frontage of neighbor's property to the north and south.

### **Conclusion**

To implement a drive-thru on this tight site, parking needs to be eliminated which requires a variance from the BZA. Assuming a variance is achieved, more thought needs to be given to maximizing the parking count while complying with the drive-isle standards of the Code. In considering this approach, the landscape island at the end of the proposed parallel parking spaces likely will need to be eliminated.

Normally I don't support the elimination of landscape islands, but additional greenspace can be created by eliminating two-way traffic on the east side of the site because traffic in this location can't go anywhere due to the one-way drive-isle exiting the drive-thru lane.

Given the need to rethink the overall site layout and the need for a parking variance, I believe this proposal should be continued to a future meeting to review a revised site plan. Future submittals need to be drawn to scale and on a full-sized 11"x17" sheet for ease of review.



**CITY OF MORTHFIELD  
SUMMIT COUNTY, OHIO  
EXISTING CHIPOTLE RESTAURANT #0559  
PROPOSED CHIPOTLANE PICK-UP WINDOW ADDITION  
8195 GOLDEN LINK BLVD, NORTHFIELD, OH 44067**



OFFICES

128 East Main Street  
Logan, Ohio 43138  
740-385-2140

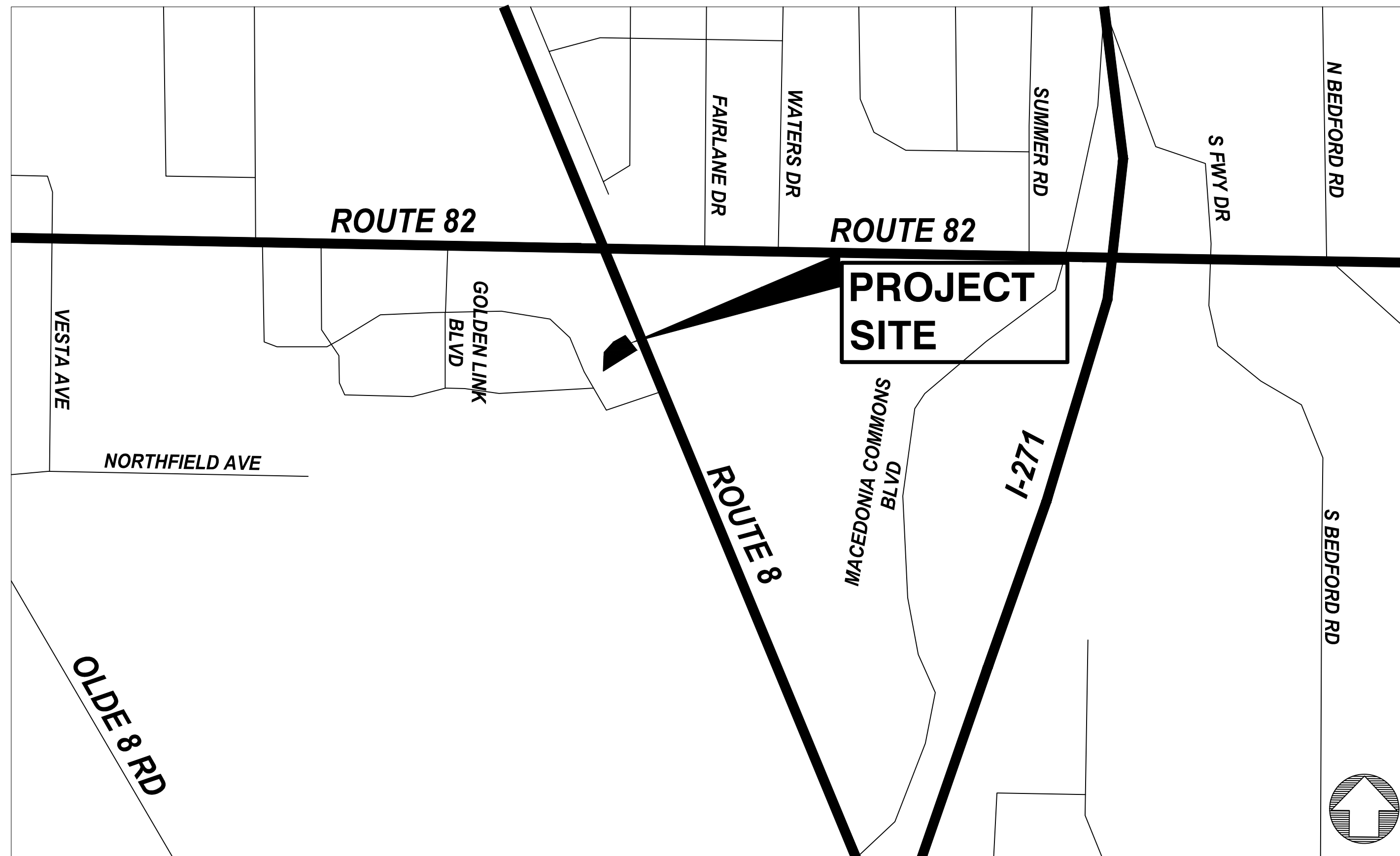
1495 Old Henderson Road  
Columbus, Ohio 43220  
614-459-6992

507 Main Street  
Zanesville, Ohio 43701  
740-450-1640

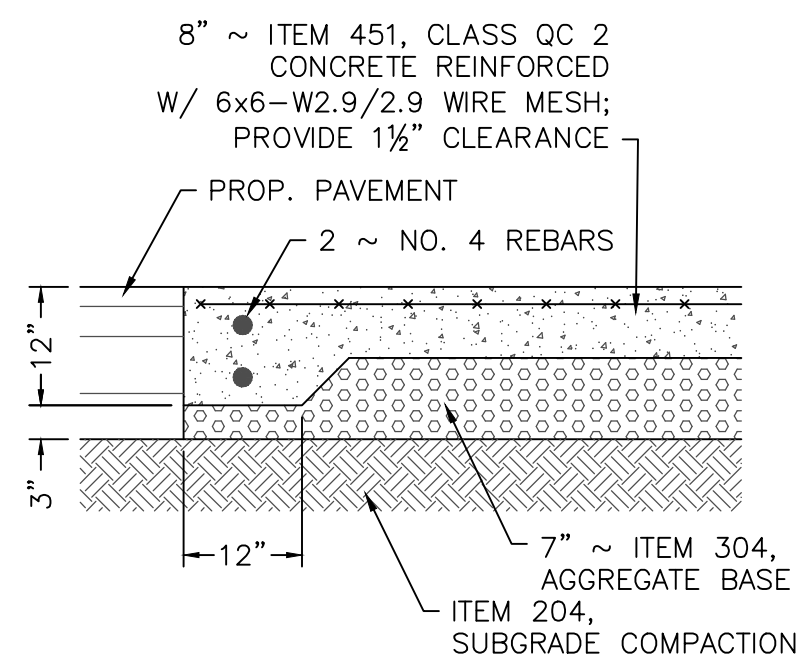
OWNER: ANGELO JOSEPHINE SARAFINA TRUSTEE  
763 MAHOGANY LN  
SUNNYVALE, CA 94086-6500

ARCHITECT: RYAN WENDLER  
RED ARCHITECTS  
589 WEST NATIONWIDE BLVD, SUITE B  
COLUMBUS, OH 43215  
614-487-8770

ENGINEER: MARK ANTONETZ  
SANDS DECKER  
1495 OLD HENDERSON RD  
COLUMBUS, OH 43220  
614-459-6992

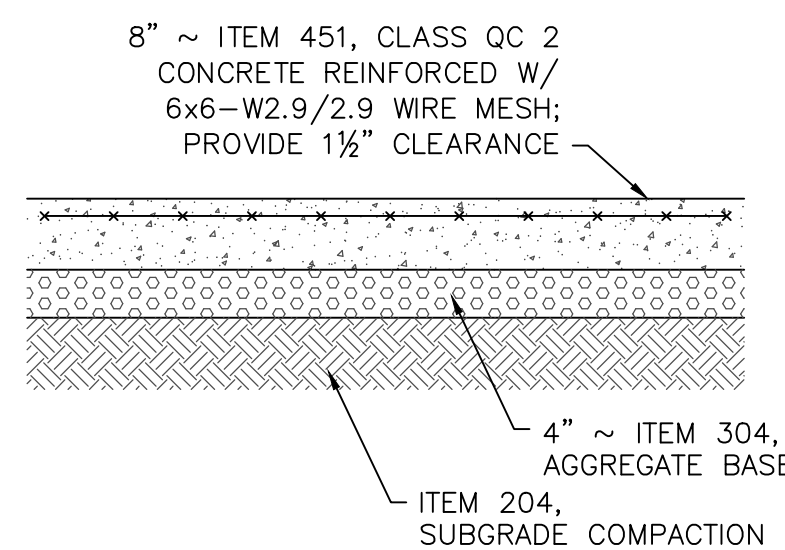


LOCATION MAP  
NOT TO SCALE



12"x12" THICKENED SLAB AND REBAR TO BE PROVIDED AROUND ENTIRE PERIMETER

DUMPSTER APPROACH  
NOT TO SCALE



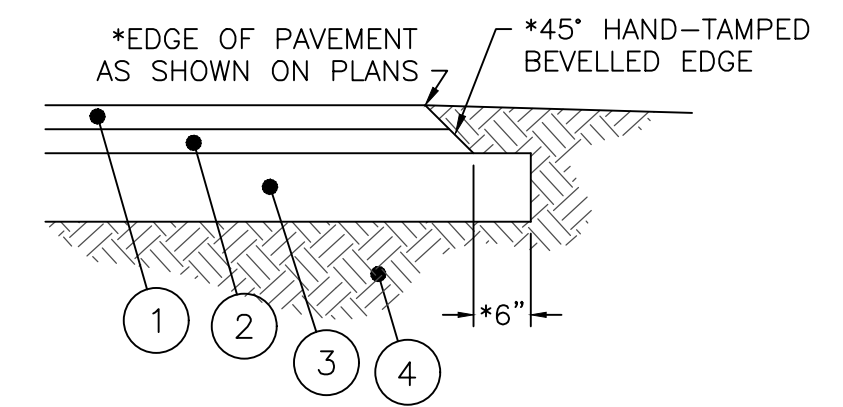
CONCRETE PAVEMENT  
NOT TO SCALE

**PARKING CALCULATION**

USE	SQUARE FOOTAGE	COUNT
RESTAURANT (PICK UP)	2,350	1:50 = 2,350/50 = 47
REQUIRED PARKING		47
REQUIRED PARKING		35
REQUIRED STACKING		6

**SITE NARRATIVE**

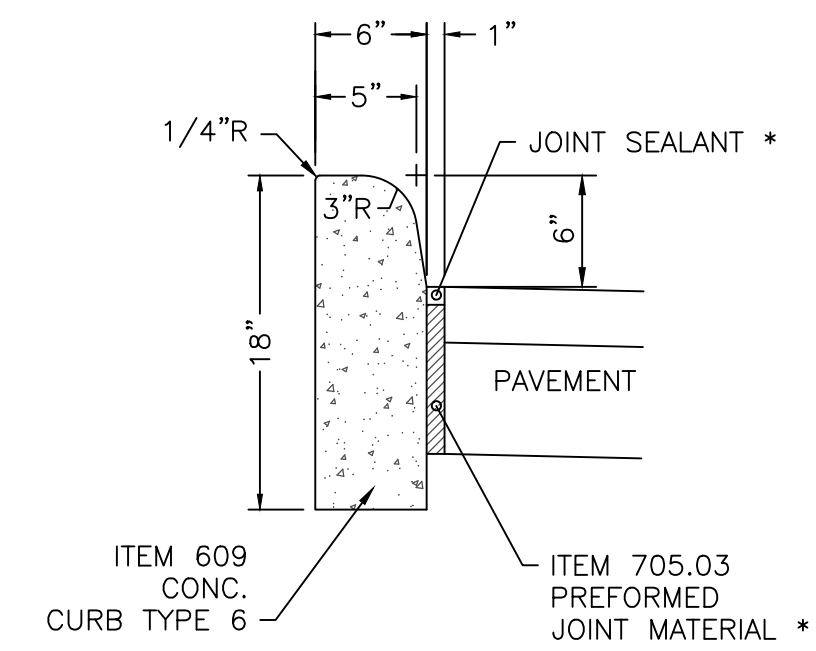
THE PROJECT CONSISTS OF MODIFICATION OF AN EXISTING CHIPOTLE RESTAURANT TO PROVIDE A PICK-UP WINDOW AND STACKING LANE. ORDERS ARE PLACED ON AN APP OR WEBSITE PRIOR TO ARRIVING, REDUCING THE POTENTIAL FOR STACKING VEHICLES WAITING TO ORDER. PARKING MODIFICATIONS WILL BE MADE TO PROVIDE SUFFICIENT STACKING AND ESCAPE LANES AROUND THE BUILDING. TRAFFIC CIRCULATION WILL BE MODIFIED TO ONE-WAY ONLY ALONG THE NORTH SIDE OF THE SITE. DUMPSTER ENCLOSURE WILL BE RELOCATED TO ACCOMMODATE THE DRIVE THROUGH TRAFFIC.



\* ONLY WHERE PAVEMENT DOES NOT ABUT CURB/SIDEWALK

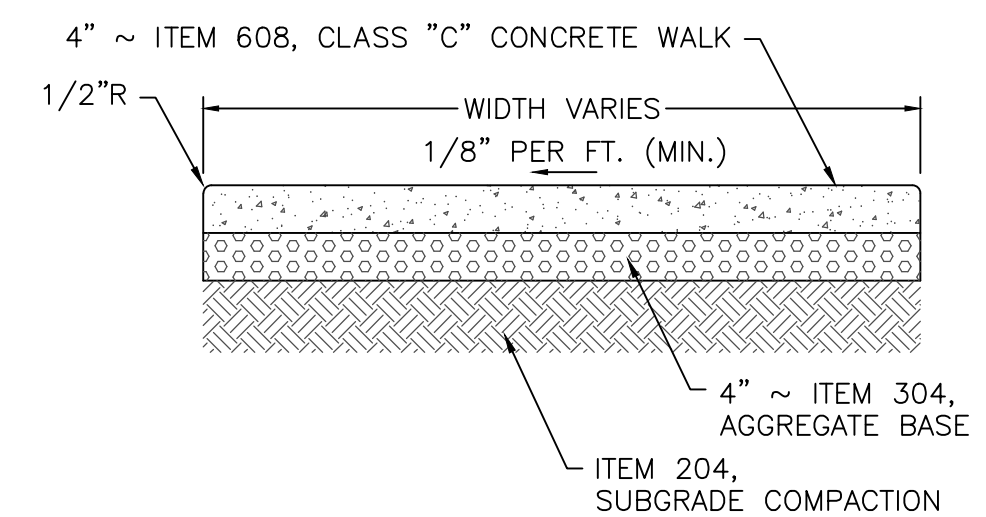
- 1 1/2" ~ ITEM 441, ASPHALT CONCRETE SURFACE COURSE, TYPE 1 (448), PG64-22
- 2" ~ ITEM 441, ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2 (448), PG64-22
- 8" ~ ITEM 304, AGGREGATE BASE
- ITEM 204, SUBGRADE COMPACTION

