

**CITY OF MACEDONIA
BOARD OF ZONING AND BUILDING CODE APPEALS
MEETING AGENDA
May 19, 2021**

Location:

VIRTUAL TEAMS MEETING; view link at www.macedonia.oh.us

Time: 6:30 p.m.

1. Call to Order
2. Roll Call: Mr. Pilato, Mr. Ferraro, Mr. Shellko, Ms. Metzler, Mr. Ioffreda
3. Approval of Minutes
 - a. Cases 642-646

4. NEW BUSINESS:

Case #647 - *Applicant 1: Start of meeting to 7:00 p.m.*

Austin Morris, representing Richard Crane
1100 Ledge Road
Macedonia, Ohio 44056

The Board of Zoning and Building Code Appeals will hear a request for a variance at 1100 Ledge Road. The variance is to section 1171.16(d)(1)(5): privacy fences, open fences, and chain link fences are not permitted in front yards. The applicant is requesting a variance to have a fence in a front yard on a corner lot.

5. NEW BUSINESS:

Case #648 - *Applicant 2: 7:00 p.m. – 7:30 p.m.*

Jean and Michelle Gagne
1049 Morning Glory Drive
Macedonia, Ohio 44056

The Board of Zoning and Building Code Appeals will hear a request for a variance at 1049 Morning Glory Drive. The variance is to section 1163.05(g)(5)(A): Side and rear yards. No dwelling unit or accessory buildings shall be less than twenty feet from a property line adjacent to a nonresidential zoning district, a P.U.D. district, an interstate highway, or utility corridor, provided that the required setback shall be increased by one foot for every foot of wall length along the adjacent property line exceeding thirty feet in length, provided that in no event shall the required setback exceed ninety feet. The applicants are requesting a variance of fifteen (15) feet for both the side and rear property lines.

6. NEW BUSINESS:

Case #649 - Applicant 3: 7:30 p.m. – 8:00 p.m.

Curt Smock, Architect at Four Points Architectural Services, Representing
Dominion Energy
9796 Shepard Road
Macedonia, Ohio 44156

The Board of Zoning and Building Code Appeals will hear a request for a variance at 9796 Shepard Road. The variance is to section 1169.04(f)(3)(B): The minimum side or rear setback shall be seventy feet when the corresponding lot line is contiguous to residentially zoned land; provided further that the setback shall be increased by one foot for every foot of building length along such property line greater than fifty feet but in no event is the setback required to be more than 150 feet. The required setback in a G-I General Industrial District (based on a main building length of 90 feet plus an accessory building length of 20 feet) is 130 feet. The applicant is requesting a side yard setback variance of 80 feet for both the main building and the accessory storage building.

7. NEW BUSINESS:

Case #650 - Applicant 4: 8:00 p.m. – End

Macedonia Retail Management LLC
8183 Golden Link Boulevard
Macedonia, Ohio 44056

The Board of Zoning and Building Code Appeals will hear a request for a variance at 8183 Golden Link Boulevard. The variance is to the Criteria for the Development of Outlots at The Crossings at Golden Link, section H(1)(b)(1): There will be a continuous landscape frontage yard no less than twenty-five (25') feet wide on the Owner property between the right-of-way line and the Owner's paved ground surface area. The applicant is requesting a landscape frontage of 7.1 feet, a variance of 17.9 feet.

8. NEW BUSINESS:

Case #651 - Applicant 4: 8:00 p.m. – End

Macedonia Retail Management LLC
8183 Golden Link Boulevard
Macedonia, Ohio 44056

The Board of Zoning and Building Code Appeals will hear a request for a variance at 8183 Golden Link Boulevard. The variance is to section 1171.11(e)(2): parking and access drives shall be set back from the street right of way a minimum of twenty feet. The applicant is requesting an access driveway parking setback of three (3') feet, a variance of 17 feet.

9. NEW BUSINESS:

Case #652 - Applicant 4: 8:00 p.m. – End

Macedonia Retail Management LLC
8183 Golden Link Boulevard
Macedonia, Ohio 44056

The Board of Zoning and Building Code Appeals will hear a request for a variance at 8183 Golden Link Boulevard. The variance is to the Criteria for the Development of Outlots at The Crossings at Golden Link, section I(b)(1): Landscape areas shall be from the building façade to the sidewalk curb line. Adequate, but not excessive, sidewalk space for customer and service access shall be provided within the space while maintaining generous planting areas. The planting area will extend the entire length of the building's prime façade, and its width will be a minimum of five (5') feet wide. The applicant is requesting a variance of 5 feet, thereby eliminating the landscape area.