STD. DUTY PAVEMENT  
NOT TO SCALE

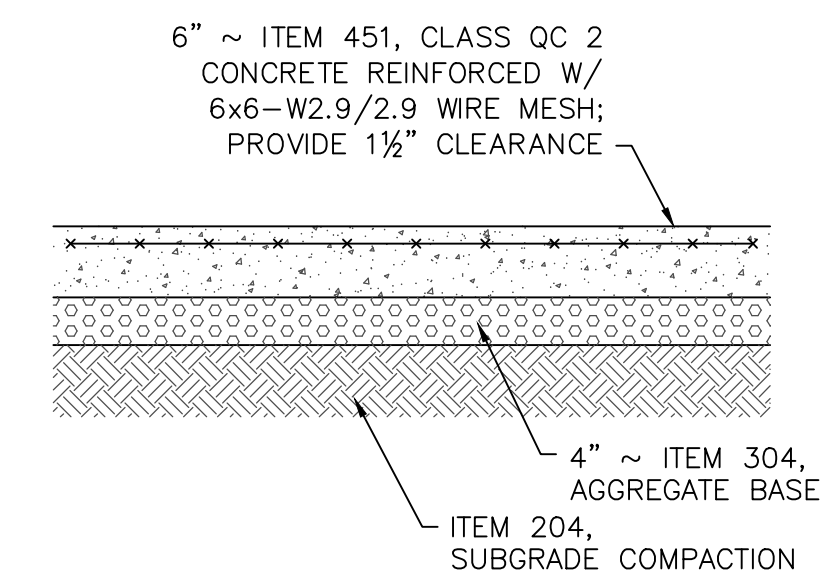


\* ONLY WHERE CONCRETE CURB MEETS CONCRETE PAVEMENT

STD. CONCRETE CURB  
NOT TO SCALE



CONCRETE SIDEWALK  
NOT TO SCALE



DUMPSTER PAD  
NOT TO SCALE



10/20/22  
Registered Engineer Date



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**CHIPOTLANE  
STORE #0559  
8195 GOLDEN LINK  
BLVD, NORTHFIELD, OH  
44067**

10-20-2022 PERMIT

C100

SD PROJECT NO. 3969



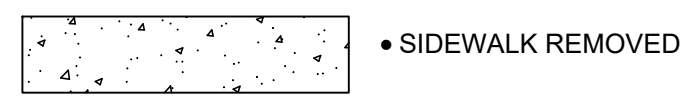
**MISC. NOTES**

- ALL ITEMS NOTED FOR DEMOLITION SHALL BE REMOVED AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND LOCAL REGULATIONS, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- CONTRACTOR SHALL COORDINATE THE DISCONNECTION, REMOVAL, RELOCATION, AND/OR ABANDONMENT OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY AND SHALL MEET ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REQUIREMENTS. ANY ABANDONED OR INACTIVE UTILITIES ENCOUNTERED ON-SITE, WHETHER SHOWN ON THESE PLANS OR NOT, SHALL BE REMOVED TO THE PROPERTY LINE AND CAPPED.
- CONTRACTOR SHALL NOT DISTURB ANY LANDSCAPING WITHOUT PRIOR NOTIFICATION TO THE A/E.
- ALL UTILITIES SHOWN HERE ARE FROM A SURVEY PERFORMED BY U.S. SURVEYOR. SANDS DECKER ASSUMES NO LIABILITY FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY ALL LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.

**DEMOLITION KEYNOTES**

- NEATLY SAWCUT AND REMOVE CURB & SIDEWALK.
- EX. LIGHT POLE TO BE REMOVED AND RELOCATED.
- EX. TREE TO BE REMOVED AND RELOCATED.
- EX. LANDSCAPING TO BE REMOVED.
- EX. STRIPING TO BE REMOVED.
- EX. CURB TO BE REMOVED.
- EX. DUMPSTER/ENCLOSURE & PAD TO BE REMOVED AND RELOCATED.
- EX. ELECTRICAL BOXES TO BE RELOCATED.

**DEMO LEGEND**



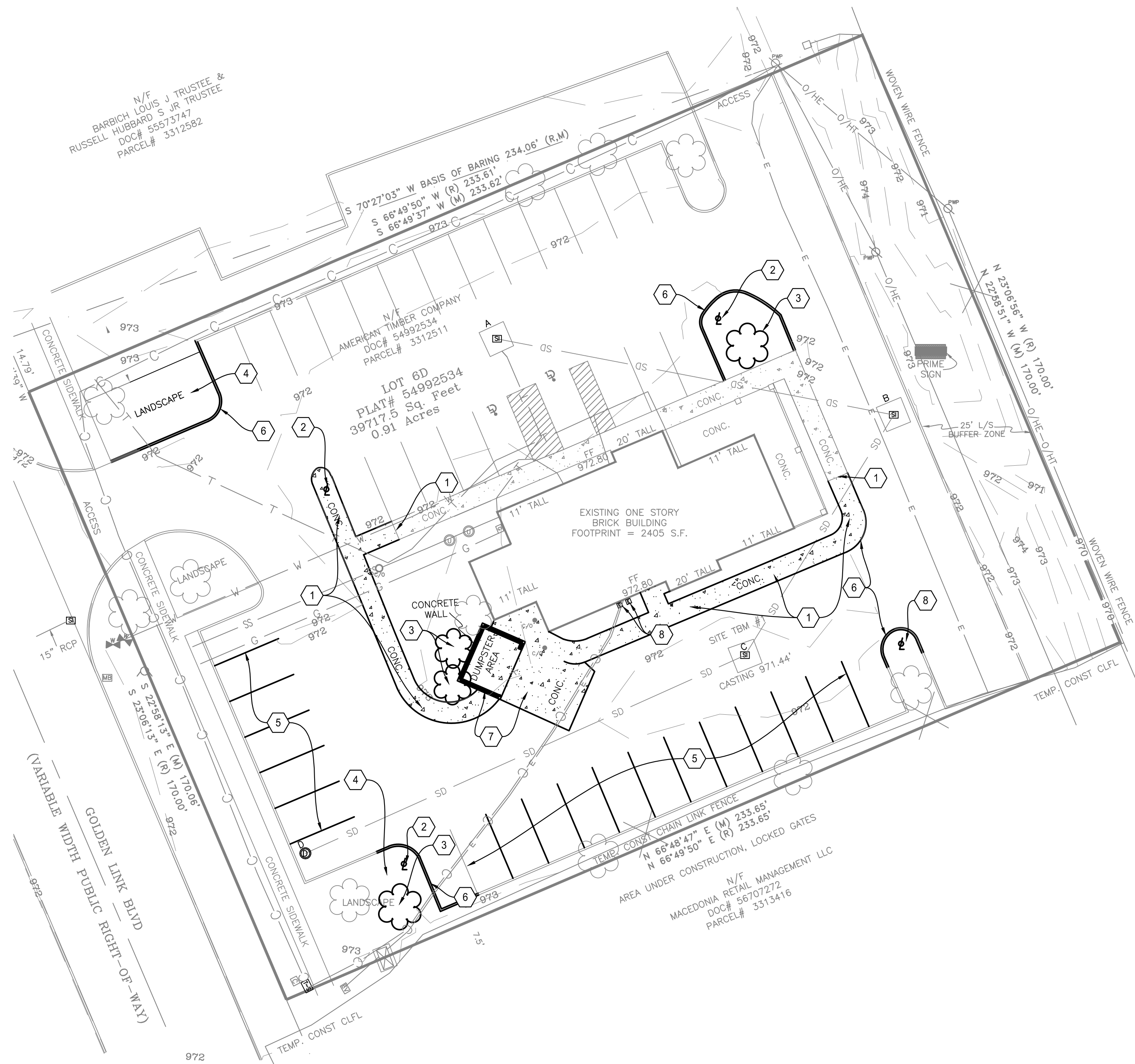
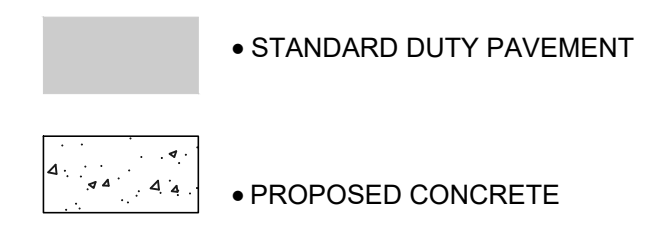
**MISC. NOTES**

- ALL DIMENSIONS ARE MEASURED TO FACE OF CURB AS APPLICABLE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND & REPORT ANY LAYOUT DISCREPANCIES IMMEDIATELY TO THE A/E.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL BUILDING CORNER LOCATIONS IN THE FIELD.
- DO NOT SCALE FROM THIS DRAWING. ALL WRITTEN DIMENSIONS SHALL GOVERN. ANY DISCREPANCIES SHALL IMMEDIATELY BE REPORTED TO THE A/E.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS EVERY 20' L.F. OF CONCRETE SIDEWALK.
- UNLESS OTHERWISE NOTED, FOR ALL CONCRETE PADS, APRONS & STOOPS, SEE ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR DETAILS.
- PARKING SPACES SHALL BE DELINEATED WITH 4" WHITE LINES.
- ALL UTILITIES INCLUDING ELECTRICAL SERVICE MUST BE LOCATED UNDERGROUND.

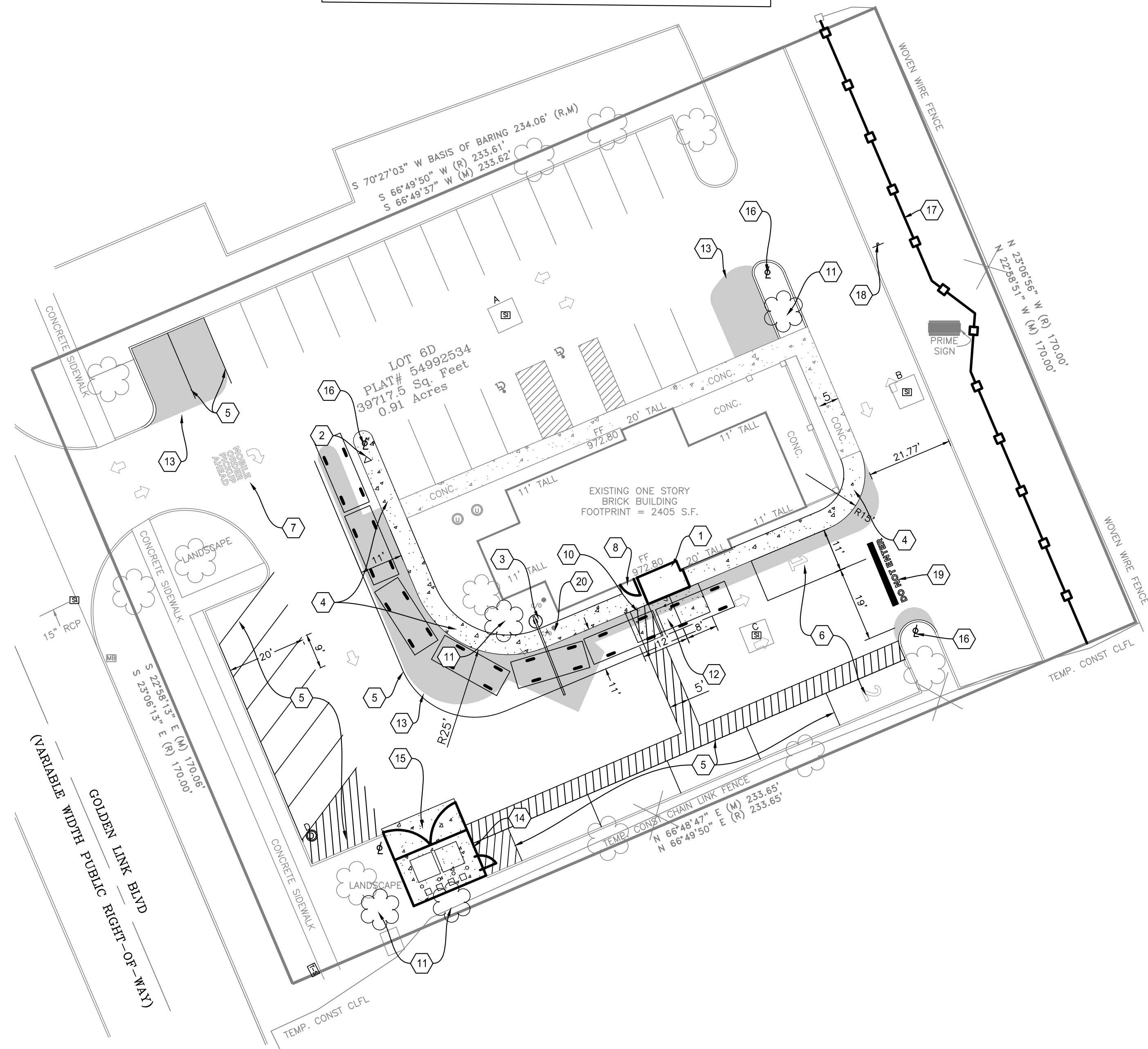
**SITE KEYNOTES**

- PICK-UP WINDOW EXPANSION LOCATION. SEE ARCHITECTURAL DRAWINGS.
- CHIPOTLANE ANNOUNCE SIGN. SEE ARCHITECTURAL PLANS.
- CLEARANCE BAR AND FOUNDATIONS, SEE ARCHITECTURAL PLANS.
- REVISED CURB & SIDEWALK. SEE DETAIL SHEET 1.
- REVISED STRIPING, MATCH EXISTING COLOR ON SITE. (TYP.) PAVEMENT MARKINGS INCLUDING PARKING SPACES, TRANSVERSE LINES, DIRECTIONAL ARROWS, MOBILE ORDER & ADA SYMBOLS TO BE PLACED AS SHOWN PER ITEM 246.
- PICK UP PARKING SPACE. PROVIDE STRIPED NUMBERING.
- PROPOSED STENCIL, SEE ARCH. PLANS.
- PROPOSED DOOR LOCATION. SEE ARCHITECTURAL DRAWINGS.
- CONCRETE PAD. SEE DETAIL.
- ADA RAMP TO MEET ADA REQUIREMENTS.
- REPLACE REMOVED TREES HERE.
- LOOP DETECTOR. SEE ELECTRICAL DRAWINGS. PROVIDE CONCRETE PAD PER DETECTOR REQ'S.
- SAWCUT PAVEMENT TO PROVIDE STRAIGHT, CLEAN JOINT, REMOVING 6" OF EX. ASPHALT (MIN.) ADJACENT TO PROP. PAVEMENT. APPLY ITEM 407, TACK COAT, 702.13 SPR ASPHALT EMULSION, TO EXPOSED VERTICAL FACE PRIOR TO PLACEMENT OF NEW ASPHALT. SEAL JOINT WITH ITEM 705.04 HOT APPLIED JOINT SEALER.
- PROP. DUMPSTER/ENCLOSURE. SEE ARCH. FOR DETAILS.
- PROP. DUMPSTER PAD, SEE DETAILS.
- RELOCATED LIGHT POLE.
- PROPOSED BRICK COLUMNS & FENCING, SEE ARCHITECTURAL DRAWINGS.
- PROPOSED EXIT ARROW SIGN.
- DO NOT ENTER STENCIL, SEE ARCHITECTURAL DRAWINGS.
- ADJUST CLEANOUT TO PROPOSED GRADE.

**PROP. LEGEND**



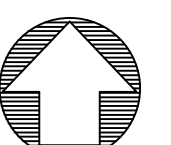
**EXISTING LAYOUT**  
SCALE: 1"=20'



**PROPOSED LAYOUT**  
SCALE: 1"=20'

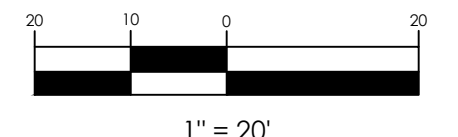


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NORTH

GRAPHIC SCALE



1" = 20'

**CHIPOTLANE**  
**STORE #0559**  
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44067



PROPOSED NORTH ELEVATION



NEW BURLINGTON ENTRY



EXISTING NORTH ELEVATION

DRAWING INDEX

1. TITLE PAGE & EXISTING IMAGES
2. SITE PLAN
3. EXISTING ELEVATIONS
4. PROPOSED NORTH ELEVATIONS OPTION 1 & 2
5. PROPOSED WEST ELEVATIONS OPTION 1 & 2
6. EXTERIOR MATERIALS & WALL SECTIONS
7. PROPOSED PYLON SIGN
8. LANDSCAPE EXHIBIT - OVERALL
9. LANDSCAPE EXHIBIT - ENLARGED PLANS
10. SITE PHOTOMETRIC
11. MATERIAL PHOTOS AND CUT SHEETS

TITLE PAGE & EXISTING IMAGES

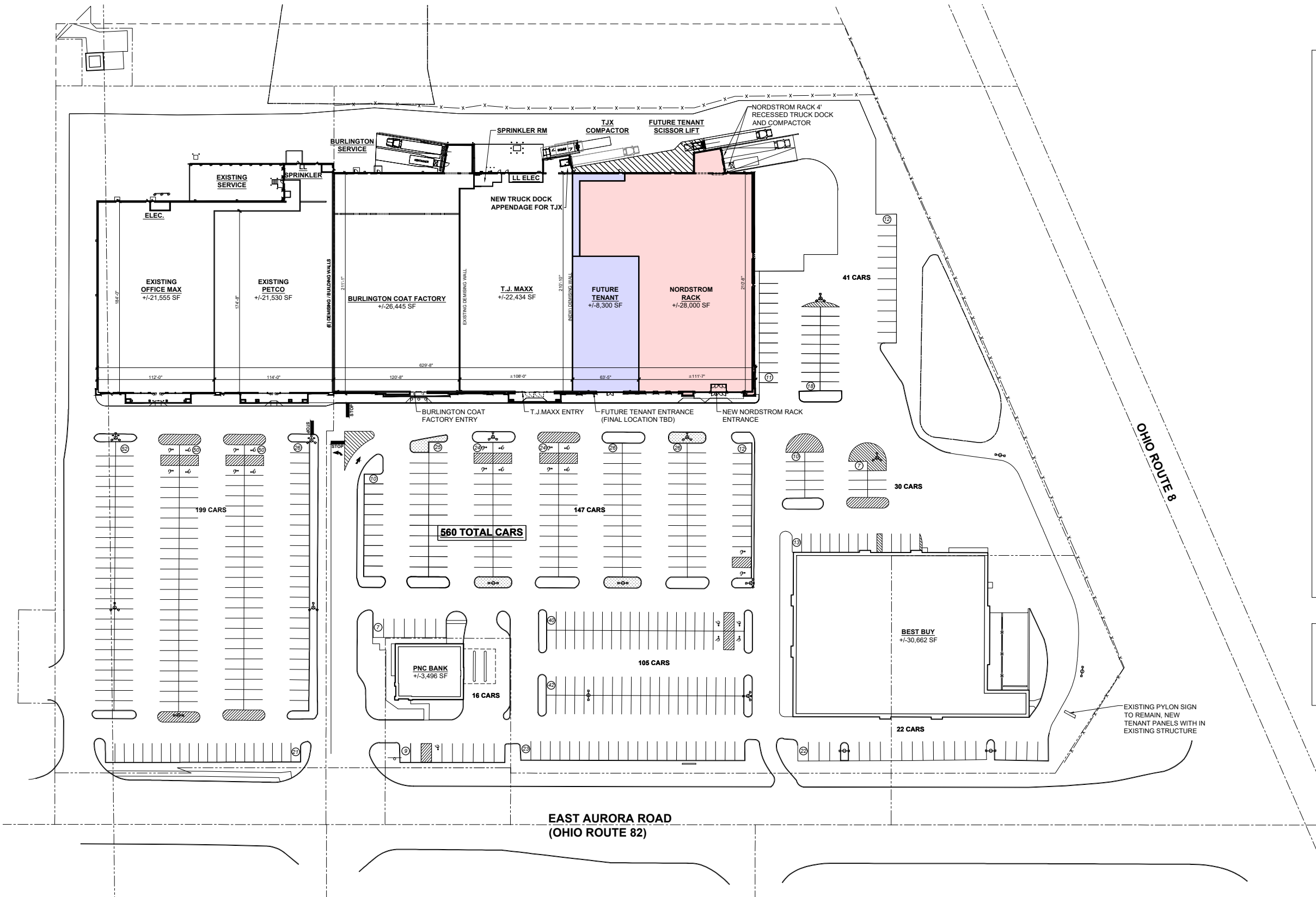
OCTOBER 28, 2022  
20-031

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of CUPKOVIC architecture, llc  
Architect



# MACEDONIA GATEWAY

MACEDONIA, OH



## BUILDING AREAS

TENANT	SF
OFFICE MAX	21,555
PETCO	21,530
BURLINGTON COAT FACTORY	26,445
T.J. MAXX	22,434
NORDSTROM RACK	28,000
FUTURE TENANT	8,300
<b>SUB TOTAL</b>	<b>128,264</b>
<b>BEST BUY</b>	<b>30,662</b>
<b>PNC BANK</b>	<b>3,496</b>
<b>TOTAL</b>	<b>162,422</b>

## PARKING SUMMARY

PARKING PROVIDED	SPACES
OFF STREET	560
<b>TOTAL</b>	<b>560</b>

PARKING RATIO	SPACES PER 1000 SF
<b>560 SPACES / 162.42 =</b>	<b>3.44</b>

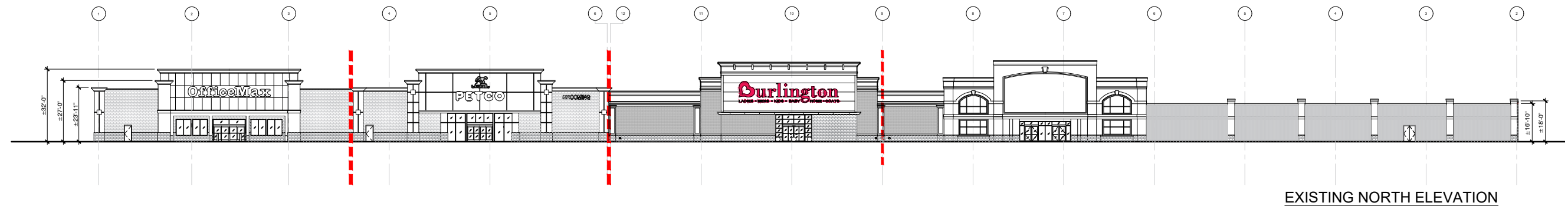
MACEDONIA REQUIRED RATIO	1 CAR / 250 sf
TOTAL BUILDING SF	162,422
SF REDUCED BY 20% FOR STORAGE	
PER 1171.11 (b)(2)	129,937
<b>129,937 SF / 250 SF =</b>	<b>520 CARS REQUIRED</b>
	<b>560 CARS PROVIDED</b>

NOTE:  
SITE LIGHTING AND LANDSCAPING WERE APPROVED AT 12/20/21 PLANNING COMMISSION MEETING

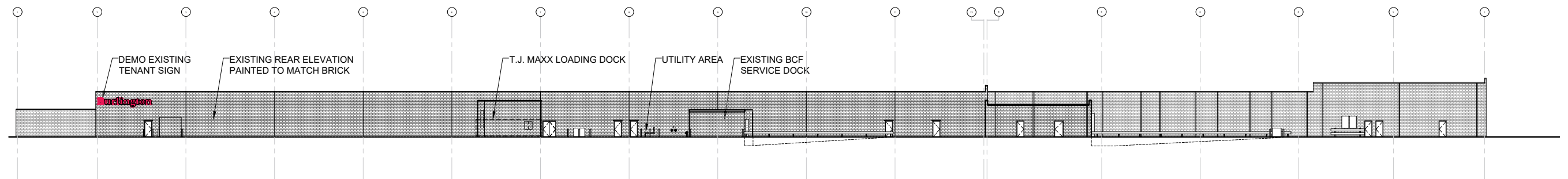
## SITE PLAN

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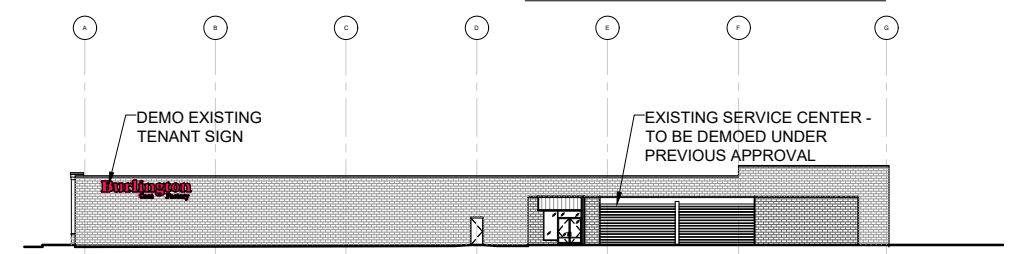
**EXISTING NORTH ELEVATION**



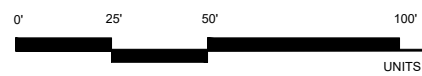
**EXISTING SOUTH ELEVATION**



**EXISTING VIEW FROM ROUTE 8**



**EXISTING WEST ELEVATION**



**EXISTING ELEVATIONS**

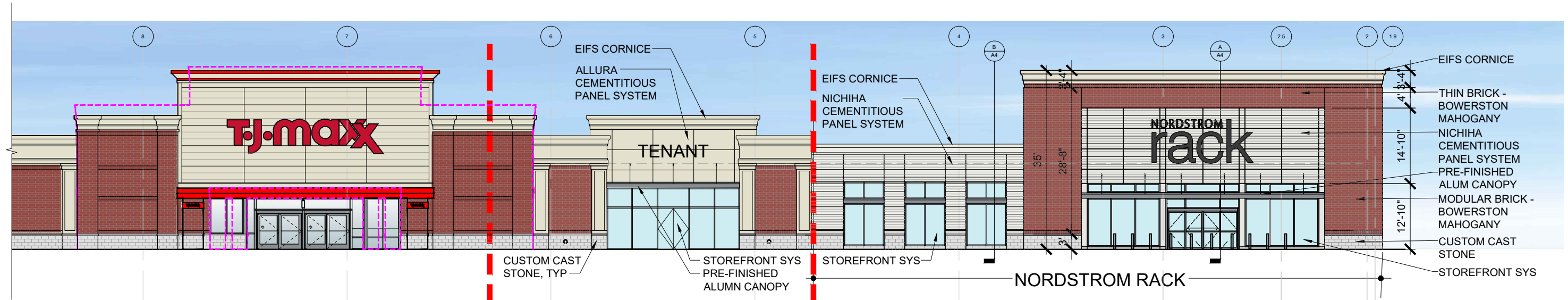
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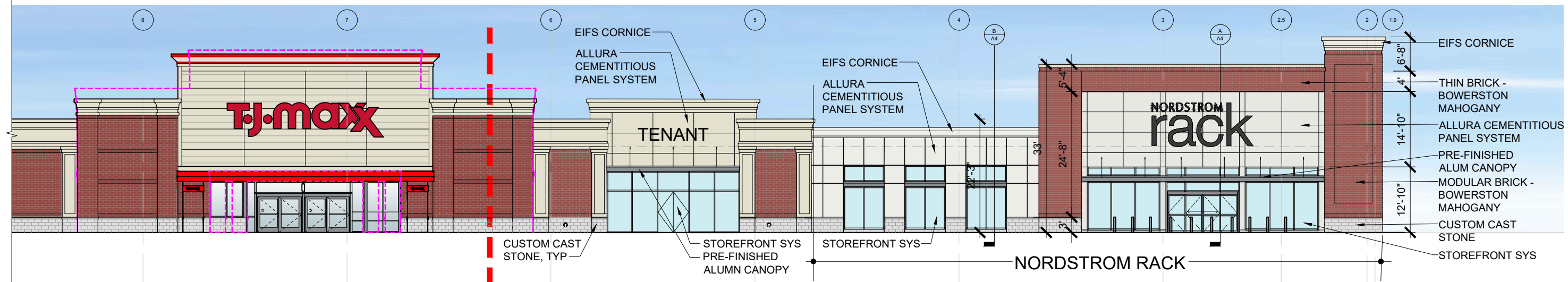




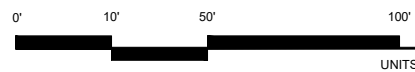
OVERALL NORTH ELEVATION



ENLARGED PARTIAL NORTH ELEVATION - OPTION 1



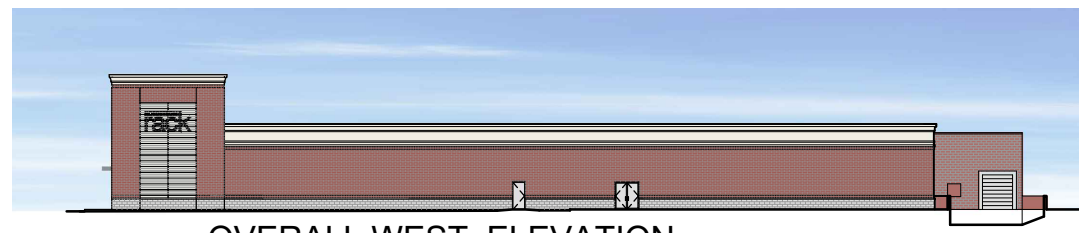
ENLARGED PARTIAL NORTH ELEVATION - OPTION 2



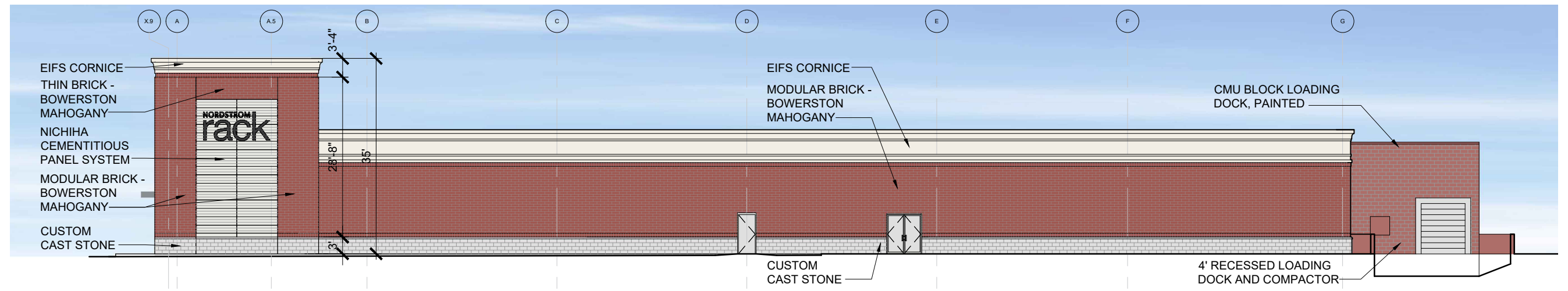
PROPOSED NORTH ELEVATIONS OPTION 1 & 2

OCTOBER 28, 2022  
20-031

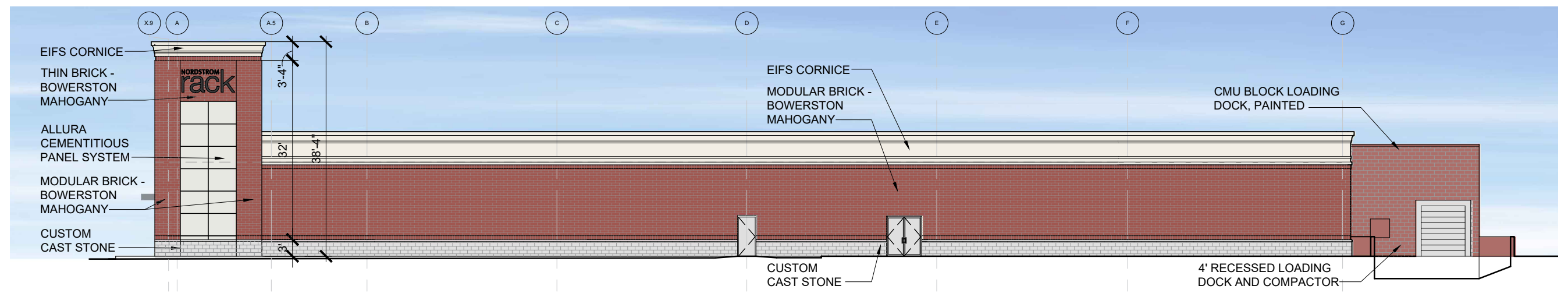
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Architect