10. NEW BUSINESS:

Case #653 - Applicant 4: 8:00 p.m. – End

Macedonia Retail Management LLC
8183 Golden Link Boulevard
Macedonia, Ohio 44056

The Board of Zoning and Building Code Appeals will hear a request for a variance at 8183 Golden Link Boulevard. The variance being requested is to section 1179.03(f)(2) and 1179.07(f)(1): The maximum permitted area for identification signs is two square feet for each lineal foot of building frontage, plus additional sign area when the use is on a corner lot. The applicant is requesting an increase in the total allowable sign area from 265 square feet to 418 square feet, a variance of 153 square feet.

11. NEW BUSINESS:

Case #654 - Applicant 4: 8:00 p.m. – End

Macedonia Retail Management LLC
8183 Golden Link Boulevard
Macedonia, Ohio 44056

The Board of Zoning and Building Code Appeals will hear a request for a variance at 8183 Golden Link Boulevard. The variance being requested is to section 1179.03(c)(1): Each building frontage shall be entitled to the sign area permitted in this Chapter. The Applicant is requesting a variance to allow an additional sign on two additional building elevations, considered neither primary or secondary frontage, and therefore, not entitled to signage.

Miscellaneous

If you approve of the above-mentioned use of said property, or, if such use is thought by you to be injurious to your premises or contrary to the public interest, please file a statement by letter or email stating your viewpoint to the Building Department no later than **two** business days before the meeting. You may also contact the Building Department at 330-468-8364. All public comments received to the City will be discussed during the virtual meeting.

If you know of any affected property owners who may be interested, but who may not have read this notice, please inform them of this meeting.

If you are not interested in this matter, please disregard this notice.

Macedonia Board of Zoning and Building Code Appeals



City of Macedonia
The Crossroads of Northeast Ohio
 9691 Valley View Road • Macedonia, Ohio 44056
 (330) 468-8360 • FAX (330) 468-8396

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APR 1 2021

Building/Engineering/Zoning/Planning Department
 CITY OF MACEDONIA
 BUILDING DEPARTMENT

**APPLICATION FOR HEARING BEFORE THE
 MACEDONIA ZONING BOARD OF APPEALS**

See instruction page for more information. Appellant is to provide NINE (9) copies of site plans, pictures, etc., and a written statement. (Residential fee: \$100.00; Commercial fee: \$200.00)

Address of Property Involved: 1100 Ledge Rd. Macedonia 44056

Nature of Request: Proposed Fence to be built on corner lot, 2 front yards.

Applicant Name or Agent Therefore: Austin Morris

Applicant Address: 206 Monroe Ave. Cuyahoga Falls, OH 44221

Applicant Phone: (330) 752-3104 Applicant Email: austin@gomorr.com

Property Owner Name: Dick Crane
 (if different from applicant)

Property Owner Address: 1100 Ledge Rd. Macedonia, OH 44056

Property Owner Phone: (330) 467-2484 Property Owner Email: ncrane111@gmail.com

SIGNATURE OF APPELLANT. (AUTHORIZATION OF PROPERTY OWNER REQUIRED IF DIFFERENT FROM APPLICANT)

Austin Morris Richard G. Crane Date: 3-31-21
 By my signature, I attest to the accuracy of all statement on this form