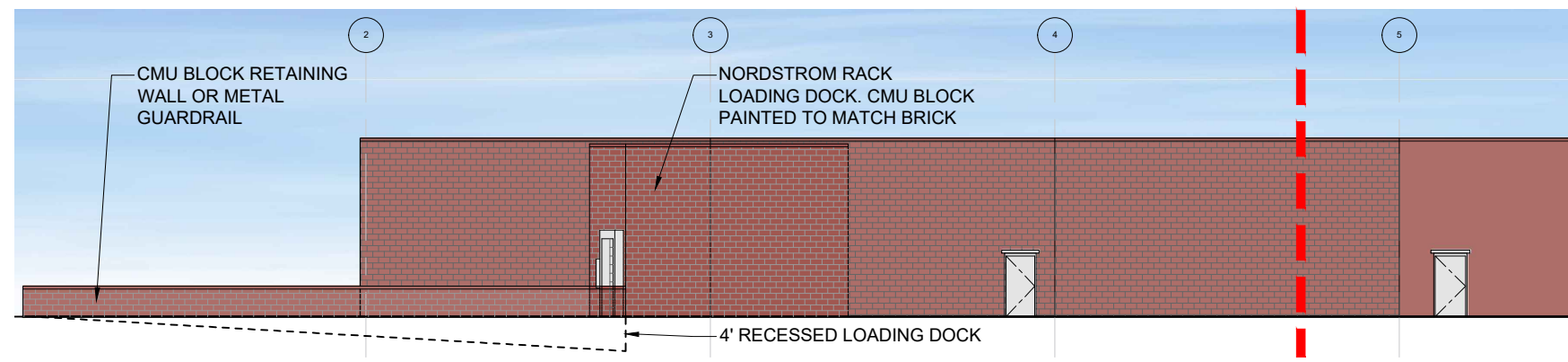
**OVERALL WEST ELEVATION**



**ENLARGED PARTIAL WEST ELEVATION - OPTION 1**



**ENLARGED PARTIAL WEST ELEVATION - OPTION 2**



**ENLARGED PARTIAL SOUTH ELEVATION**

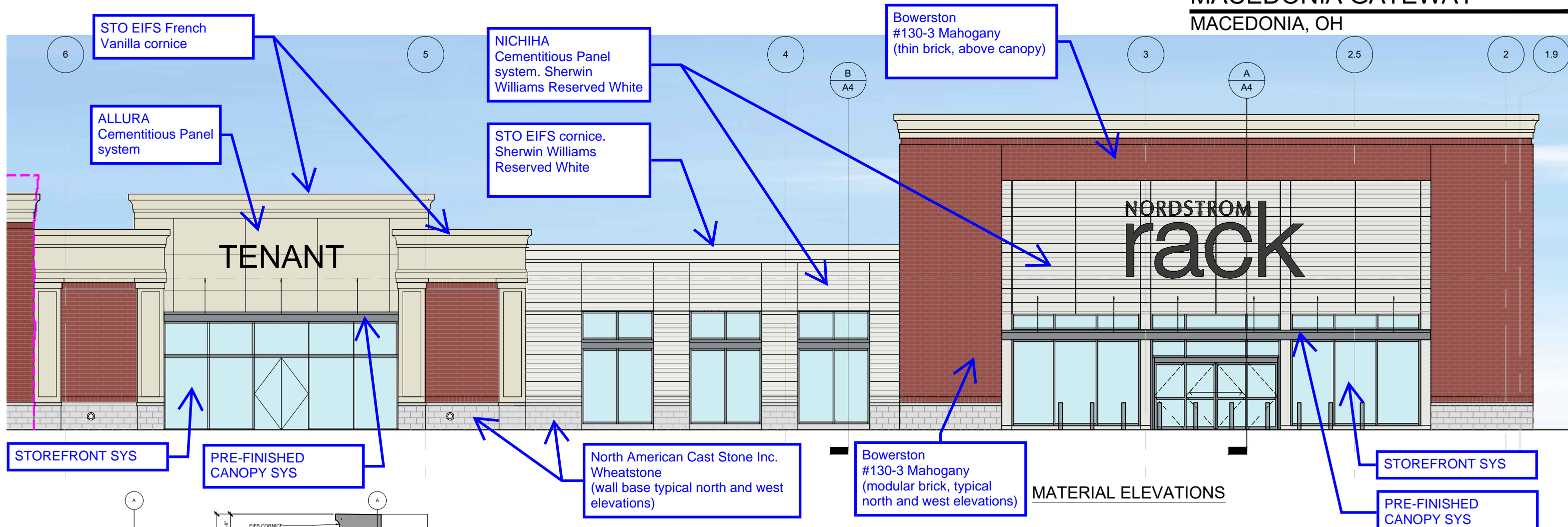
**PROPOSED WEST ELEVATIONS OPTION 1 & 2, SOUTH ELEVATION**



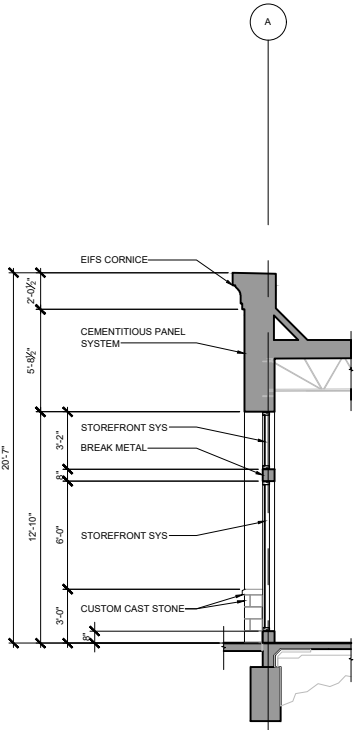
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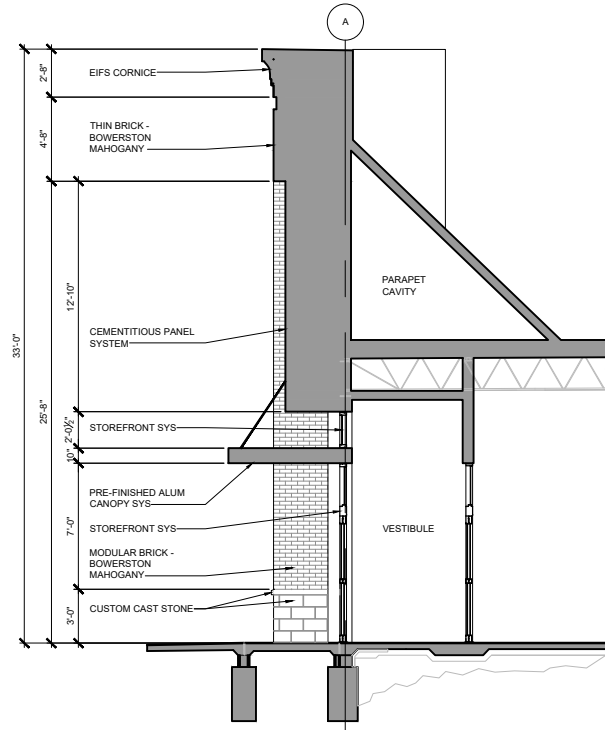




MATERIAL ELEVATIONS



WALL SECTION B



WALL SECTION A

<b>MODULAR BRICK SYSTEM</b> MRF: BOWERSTON COLOR: #130-3 MAHOGANY	<b>PRE-FINISHED ALUM GRAVEL STOP</b> WITH CONTINUOUS CLEAT
<b>THIN BRICK SYSTEM</b> MRF: BOWERSTON COLOR: #130-3 MAHOGANY (USED AT THE TOWER ELEMENT)	<b>NEW STOREFRONT SYSTEM AND GLAZING</b> CLEAR ANODIZED ALUMN FINAL LAYOUT BY TJX
<b>CUSTOM CAST STONE &amp; SILL</b> 3-5/8" x 7-5/8" x 15-3/8" SMOOTH MFRD STONE MRF: NORTH AMERICAN CAST STONE COLOR: WHEAT STONE	<b>PAINT</b> MRF: SHERWIN WILLIAMS COLOR: SW7056 RESERVED WHITE
<b>EIFS CORNICE</b> MRF: STO COLOR: FRENCH VANILLA	<b>PAINT</b> MATCH BRICK (COLOR TBD)
<b>CEMENTITIOUS PANEL BOARDS</b> ALLURA VERTICAL SIDING FINISH: SMOOTH, PRIMED FOR PAINT COLOR: AS NOTED	<b>DECORATIVE TRIM BOARDS</b> CELLULAR PVC OR CEMENTITIOUS TRIM BOARDS FINISH: SMOOTH, PRIMED FOR PAINT COLOR: AS NOTED
<b>CEMENTITIOUS PANEL BOARDS</b> ALLURA SIDING W/ HORIZONTAL BATTENS FINISH: SMOOTH, PRIMED FOR PAINT COLOR: AS NOTED	



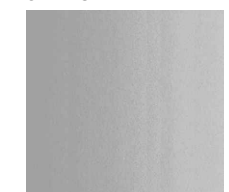
BRICK & THIN BRICK  
BOWERSTON  
COLOR: #130-3 MAHOGANY



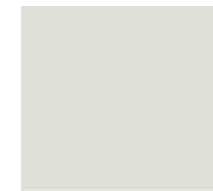
NORTH AMERICAN CAST STONE  
COLOR: WHEAT STONE



ALLURA FIBER CEMENT SMOOTH-FACED PANELS W/ BATTENS  
COLOR: PAINTED FRENCH VANILLA OR RESERVED WHITE



ALLURA FIBER CEMENT SMOOTH-FACED PANELS  
COLOR: PAINTED FRENCH VANILLA OR RESERVED WHITE



PAINT 1  
COLOR: SW7056 RESERVED WHITE



PAINT 2  
COLOR: MATCH BRICK (REAR ELEVATION)

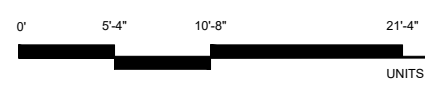


EIFS  
STO  
COLOR: FRENCH VANILLA



NICHIHA CEMENTITIOUS PANELS  
LATURA V-GROOVE  
WHITE

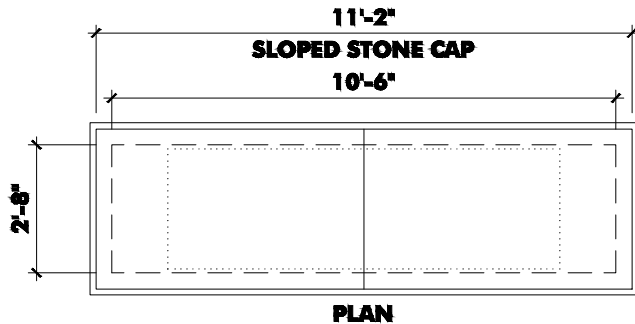
NOTE: BRICK, CAST STONE, & EIFS MATCH EXISTING BCF MATERIALS



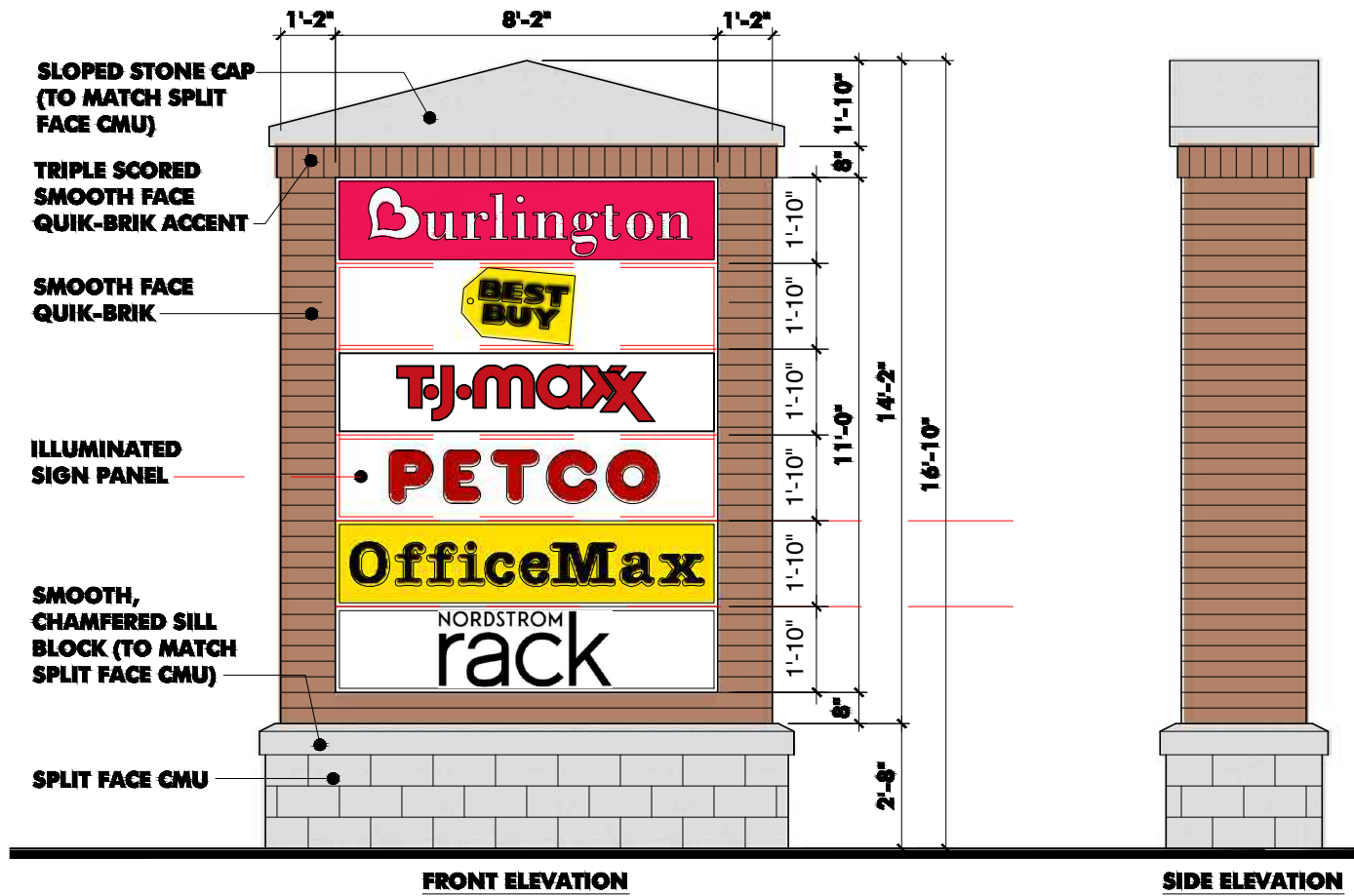
EXTERIOR MATERIALS & WALL SECTIONS (OPTION 1 SHOWN)

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Architect

OCTOBER 28, 2022  
20-031



SIGN AREA CALCULATIONS	
<b>LOT FRONTAGE:</b>	
ADJ. FRONTAGE	1,400 L.F.
ADJ. SIDE	
ADJ. REAR	
TOTAL	1,400 L.F.
<b>MAX. ALLOWABLE HEIGHT:</b> per 117A.02, 117A.04-C	
	16'-0"
<b>ACTUAL HEIGHT PROVIDED</b>	
	16'-10"
<b>ALLOWABLE DISTANCE FROM RIGHT-OF-WAY = HEIGHT</b>	
<b>ACTUAL SETBACK PROVIDED</b>	
	16'-0"
<b>ALLOWABLE SIGN AREA:</b>	
ADJ. FRONTAGE	48 S.F.
ADJ. SIDE	214 SF x 10 SQ = 2140 S.F.
ADJ. REAR	0 S.F.
TOTAL	2188 S.F.
<b>ACTUAL SIGN AREA PROVIDED</b> (excluding canopy base)	
	139 S.F.



**EXISTING MONUMENT SIGN  
(6 SLOTS)**

NOTE: EXISTING STRUCTURE/ MATERIALS TO REMAIN, TENANT SIGN PANELS ARE NEW.



**PROPOSED PYLON SIGN**

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20-031

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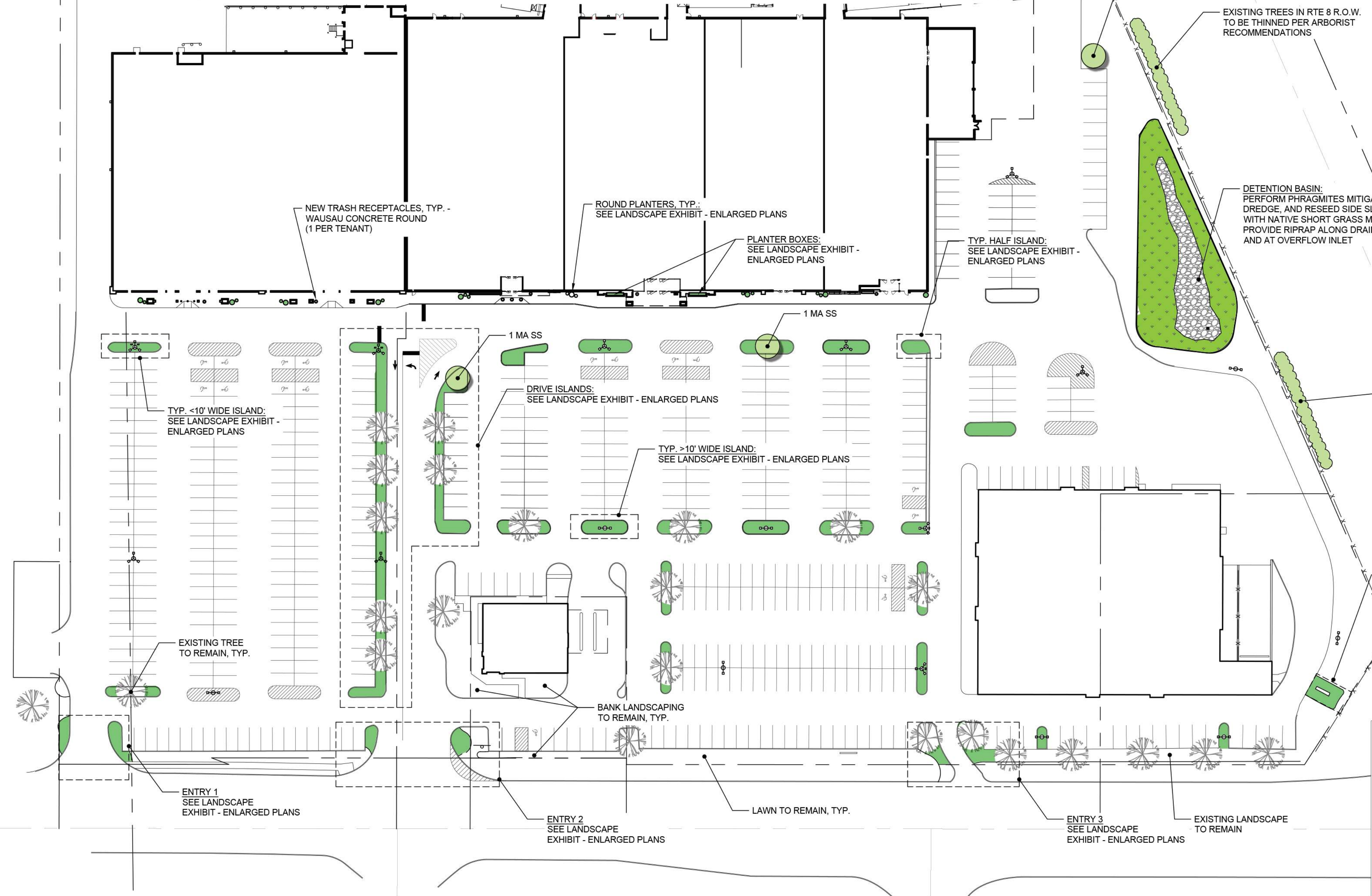


# MACEDONIA GATEWAY

## MACEDONIA, OH

### PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	NOTES/ SPACING	QTY
<b>TREES</b>						
MA SS	MALUS 'SPRING SNOW'	SPRING SNOW CRAB	1 3/4" CAL.	B&B	FULL, MATCHING HEADS	3
<b>SHRUBS</b>						
BU SE	BUXUS SEMPERVIRENS 'DEE RUNK'	DEE RUNK BOXWOOD	36" HT.	B&B		11
RO RD	ROSA 'RED DRIFT'	RED DRIFT ROSE	15" HT.	NO. 3 CONT.	36" O.C.	126
SP MC	SPIRAEA JAPONICA 'MAGIC CARPET'	MAGIC CARPET SPIRAEA	12" HT.	NO. 3 CONT.	30" O.C.	36
VI CA	VIBURNUM CARLESII 'CAYUGA'	CAYUGA VIBURNUM	24" HT.	NO. 5 CONT.	48" O.C.	22
<b>PERENNIALS AND GRASSES</b>						
CA KF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CLUMP	CONT.	30" O.C.	19
HE HR	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY	CLUMP	NO. 1 CONT.	24" O.C.	78
IM CY	IMPERATA CYLINDRICA 'RED BARON'	JAPANESE BLOOD GRASS	CLUMP	SQUAT CONT.	30" O.C.	32
LY NU	LYSIMMACHIA NUMMULARIA 'AURA'	GOLDEN CREEPING JENNY	CLUMP	SQUAT CONT.		72
MI SI	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT GRASS	CLUMP	NO. 2 CONT.	30" O.C.	32
NE FA	NEPETA X FAASSENII 'WALKER'S LAW'	WALKER'S LAW CANTMINT	CLUMP	NO. 2 CONT.	30" O.C.	155
PE AL	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	CLUMP	NO. 2 CONT.	24" O.C.	127