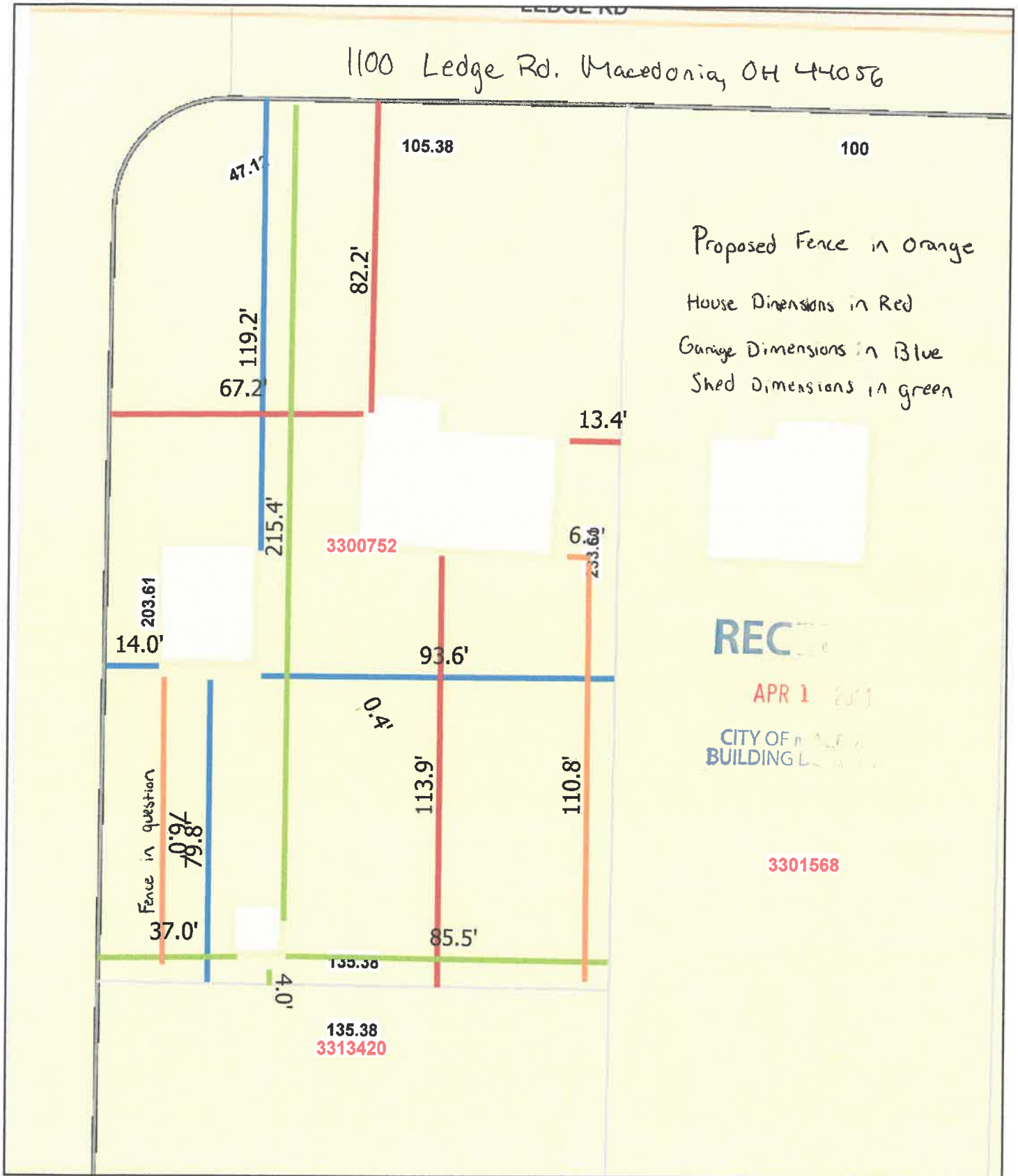
OFFICIAL USE ONLY

Received Date: 4/1/21 Case Number: 647

Variance Requested: 1171.16(d)(1)(5) FENCE IN A FRONT YARD

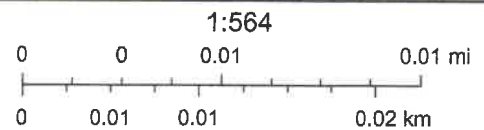
The Zoning Board of Appeals meets at 6:30 p.m. on the third Wednesday of each month in Council Chambers at Macedonia City Hall located at 9691 Valley View Road. Meeting dates are subject to change. Contact the Building Department at (330) 468-8364.

ArcGIS Web Map



3/31/2021, 2:13:11 PM

- Parcels
- RoadCenterlines2019
- Parcel Dimensions
- Summit County Municipal Outlines
- Sub Lot Line
- Right of Way Line
- Construction Line
- Combine Line





The proposed fence will be a shadow box fence constructed with cedar fence pickets and steel fence posts. The posts will be set at a depth of 36". The rails to support the pickets will be pressure treated pine. All hardware will either be coated for outdoor use, or galvanized.

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CITY OF MACEDONIA
BUILDING DEPARTMENT

APR 20 2021

CITY OF MACEDONIA
BUILDING DEPARTMENT

Area Variance answers/explanations

a. Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district. Examples of such special conditions or circumstances are exceptional irregularity; narrowness, shallowness or steepness of the lot; or proximity to non-conforming and inharmonious uses, structures or conditions.

Lot is on a corner. Adjacent road was not present when house was built.

b. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

Added value by constructing a fence.

c. Whether the variance is substantial and is the minimum necessary to make possible the reasonable use of the land or structures;

Not the minimum necessary.

d. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;

Character of the neighborhood will not be altered, there is already a natural fence (trees, bushes, shrubs, etc) running parallel to the road, that will keep the proposed fence, for the most part, out of sight.

e. Whether the variance would adversely affect the delivery of governmental services such as water, sewer, trash pickup;

Variance would not affect any of the services listed above.

f. Whether the property owner purchased the property with knowledge of the zoning restrictions;

Zoning restrictions were put in place after owner purchased the property.

g. Whether special conditions or circumstances exist as a result of actions of the owner;

No conditions or circumstances exist.

h. Whether the property owner's predicament feasibly can be achieved through some method other than a variance;

Cannot be achieved without the issuance of a variance.

i. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance;

Yes.

j. Whether the granting of the variance requested will confer on the applicant any special privilege that is denied by this regulation to other lands, structures, or buildings in the same district;

Will not confer any special privilege. Multiple properties within municipality with fences on corner lots.

k. Whether a literal interpretation of the provisions of this Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Code.

Yes, there are multiple other properties with fences on corner lots.

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CITY OF MACEDONIA
BUILDING DEPARTMENT

The reason that I am applying for a variance is that the proposed fence is to be built on a corner lot. Because corner lots are considered to have two front yards, fence regulations outlined in 1171.16 do not allow me to build a fence on the side parallel to the road. A variance may allow the fence to be built.

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**CITY OF MACEDONIA
BUILDING DEPARTMENT**



City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

INTEROFFICE MEMO

To: Zoning Board of Appeals
From: Chris Hall
Subject: Variance Request for a Fence in a Front Yard on a Corner Lot
For Consideration by the Board on May 19, 2021
Cc: Mayor Molnar, Mark Guidetti, Bob Rodic, Rachael Gambatese
Date: April 20, 2021

Applicant: Austin Morris representing Richard Crane
Location: 1100 Ledge Road
Zoning: R-1 Residence District
Request: Applicant is seeking a “*area variance*” to allow a fence in a front yard on a corner lot
Standards: **1171.16(d)(1)(5) Standards for Residential Districts.**
Privacy fences, open fences and chain link fences are not permitted in front yards.
1133.02(27)(B) Definitions.
For the purpose of 1171.16, Fence Regulations, a corner lot shall be considered to have two front yards; one such front yard for each of the yards abutting an adjacent street.
Findings: Proposed 6 ft. board-on-board privacy fence will be set back 14 feet from the Airplane Drive right-of-way, starting at the south-west corner of the detached garage, and ending 76 feet south, as illustrated in the attached site plan.
Board’s Action: The Board is to consider the application for a variance allowing a fence to be installed in a front yard on a corner lot.



City of Macedonia
The Crossroads of Northeast Ohio
 9691 Valley View Road • Macedonia, Ohio 44056
 (330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

**APPLICATION FOR HEARING BEFORE THE
 MACEDONIA ZONING BOARD OF APPEALS**

See instruction page for more information. Appellant is to provide NINE (9) copies of site plans, pictures, etc., and a written statement. (Residential fee: \$100.00; Commercial fee: \$200.00)

Address of Property Involved: 1049 Morning Glory Dr.

Nature of Request: Shed Installation and Variance Setbacks (side and rear)

Applicant Name or Agent Therefore: Jean and Michelle Gagné

Applicant Address: 1049 Morning Glory Dr.

Applicant Phone: (330) 472-4796 Applicant Email: JGagne2019@Outlook.com

Property Owner Name: Jean and Michelle Gagné
 (if different from applicant)

Property Owner Address: 1049 Morning Glory Dr.

Property Owner Phone: (330) 472-4796 Property Owner Email: JGagne2019@Outlook.com

SIGNATURE OF APPELLANT. (AUTHORIZATION OF PROPERTY OWNER REQUIRED IF DIFFERENT FROM APPLICANT)

[Handwritten Signature] Date: 04/23/2021
 By my signature, I attest to the accuracy of all statement on this form

OFFICIAL USE ONLY

Received Date: APRIL 23, 2021 Case Number: 648

Variance Requested: SET BACK 1163.05 (S)(E)(A)

The Zoning Board of Appeals meets at 6:30 p.m. on the third Wednesday of each month in Council Chambers at Macedonia City Hall located at 9691 Valley View Road.

Meeting dates are subject to change.

Contact the Building Department at (330) 468-8364.

★ Service ★ Commitment ★ Pride ★

Jean and Michelle Gagné
1049 Morning Glory Dr.
Macedonia, OH 44056

Application for Shed Placement

Installation of a prefabricated custom Utility Shed, 10' deep x 14' wide x 11" tall. See Shed Specifications

Lot Information

Location		Lot size	
Subdivision:	Gardens at Highland (GAH)	SQ FT / Acreage:	10,819 / 0.2484
SL Number:	46	Existing Structures	
Parcel Number:	3313193	House, access ways, deck, etc.:	2520 SQ FT

The **Location** property slopes to the south and west. In addition, the slope is more pronounced in the last 30' on the east side and as much as 45' on the west side. These elevation changes render approximately 1/3rd of the backyard as unusable (~1,348 SQ FT). See Topology and Variance Setback Information