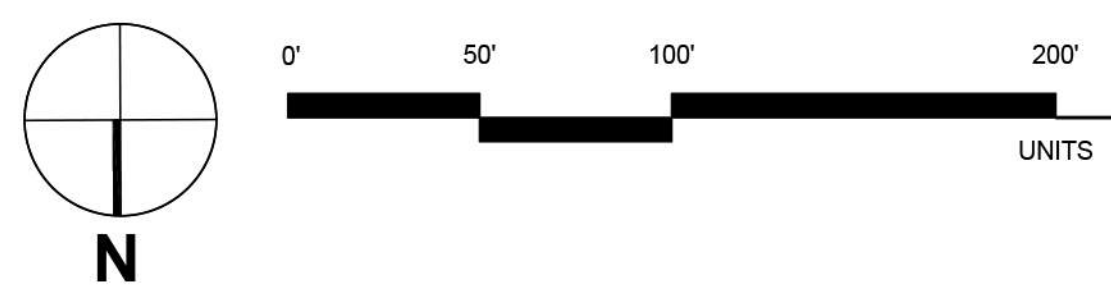
**LEGEND**

- EXISTING TREE TO REMAIN
- PROPOSED NEW TREE
- NEW UNDERSTORY LANDSCAPING
- PLANTERS
- TRASH RECEPTACLE



Design information herein is property of CUPKOVIC architecture, llc  
Architect

### LANDSCAPE EXHIBIT - OVERALL

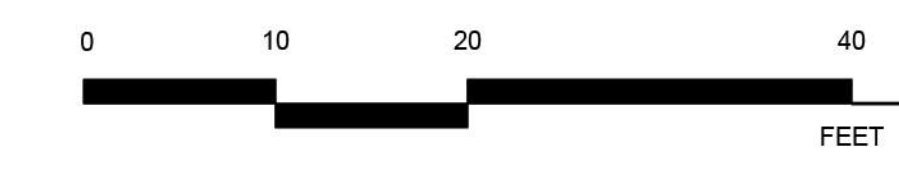
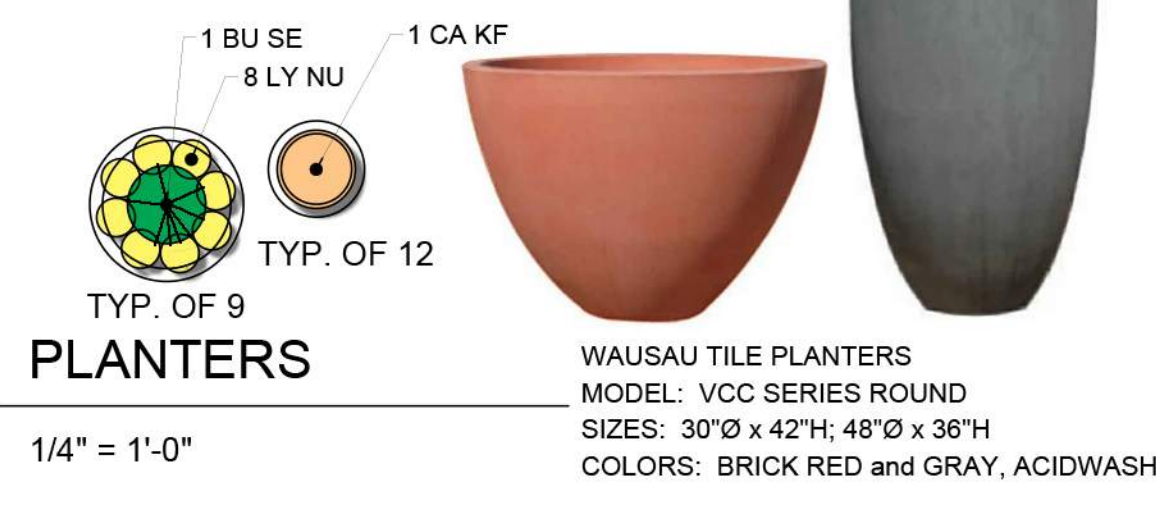
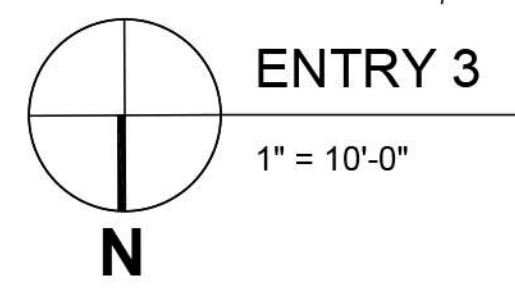
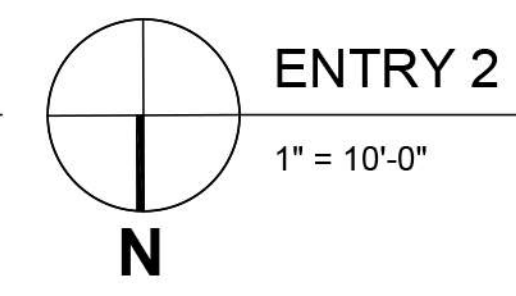
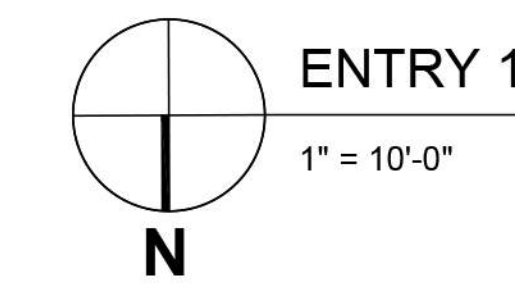
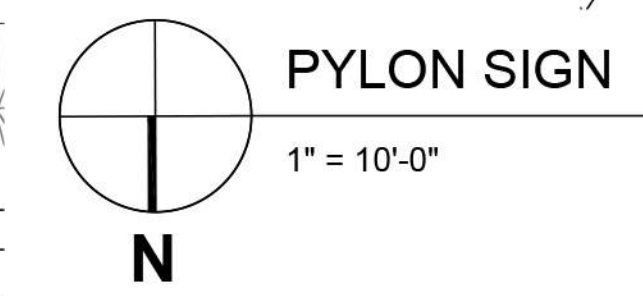
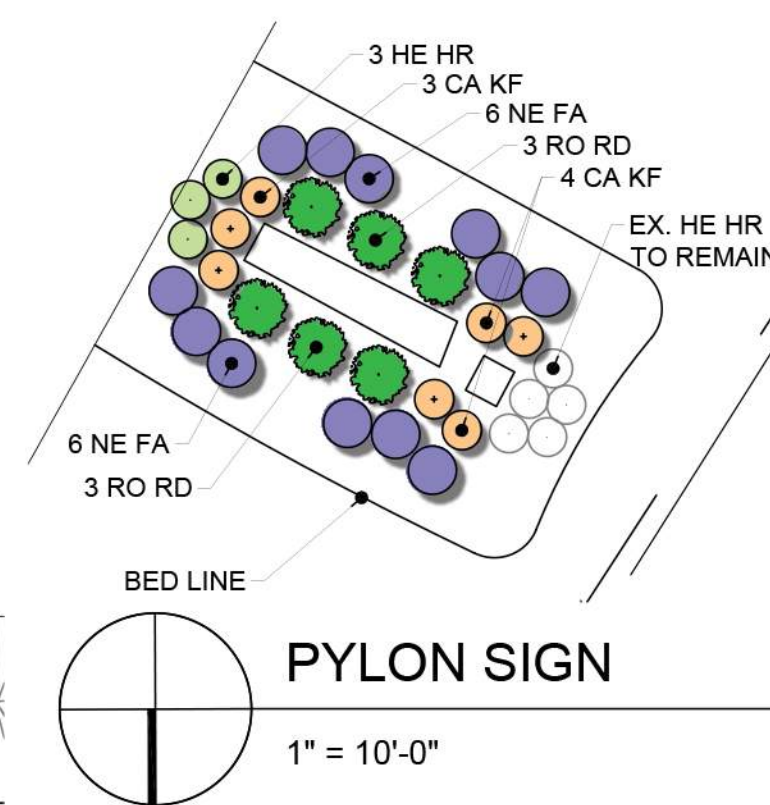
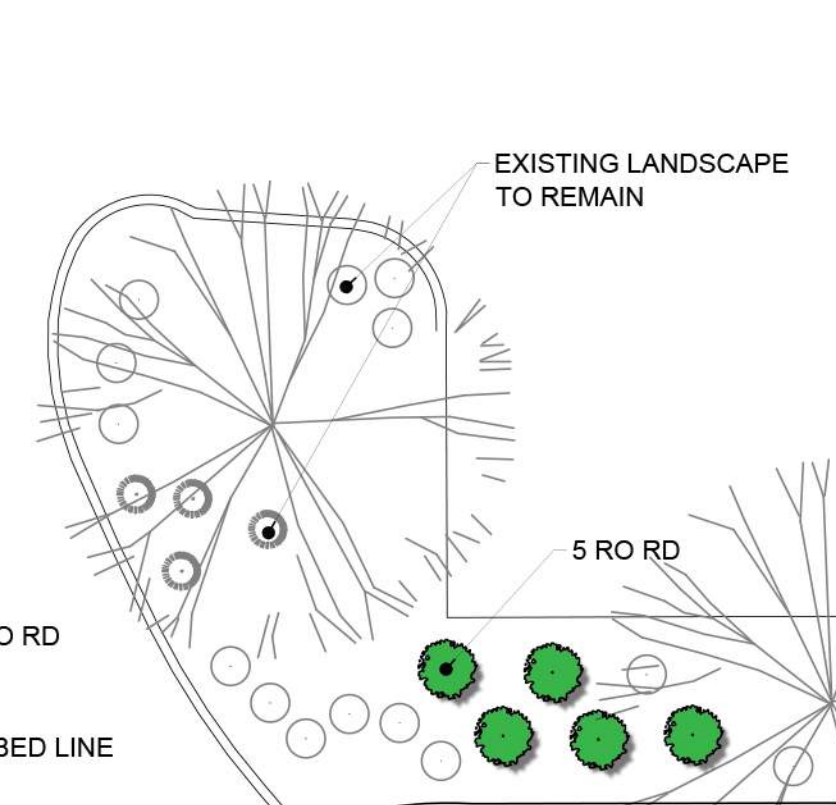
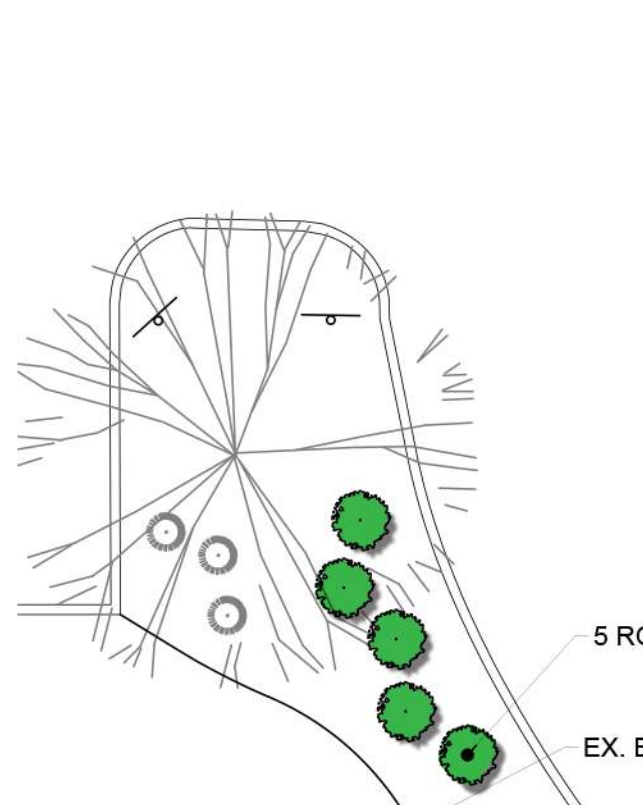
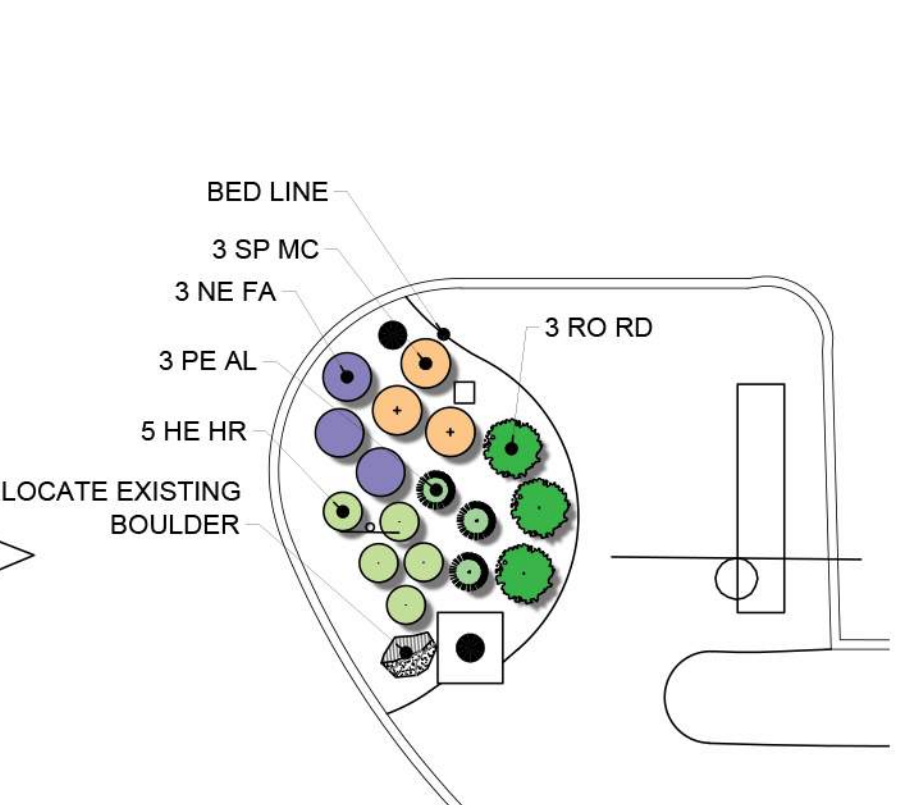
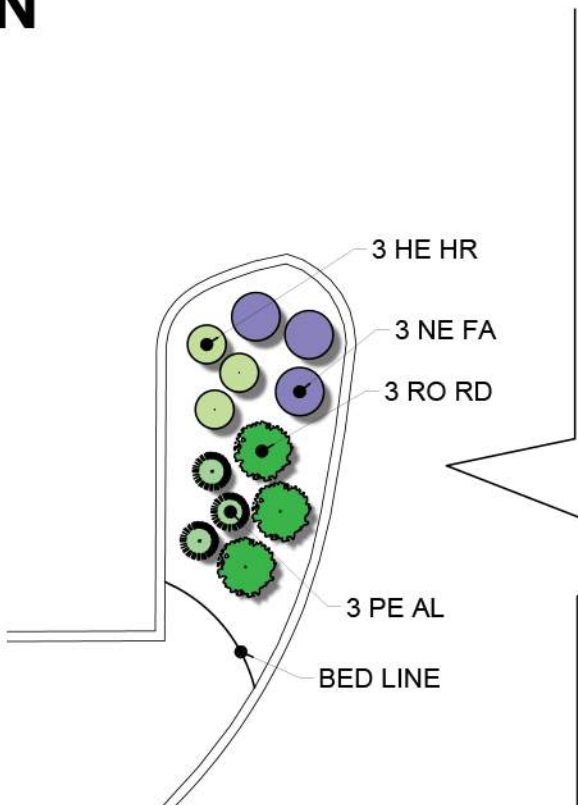
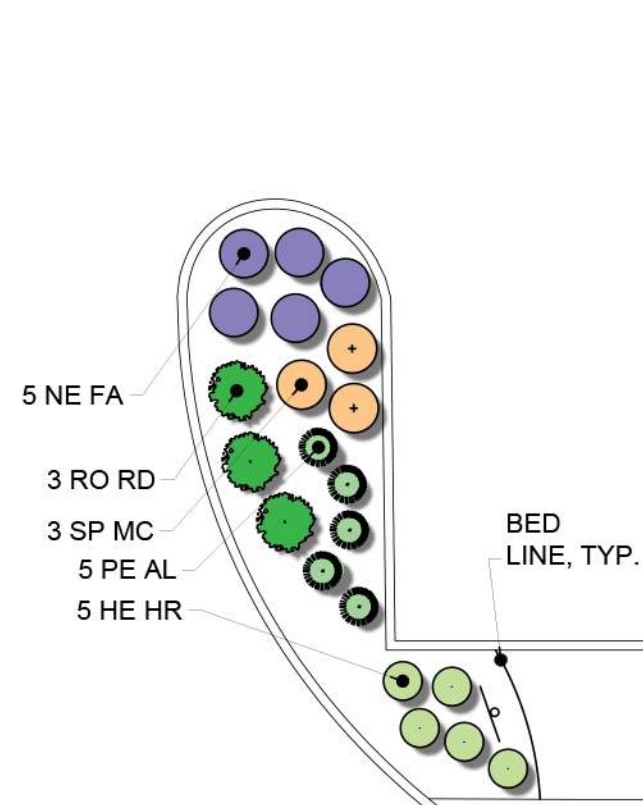
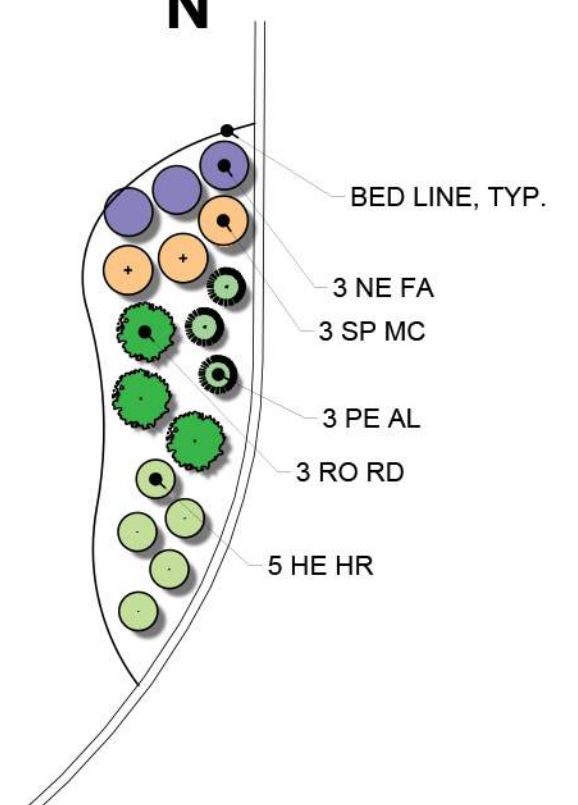
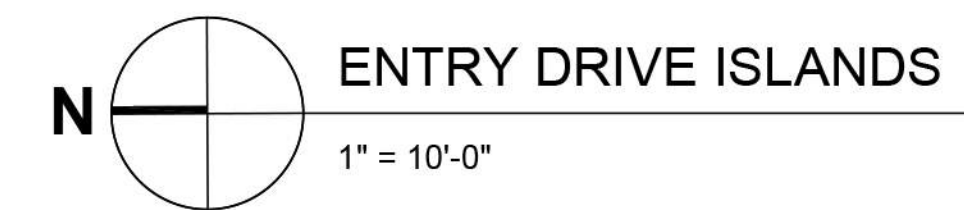
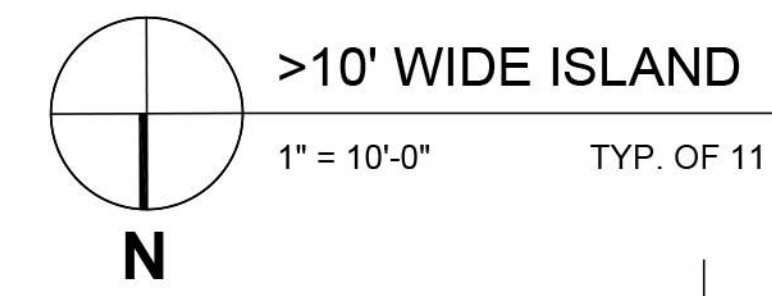
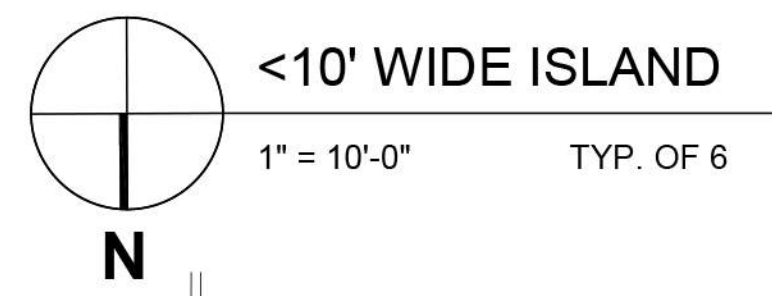
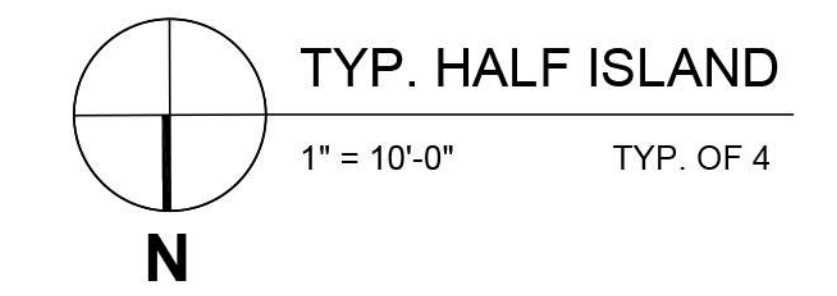
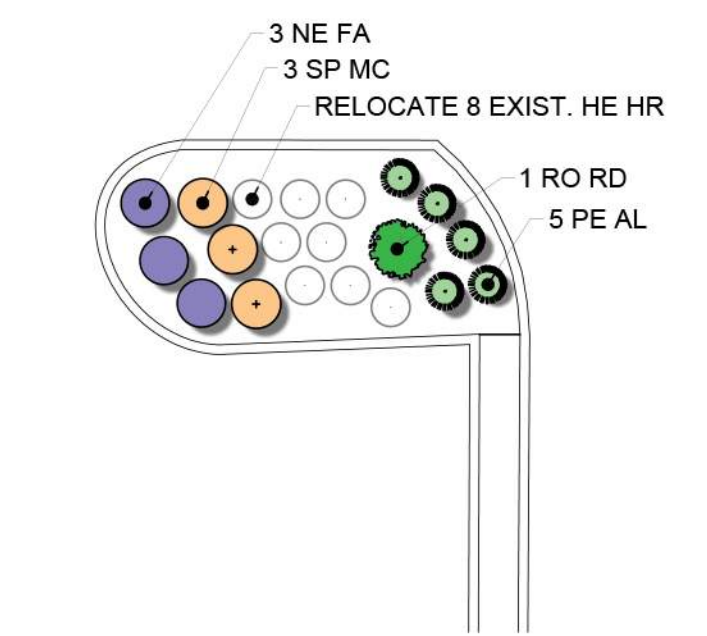
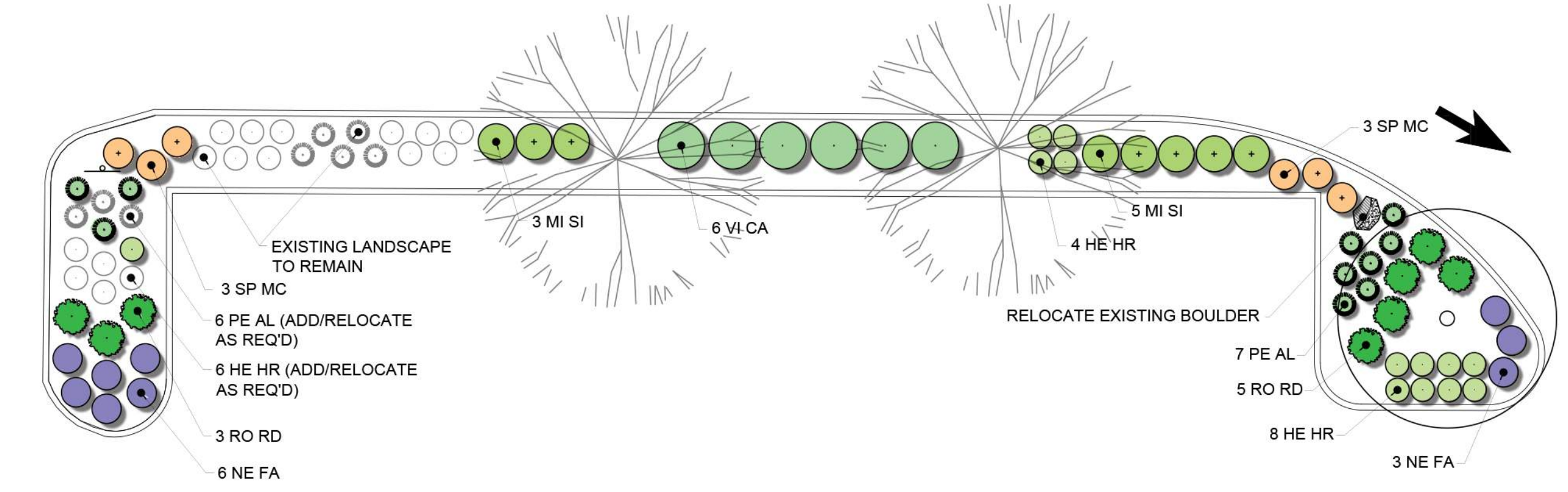
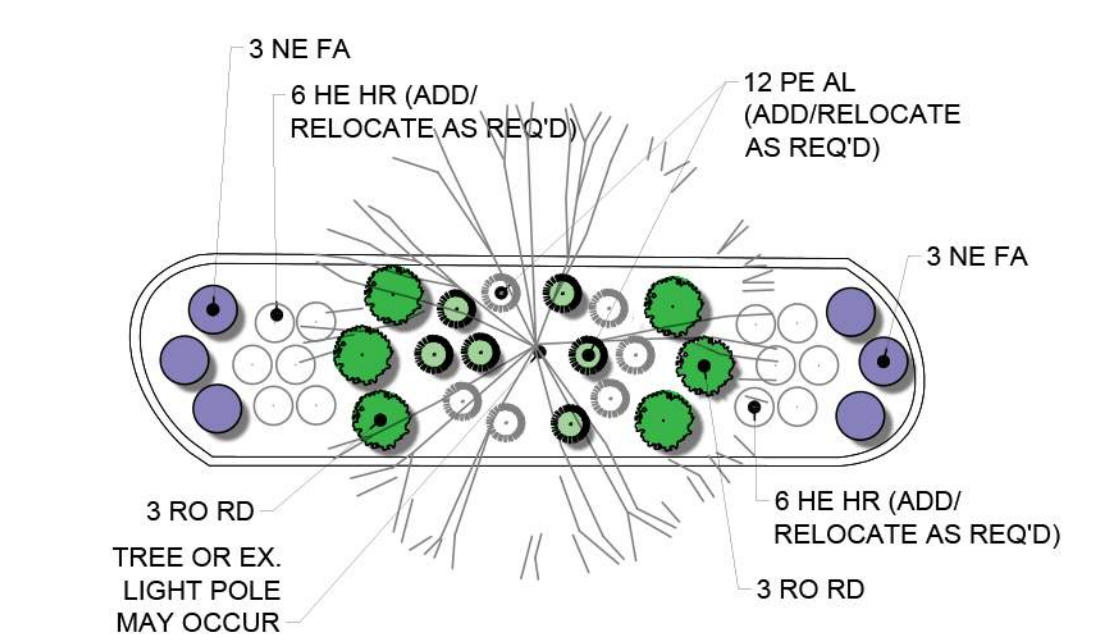
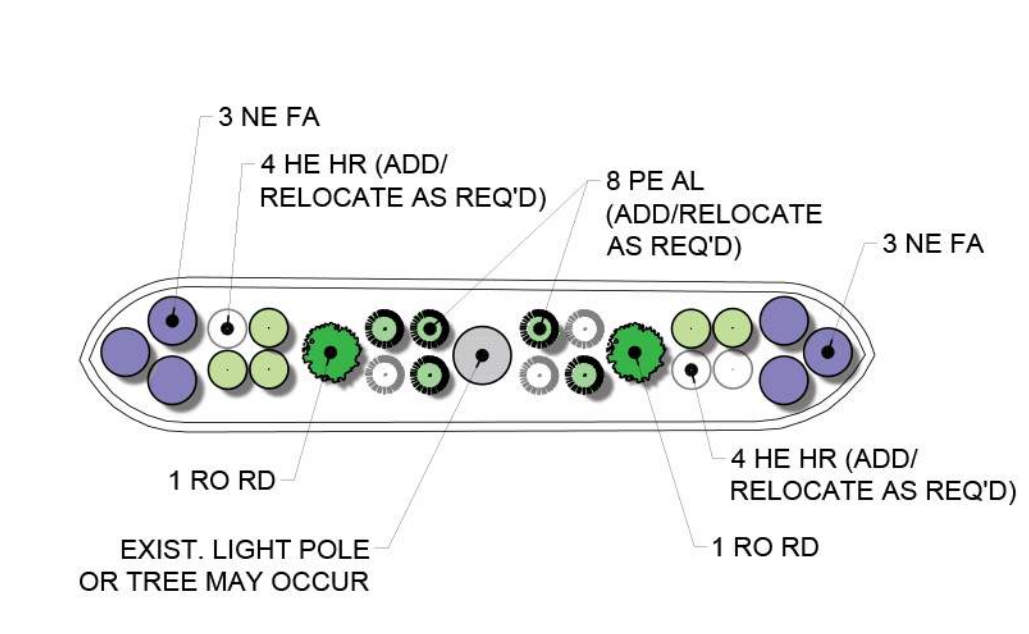
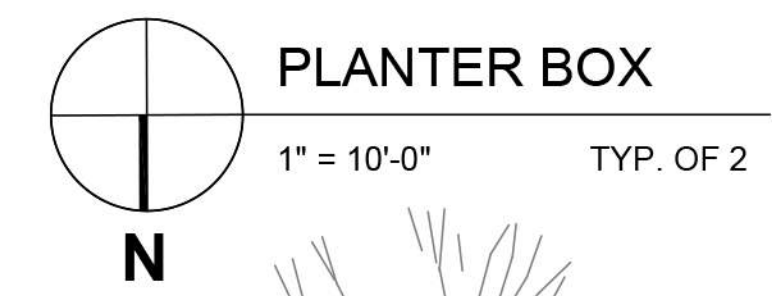
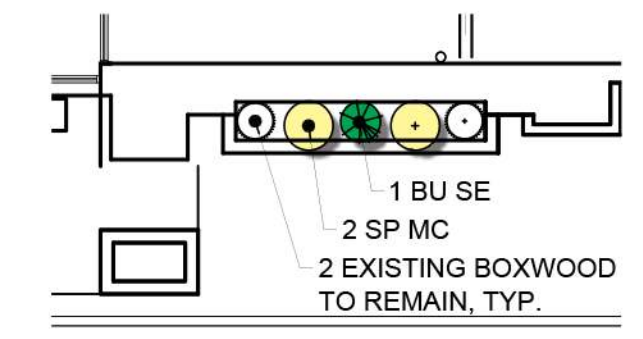
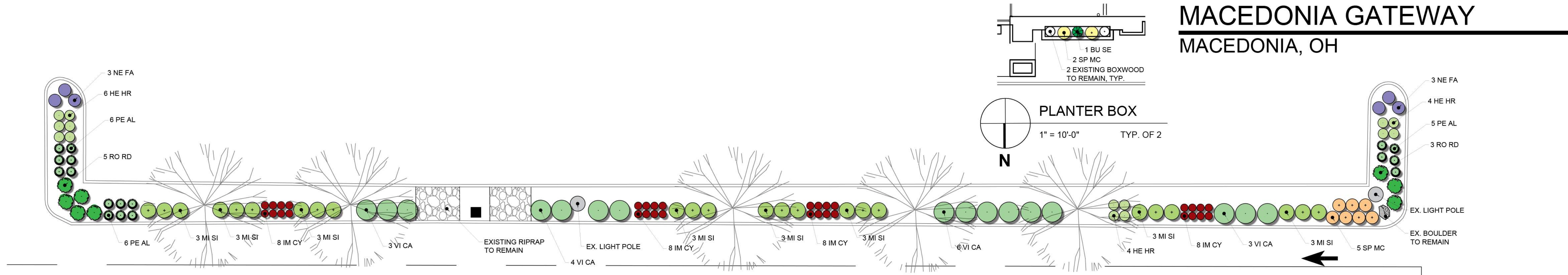