Additional GAH Subdivision Information

Access: The land directly east of the **Location** property is owned by GAH and designated as Access (20' in diameter). Its sole purpose is to allow access to a common area. As Access land requires upkeep and is essentially an extension of our yard, we maintain it as if it was our own. See GAH Subdivision Illustration

Common Area: The land directly south of the **Location** property is also owned by GAH and designated as **Open Space, Block C**. It is deemed a wooded area required to remain as is. See GAH Subdivision Illustration

Prior Variance Allowance: The resident property to the east (SL 45), immediately beyond the access area, has previously been approved a setback variance to the south rear lot line. *On file with city*

Both adjacent neighbor Approvals confirmed:

- East (SL 45) - Mike and Ashley Ekis, 1059 Morning Glory Drive, (330) 507-2349
- West (SL 47) - Jim and Diana Gerhardt, 1039 Morning Glory Drive, (419) 651-1912

HOA Approval: The Gardens at Highland HOA Board and Property Management Company have approved the construction, materials and colors of the proposed shed. See GAH Architectural Review Application, Shed Request and Variance Information, and Grace Property Services approval letter

Requested Variance Setbacks

East side: A variance of 15' from side lot line (20' setback required by city PUD ordinance)

South side: A variance of 15' from rear lot line (20' setback required by city PUD ordinance)

See Topology and Variance Setback Information

Hardship Explanation

The **Location** property has limited yard due to the small lot size, existing structures and land elevation changes. Approving the requested setbacks will increase usable backyard space by 435 SQ FT (about 20%) to approximately 2,533 SQ FT. As yard size has a significant effect on the value of a residence, reducing the setbacks will minimize devaluing the property. Additionally, there are no impacts to governmental services or residents due to the adjacent Access land to the east and Common Area to the south. Lastly, the proposed site, being flatter ground will minimize required leveling from front to rear of the shed.

**Jean and Michelle Gagné
1049 Morning Glory Dr.
Macedonia, OH 44056**

Shed Specifications

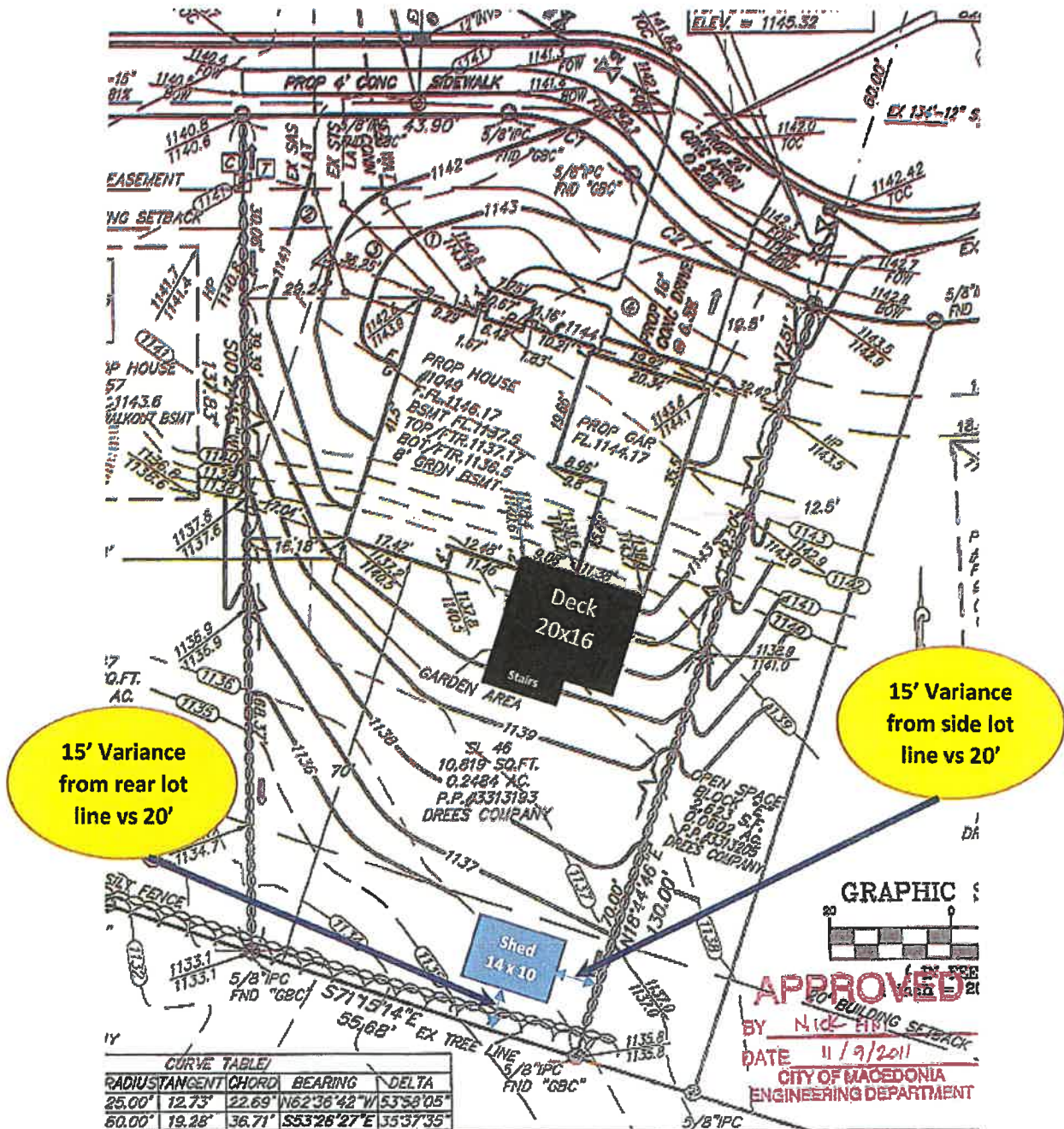
- Dimensions are 10' deep X 14' wide x 11' tall
- Builder/Installer Old Hickory Buildings/Ravenna Structures, (330) 257-1330
- Utility shed construction is comprised of wood (predominantly pressure treated) and asphalt shingles
- Shed will be leveled with 4 pillars of cement blocks both across the front and back 4" x 4" rails
- Exterior styling and colors to match the residence as closely as possible
- Frontage below will face back side of residence



Jean and Michelle Gagné
 1049 Morning Glory Dr.
 Macedonia, OH 44056

Topology & Variance Setback Information

- East side: A variance of 15' from side lot line (20' setback required by city PUD ordinance)
- South side: A variance of 15' from rear lot line (20' setback required by city PUD ordinance)
- Note the practical difficulties (greater elevation drop) with area adjacent to current proposed site



Back Yard Photos

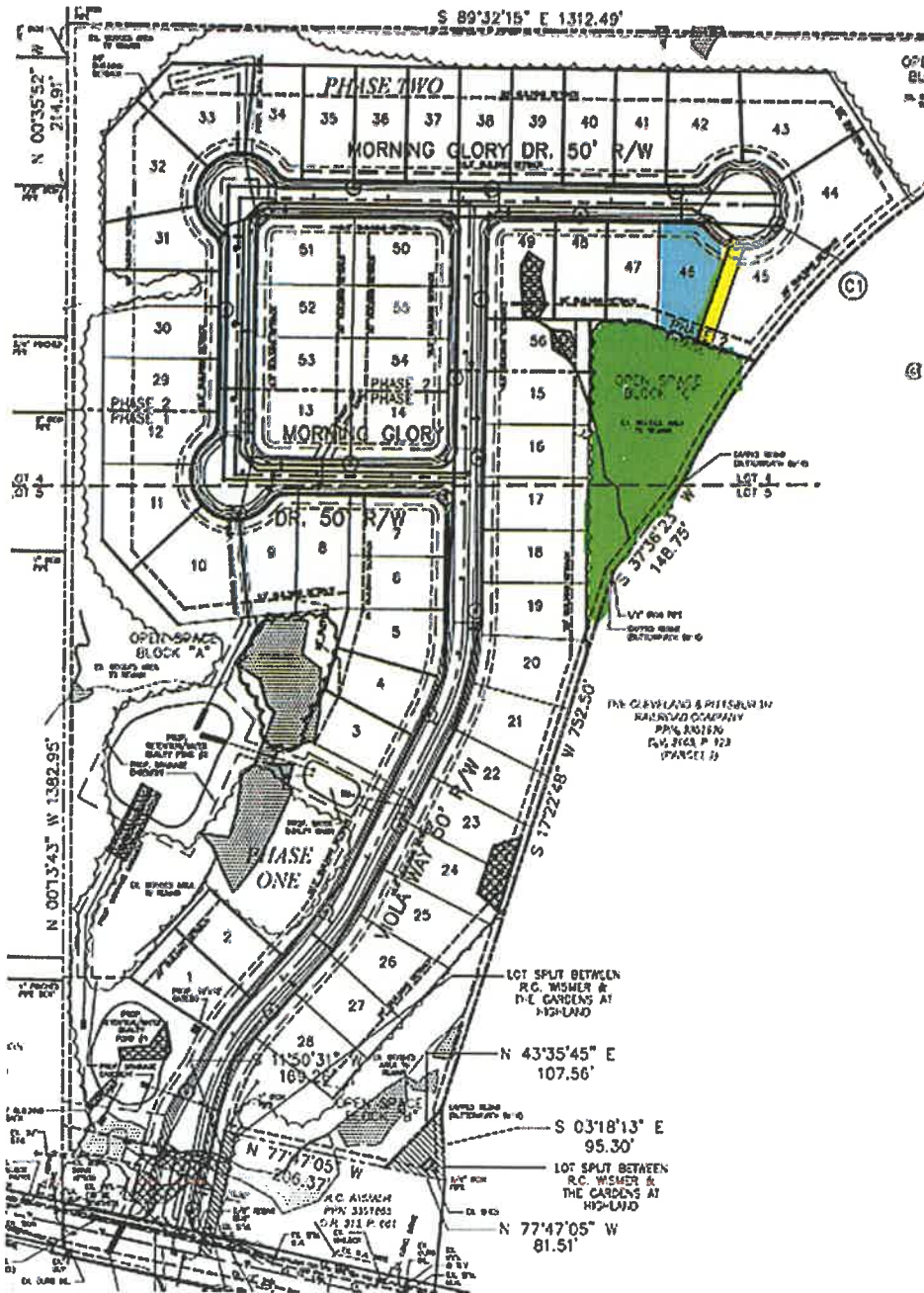
- Elevation drop of 10' from 1143 (at the house) to 1133 (southwest corner of lot)
- Elevation drop of 7' from 1143 (at the house) to 1136 (southeast corner of lot)
- Pictures below illustrate the elevation drop