**NOTE: APPROVED 12/20/2021 PLANNING COMMISSION MEETING, NO CHANGE FOR NORDSTROM RACK**

DECEMBER 15, 2021  
20-031



# MACEDONIA GATEWAY MACEDONIA, OH



## LANDSCAPE EXHIBIT - ENLARGED PLANS



Design information herein is property of CUPKOVIC architecture, llc  
Architect

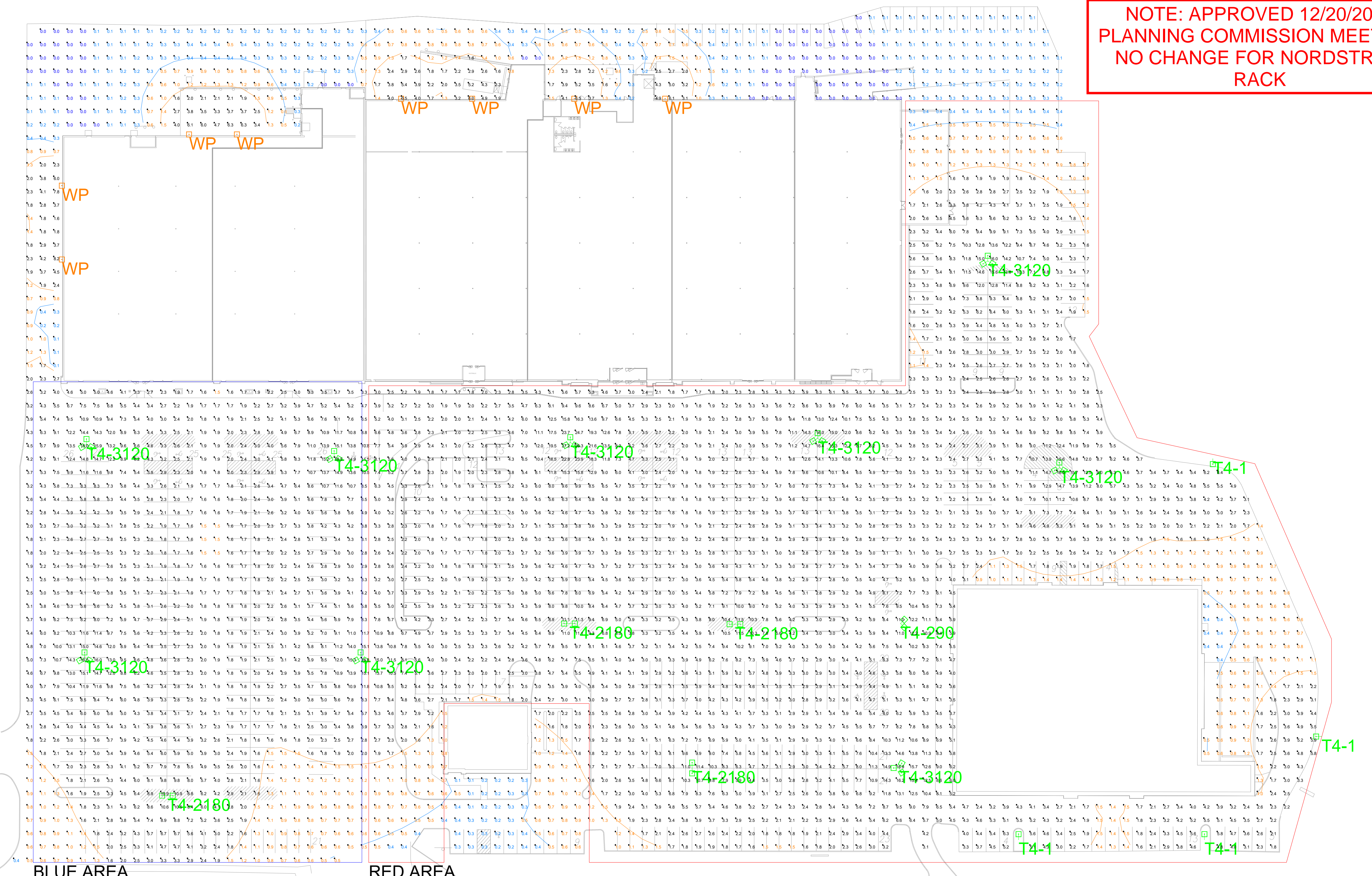
**NOTE: APPROVED 12/20/2021 PLANNING COMMISSION MEETING, NO CHANGE FOR NORDSTROM RACK**

DECEMBER 15 2021  
20-031





**NOTE: APPROVED 12/20/2021  
PLANNING COMMISSION MEETING,  
NO CHANGE FOR NORDSTROM  
RACK**



Drawn By: DGafford

Checked By: MScott

Date: 10/28/2021

Scale: 1" = 85'

**MACEDONIA GATEWAY**

Location: Macedonia, OH

SalesForce Opportunity: 1013295

Luminaire Schedule						
Symbol	Qty	Tag	Arrangement	Label	LLF	MH
	8	WP	SINGLE	WALPAKN4B080UNVD8xxNCxx	1.000	20'
	4	T4-2180	BACK-BACK	AREAFLD2A_300UNVD740_T4mm_ffnss_t	1.000	40'
	1	T4-290	2 @ 90 DEGREES	AREAFLD2A_300UNVD740_T4mm_ffnss_t	1.000	40'
	9	T4-3120	3 @ 120 DEGREES	AREAFLD2A_300UNVD740_T4mm_ffnss_t	1.000	40'
	4	T4-1	SINGLE	AREAFLD2A_300UNVD740_T4mm_ffnss_t	1.000	40'

Calculation Summary						
Label	Workplane	Avg	Max	Min	Avg/Min	Max/Min
Site Overall	At Grade	3.53	28.3	0.0	N.A.	N.A.
BLUE AREA	At Grade	4.17	16.6	0.5	8.34	33.20
RED AREA	At Grade	4.09	28.3	0.3	13.63	94.33

\*Blue calc pts represent where light falls below 0.5fc.  
\*Orange calc pts represent where light falls between 0.5-1.5fc.

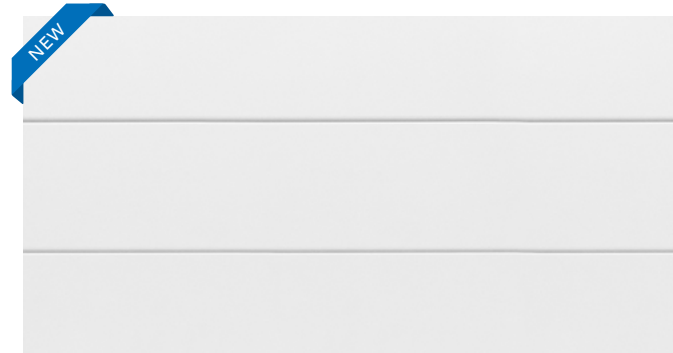
This drawing is for estimating purposes only, final construction drawings, lighting layouts and calculations are the responsibility of a licensed architect or engineer. In no event shall Ledvance LLC be liable for any direct, indirect, consequential, punitive, special or incidental damages (including, without limitation, damages for loss of profits, business interruption, or loss of information) arising out of the use or inability to use this document or its content, even if Ledvance LLC has been advised of the possibility of such damages. Ledvance LLC makes no representations or warranties with respect to the accuracy or completeness of the contents of this document. In all instances, it is recommended have a pilot installation in place to verify light levels and appearance are what is expected prior to completing a total installation and layout of the product(s).





LATURA V-GROOVE *White + Custom Color* | STOCK ILLUMINATION *Cotton* | MODERNBRICK

LATURA V-GROOVE  - COMING SUMMER 2022



WHITE



GRAY



**CUSTOM HUES MEET MODERN DESIGN**

With Color Xpressions, Latura V-Groove panels are available in an array of custom colors. Learn more on page 6.

LATURA V-GROOVE SPECS	AWP 1818	AWP 3030
DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)	17-7/8" H x 119-5/16" L (455MM H x 3030MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	40.35	65.25
WEIGHT (LBS. PER SQ. FT.)	4.54	4.41
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.	14.81 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [17.76 SQ. FT.]	2 [29.62 SQ. FT.]

 AWP 1818 CAN ONLY BE INSTALLED HORIZONTALLY.

 AWP 3030 CAN BE INSTALLED HORIZONTALLY OR VERTICALLY.

## Pushing the boundaries of lap siding.

Latura V-Groove gives you the classic look of lap siding with the modern performance of our Architectural Wall Panels. The ultra-durable fiber cement panels are resistant to fire, wind, pests and rot, easy to maintain, and have an integrated rainscreen system that offers protection from water intrusion and moisture damage. Latura V-Groove features a sophisticated look with deep shadow lines that are perfect for custom homes or multifamily projects alike.



LATURA V-GROOVE *Custom Color*



LATURA V-GROOVE *White + Custom Color*



# PANEL SIDING





# Versatility that spans traditional to contemporary.

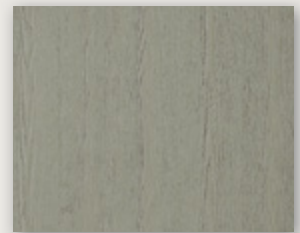
Designed for everything from sidewalls to overhead accents, Allura Panel Siding adds beautifully versatile – and exceedingly durable – distinction to your next project.