Jean and Michelle Gagné
 1049 Morning Glory Dr.
 Macedonia, OH 44056

GAH Subdivision Illustration

- Location Property (SL 46) – **Blue**
- Access – **Yellow**
- Open Space, Block "C" – **Green**



GAH Architectural Review Application Form



Please refer to Gardens At Highland Handbook and page 2 of this form before submitting this form for general conditions and documentation to include with this form.

OWNER INFORMATION

Name: Jean Gagné
Address: 1049 Morning Glory Dr.
City, State ZIP: Macedonia, OH 44056
Phone: (330) 472-4796
Email: JGagne2019@Outlook.com

Proposed Modification:

Detailed Description. If applicable, attach supportive documentation as described in GAH Handbook:

Description:

Installation of a utility shed.

Shed construction, materials and colors detailed in attached documents.

Placement of shed on property (to include setback variance requests), also detailed in attached documents.

Estimated Start Date: 06/01/2021

Estimated Completion Date: 07/31/2021

SIGNATURE

I UNDERSTAND AND AGREE THAT NO CONSTRUCTION OR EXTERNAL ALTERATION SHALL COMMENCE UNTIL I HAVE RECEIVED WRITTEN APPROVAL FROM THE HOA BOARD OF DIRECTORS. IF ALTERATIONS ARE MADE PRIOR TO NOTIFICATION OF A DECISION, I MAYBE REQUIRED TO RETURN THE PROPERTY TO ITS FORMER CONDITION AT MY OWN EXPENSE AND I MAY ALSO BE RESPONSIBLE FOR INCURRED LEGAL EXPENSES.

Signature

Date

4/19/2021

FOR ASSOCIATION MANAGER AND BOARD OF DIRECTORS USE ONLY

Date received by Association Manager

Resolution and action taken (Please date and describe approval method)

Jean and Michelle Gagné
1049 Morning Glory Dr.
Macedonia, OH 44056

Shed Request and Variance Information

- Requesting to install a shed of dimensions 10' deep X 14' wide x 11' tall
 - Builder/Installer Old Hickory Buildings/Ravenna Structures, (330) 257-1330
 - Utility shed construction is comprised of wood (predominantly pressure treated) and asphalt shingles
 - Shed will be leveled with 4 pillars of cement blocks across both the front and back 4" x 4" rails
 - Exterior styling and colors to match the residence as closely as possible
 - Frontage below will face back side of residence
 - Confirmed approvals from both neighbors (Ekis and Gerhardt)
 - Note, I have added the back deck on the house as well as the shed to the Topology map which also clearly illustrate the lot elevation change towards the Southwest corner of the lot denoting all of the usable and impractical yard space
 - Requesting setback variances for both side and rear property lines:
 - Side (East): 15' variance from side lot line (20' minimum city ordinance)
The adjacent land to the East is designated s Access. The Access area is 20' in diameter and leads to a Common Area.
 - Rear (South): 15' variance from rear lot line (20' minimum per city ordinance)
The land adjacent to the South (Common Area) is designated as Open Space.
- Setback variances have no direct impact to neighbors





Gardens at Highland

"Helping to Guide Community Associations Throughout Ohio"