## TECHNICAL SPECIFICATIONS

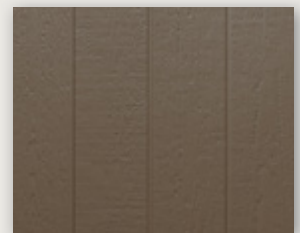
Thickness	Width	Length
5/16"	4'	8'
5/16"	4'	9'
5/16"	4'	10'
5/16"	4'	12'

\* Check market availability, as products may vary.

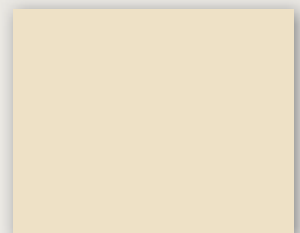
## AVAILABLE TEXTURES\*



Traditional Cedar



8" OC Groove



Smooth



NORTH AMERICAN CAST  
STONE, INC.

North American Cast Stone Inc.  
Wheatstone  
(wall base typical north and west  
elevations)

AMERICAN

STO EIFS French  
Vanilla cornice, installed  
at typical EIFS cornice  
conditions

WHEAT ST

SW 7056 | Reserved White

Sherwin Williams SW  
7056 Reserved White -  
Nordstrom Rack brand  
standard color

SW 7056  
Reserved White

Bowerston  
#130-3 Mahogany  
(modular brick, typical  
north and west elevations)

#130-3 MAHOGANY  
W/C MODULAR

W. L. TUCKER SUPPLY CO.  
2800 Second Street  
Cuyahoga Falls, OH 44221-1993  
FBE Certified  
Phone: 330.928.2155  
Fax: 330.928.3688 Online: wltucker.com  
Serving The Construction Industry Since 1915



EST. 1929  
**BOWERSTON**  
OHIO QUALITY BRICK





October 28, 2022

City of Macedonia Planning Commission  
9691 Valley View Road  
Macedonia, Ohio 44056  
(330) 468-8360

Re: Macedonia Gateway - Nordstrom Rack and Adjacent Tenant  
Macedonia, OH  
CA/jn 20-031

To the City of Macedonia Planning Commission,

Below is a narrative of the Nordstrom Rack and adjacent tenant space submittal for the City of Macedonia Planning Commission. The attached submittal is for the further redevelopment of the former Burlington Coat Factory tenant space.

The proposed scope of work includes:

1. New north and west facades for +/- 28,000 sf Nordstrom Rack.
2. A new corner element facing Route 8 as discussed at the December 2021 Burlington Coat Factory Planning Commission meeting and at the October 2022 TJ.Maxx Planning Commission meeting. **Two options are included in submittal for review with Planning Commission.**
3. A new +/- 700 sf truck dock appendage on south façade for Nordstrom Rack. Truck dock will be recessed.
4. A new north façade for +/- 8,300 SF tenant space between proposed Nordstrom Rack and TJMaxx. Tenant is unknown at this time.
5. Adjacent tenant space service area will be at grade.

Scope items not included in this submittal are:

1. Nordstrom Rack signage. A signage package will be submitted for approval by a sign manufacturer at a later date.
2. Adjacent tenant space signage. A signage package will be submitted for approval by a sign manufacturer at a later date.
3. Demolition of former garden center on building's west side was approved at previous Planning Commission meeting.
4. Site lighting and landscaping improvements were approved at the December 2021 Planning Commission meeting and will not be modified as part of this submittal.

Best regards,

Craig Cosper  
Senior Job Captain

**CUPKOVIC** architecture llc

Cc: File





**City of Macedonia**  
**Building, Engineering, Zoning & Planning Dept.**

*The Crossroads of Northeast Ohio*

9691 Valley View Road • Macedonia, Ohio 44056

330 / 468-8360 • Fax: 330 / 468-8396

**APPLICATION FOR HEARING BEFORE THE  
MACEDONIA PLANNING COMMISSION**

**ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.**

**DATE OF APPLICATION:** 10/28/2022

**LOCATION OF PROPERTY INVOLVED:** 500 East Aurora Road

**NATURE OF REQUEST:** Planning Commission Approval

**APPLICANT NAME & PHONE:** Craig Cosper (216) 524-8400

**APPLICANT ADDRESS:** 6060 Rockside Woods Blvd. North, Suite 100, Independence OH 44131

**APPLICANT EMAIL ADDRESS:** ccosper@cuparc.com

**APPLICANT SIGNATURE:** 

**NOTES:** SEEKING APPROVAL FOR THE NEW RETAIL TENANT **NORDSTROM RACK**, AND AN UNDETERMINED FUTURE TENANT. THE SCOPE INCLUDES A MODIFICATION TO THE EXISTING FORMER BURLINGTON COAT FACTORY NORTH AND WEST FACADES AND A NEW +/-700 SF TRUCK DOCK APPENDAGE AT THE SOUTH SIDE OF THE BUILDING WITH A RECESSED LOADING DOCK. SITE LIGHTING AND LANDSCAPING IMPROVEMENTS FOR MACEDONIA GATEWAY WERE APPROVED AT THE 12/20/2021 MEETING AND ARE NOT CHANGED. NOT INCLUDED IN THE SCOPE ARE THE TENANT SIGNAGE, WHICH WILL BE SUBMITTED INDEPENDENTLY.

**MEETING DATE:** 10/28/2022 **FILING FEE** \$50.00 **ESCROW REQUIRED** \_\_\_\_\_

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish TWO sets of sketches, maps, drawings, descriptions, or photographs of the property in question. TWO copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

**PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE. ADDITIONAL FEES MAY BE REQUIRED.**

The Macedonia Planning Commission meets on the 3<sup>rd</sup> Monday of each month.

**Make checks payable to:**  
City of Macedonia

**Please submit plans to:**  
Macedonia Building Department  
9691 Valley View Rd.  
Macedonia, OH 44056

# Memorandum

**TO:** Nicholas Molnar, Mayor  
and Macedonia Planning Commission

**FROM:** Brian M. Frantz, AICP

**SUBJECT:** Macedonia Gateway (Nordstrom Rack) – Façade and Site Improvements

**DATE:** November 13, 2022

---

In connection with an on-going series of façade and site improvements to the Macedonia Gateway Plaza, the applicant is now proposing modifications to the final large retail space and is doing so on behalf of the tenant Nordstrom Rack (“Nordstrom”).

Nordstrom will occupy the approximate 28,000 square foot tenant space located at the far western end of the plaza. As a reminder, this project started in 2021 with Burlington downsizing and receiving Planning Commission approval to update/modify the building façade in anticipation of future tenants.

The most recent approval was for T.J. Maxx that will occupy approximately 22,000 square feet adjacent Nordstrom Rack. A remaining approximate 8,300 square foot unit will be the last unoccupied tenant space, but this application proposes the façade improvements to that space as well.

I have reviewed an application (including site plan and façade illustrations) dated October 28, 2022. Based on my review of the proposal, I offer the Planning Commission the following comments for their consideration:

## Analysis – Façade Improvements

- 1) A very different corner element is being proposed as compared to what the Planning Commission approved at the on-set of this project. This particular element is essentially a rectangular box and massed similar to the other units. However, the original Commission approval provided a gabled tower element, which is more appropriate for the Western Reserve style of architecture utilized throughout the City. Conversely, the lack of a pitched roof element with this proposal is out of character with Western Reserve Architecture and should not be considered for approval.
- 2) The applicant’s cover letter indicates that demolition of the garden center on the western side of the building is not part of this application as it was previously approved at another meeting. My recollection was this particular item was discussed during the T.J. Maxx meeting, but I don’t believe any decisions were reached. It’s been my position that the garden center should be removed from the building as it provides no architectural value. I believe it is necessary for

the Commission to confirm if this element will be eliminated with the Nordstrom Rack project since Sheet 3 of the architectural plans also states that removal is included under previous approvals.

- 3) The western building wall is very long and devoid of architecture. Some level of fenestration and detail must be provided on this elevation to ensure a meaningful presence fronting on State Route 8. Two options are presented by the applicant for the corner element on this elevation. My position still is that the gabled tower element is more aligned with Western Reserve Architecture, as opposed to either option presented.

Given this elevation fronts on State Route 8 and is highly visible, the Commission should consider requiring a black decorative fence and stone columns (with lights) to mirror what has been achieved on the opposite side of Route 8 from Chick-Fil-A cornered at Route 82 through the Culver's development to the south. This classic style black wrought iron fence with columns signifies Western Reserve Architecture and visually enhances the Route 8 frontage.

- 4) The front façade surrounding the Nordstrom Rack signage is proposed to be clad with Nichiha cement panels, with a small amount of DRYVIT (EFIS) used for the cornice treatment similar to the Burlington and T.J. Maxx improvements. The proposed color for the cement board is Reserved White, which is a different white than the China White being used on the T.J. Maxx unit. Moreover, the white proposed for the remaining vacant unit is French Vanilla. These conflict of colors between Burlington, T.J. Maxx and the current proposal needs to be resolved to ensure visual continuity. Moreover, the pattern proposed for the Nichiha cement panels is different on each of the tenant spaces but should be consistent.
- 5) The façade of the remaining tenant space should contain less cement panel and more brick to match other units in the plaza. Discussion should occur as to whether the Allura lap siding proposed is acceptable given the other material choices/patterns used on the adjacent tenant spaces. Too many material choices/patterns in close proximity to one another doesn't create a cohesive appearance for the overall development.
- 6) The photometrics plan shown on Sheet 10 does not comply with the City's historical standards of lighting levels which sets a maximum of one foot-candle at property lines. Efforts should be taken by the applicant to shield the lights and redirect them to achieve compliance with the one foot-candle standard.
- 7) Sheet 1 illustrates an existing clothing box at the far corner of the building façade adjacent the Route 8 frontage. This box must be moved into an area that is screened from view or removed from the site.

- 8) The landscape exhibit shown on Sheet 8 appears to be different than the December 2021 approval. My recollection is that additional trees were added in the islands and a different variety of landscape species was approved by the Commission based on requests I presented in my November 2021 report. For ease of review, my November 2021 comments are noted below in italics font. I don't believe the Commission's approval based on the comments below are reflected in the details shown on Sheet 8 of this submittal. The applicant should confirm the correct details.

### ***NOVEMBER 2021 MEMO COMMENTS: Analysis – Landscaping and Site Lighting***

1. *Sheets three and four detail existing and new landscaping for the complex. Generally, the landscaping is appropriately picked for the northeast Ohio climate. However, too many grasses are being proposed and more shrubs are needed pursuant to Section 1172.02 (a) (6) of the Code.*

***ACTION ITEM:*** *Reduce the use of the ornamental grasses and increase the use of shrubs such as Boxwoods, Burning Bushes, Gold Spirea, etc.*

2. *The proposal includes landscape planter boxes adjacent the prime building façade.*

***ACTION ITEM:*** *Utilize vertical shrubs along the building façade to break-up the mass of the building.*

3. *Sheet four details the landscape islands and proposes new landscape materials in each of the existing islands.*

***ACTION ITEM:*** *This sheet should include a table that details information about the proposed landscaping, e.g., plant names, number proposed, spacing, etc. Consideration should be given to adding landscape islands at the end of the parking isles. Currently there are very few islands and the parking lot is expansive. Adding additional islands will help break-up the expanse of the pavement and bring the lot into compliance with the Code.*

4. *A multiple page lighting plan (Pearlwind) is provided to document the proposed site lighting but it is not "tied-to" a site plan and does not provide cut sheets for the proposed lighting fixtures.*

***ACTION ITEM:*** *Future plan submittals must provide cut sheets for the light fixtures to ensure compliance with the Town Center standards. Moreover, a photometrics plan on a site plan is needed to ensure maximum lighting levels of 0.5 foot-candles at all property lines.*

### **Conclusion**

There are a number of inconsistencies with this proposal compared to the previous approvals. Planning Commission should work with the applicant to achieve a consistent materiality for the building, as well as creating a corner element that provides visual interest along Route 8 and 82. Finally, confirmation with the lighting and landscape details from previous approvals is needed.

If you have any questions or need additional information, please feel free to contact me.

# MEMORANDUM

**To:** Mr. Nicholas Molnar, Mayor  
Mr. Bob Rodic, Building Commissioner

**From:** Pam Schultz, Architectural Review Consultant

**Subject:** Nordstrom Rack  
500 East Aurora Road  
Northfield Center, OH

**Date:** November 7, 2022

---

I have reviewed the submitted plans for Nordstrom Rack.

The proposed plans are for a new facade in the former Burlington location. This building is located in the Town Center area which is covered by the Architectural Design Standards of Macedonia, OH along with specifically, 1172.03 of the Applicable Town Center Standards. With those standards in mind, I offer the following for your consideration:

1. The material samples being presented should be verified for quality, color and texture. In particular, please visually verify the cement panel system, the brick and cast stone material and the color of the EIFS.
2. Typically, thin brick is not permitted. Please utilize a standard brick for the façade due to the large areas required. (When large areas of thin brick are used, the wall will look “waved” over time. Meaning, the wall will undulate due to the inconsistency of the material behind the thin brick.).
3. The details in drawing (04) option 2 show soldier course brick details which add to the three-dimensional quality celebrated in Macedonia. Please utilize these details where possible. However, Option 2 as shown is not preferred due to the unbalanced look of the “tower”. Utilizing a gabled tower would introduce a different element which could allow “visual acceptance”. As previously stated, I believe a gabled tower is appropriate for this location.
4. The Cast Stone detail is appreciated due to it’s “Sandstone/Limestone” look. Please visually verify.
5. The cement panels located behind the Nordstrom Rack signage is placed in a contemporary pattern. The placement of the cement panels in a brick pattern would give toward a classic sandstone/limestone look that adheres to the Western Reserve Criteria set forth in j1172.02(a)(1)(2)(3) and 1172.03.
6. Large expanses of Dryvit are out of proportion with the surrounding tenants and is not permitted. (Please see 1172.02 (a)(5) and (10)(D). The signage area proposes a “Cementitious Panel System to replace dryvit. Careful consideration is needed to create the sandstone/limestone look. Please minimize dryvit where possible. (please see 1172.02(10)(D) and 1172.03((2)(C)and (10)(e). In addition, please verify the color of material used matches adjacent tenants. (neighboring tenants may have used white).
7. Please verify the side view of the façade is not visible from Route 8/West elevation. If it is visible, verify the side details are appropriately simple and colors allow the side details to blend with the actual façade. All rooftop (any) mechanical equipment must also be hidden from view. This is a highly visible area from Route 8, please verify compliance.
8. Canopy line is shown below a thin area of glass. Consider utilizing a detailed trim similar to cornice to add to the Western reserve details. In addition, raising or adding a canopy detail above the glass line would minimize the amount of the mass signage area. Creating some three-dimensional brick details around this area would also add to the Western Reserve details.

**Page Two**

**Memo regarding Nordstrom Rack**

**11.7.22**

9. The Western Elevation showing the larger tower would be preferred due to the high visibility. The cementitious panel system should be installed in a brick pattern to add to the Western Reserve details required by the City of Macedonia.
10. Adding three dimensional/soldier course details on the long Western Elevation facing route add would add visual interest instead of the large cornice detail. (minimizing the amount of dryvit at the cornice is required).
11. Painted cement at the dock area may create future maintenance issues. Please verify maintenance program.
12. The EIFS cornice and the cement panels should have similar colors. The Nordstrom rack façade has an area where the two materials butt against each other. (color samples in the picture show they could clash. Please verify colors in person).

**Recommendation:**

I believe a discussion of the tower element is required. The original submission shows a gabled tower and I believe it is appropriate to require. If the commission agrees, I believe the tenant can reasonably make the listed modifications to adhere to the coordinated efforts of Macedonia for Western Reserve architectural details. Please feel free to contact me with any questions or comments.

Thank you!

Pam Schultz