04/21/2021

Jean Gagne
1049 Morning Glory Dr.
Macedonia, OH 44056

Re: Shed

Dear Jean Gagne,

As you may be aware, the undersigned serves as management for the association Gardens at Highland in which you own a unit. One of our responsibilities includes informing the residents of the Board's decisions. The Board has approved your request with the following conditions:

- The owner is responsible for the cost of this installation.
- The owner will be responsible for any maintenance or repair of this installation.
- The owner is responsible for repairing any damages to the common elements as a result of this installation.
- The owner is responsible for any fees or permits, if any, associated with this installation as required by the city or county.
- The owner is responsible for complying with any and all city or county requirements.
- The work should be done by a licensed and insured contractor, the association will not be responsible for any injuries to any owner, guest or contractor as a result of this project.
- Any variation from your submitted request must be resubmitted for approval.
- Any modification approval is only valid up to one year after receiving the approval. Any modifications not completed within that year will need to be resubmitted for approval.

If you have any questions or concerns please feel free to contact Grace Property Services in writing at info@gracepropertieservicesllc.com, or call us at 234-209-9140.

Respectfully yours,
GRACE PROPERTY SERVICES
Agent
Gardens at Highland

Alex Jacobs
Community Association Manager



City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

INTEROFFICE MEMO

To: Zoning Board of Appeals
From: Chris Hall
Subject: Variance Request for a Shed Setback in a PUD
For Consideration by the Board on May 19, 2021
Cc: Mayor Molnar, Mark Guidetti, Bob Rodic, Rachael Gambatese
Date: April 23, 2021

Applicant: Jean and Michelle Gagne
Location: 1049 Morning Glory Drive
Zoning: R-1 Planned Unit Development (P.U.D.)
Request: Applicants are seeking an “*area variance*” to allow a shed setback of five (5) feet from both the side and rear property lines.
Standards: **1163.05(g)(5)(A)**
Side and rear yards. No dwelling unit or accessory buildings shall be less than twenty feet from a property line adjacent to a nonresidential zoning district, a P.U.D. district, an interstate highway, or utility corridor, provided that the required setback shall be increased by one foot for every foot of wall length along the adjacent property line exceeding thirty feet in length, provided that in no event shall the required setback exceed ninety feet.
Findings: The east and south property lines of 1049 Morning Glory Drive are adjacent to a P.U.D. district, and therefore, a twenty foot setback from the property lines is required under 1163.05(g)(5)(A).
Board’s Action: The Board is to consider the applicants request for a five (5) foot setback of the shed from both the side and rear property lines, a variance of fifteen (15) feet.



City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

INTEROFFICE MEMO

To: Zoning Board of Appeals
From: Chris Hall
Subject: Variance Requests for 9796 Shepard Road
For Consideration by the Board on May 19, 2021
Cc: Mayor Molnar, Mark Guidetti, Bob Rodic, Rachael Gambatese
Date: April 26, 2021

Applicant: Curt Smock, Architect at Four Points Architectural Services, Representing Dominion Energy

Location: 9796 Shepard Road

Zoning: R-P Residential Park District

Request: Applicant is seeking a “*area variance*” to reduce main building and accessory storage building side yard setback when the corresponding lot line is contiguous to residentially zoned land.

Standards: **1169.04(f)(3)(B):** The minimum side or rear setback shall be seventy feet when the corresponding lot line is contiguous to residentially zoned land; provided further that the setback shall be increased by one foot for every foot of building length along such property line greater than fifty feet but in no event is the setback required to be more than 150 feet.

Findings: The proposed use and performance criteria are not identified in the R-P Residential Park District, and therefore, the applicable standards set forth in the G-I General Industrial District shall apply, as determined by the City Planner.

The required setback is seventy feet plus one foot for every foot of building length along such property line greater than fifty feet. The required setback in a G-I General Industrial District (based on a main building length of 90 feet plus an accessory building length of 20 feet) is 130 feet. Both the main building and the accessory storage building are set back fifty feet as shown on the attached blueprint.

Board’s Action: The Board is to consider the application for a variance reducing the side yard setback of the main building and accessory storage building from 130 feet to 50 feet, a variance of 80 feet.



City of Macedonia
The Crossroads of Northeast Ohio
 9691 Valley View Road • Macedonia, Ohio 44056
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APR 23 2021

CITY OF MACEDONIA
 BUILDING DEPARTMENT

Building/Engineering/Zoning/Planning Department

**APPLICATION FOR HEARING BEFORE THE
 MACEDONIA ZONING BOARD OF APPEALS**

See instruction page for more information. Appellant is to provide NINE (9) copies of site plans, pictures, etc., and a written statement. (Residential fee: \$100.00; Commercial fee: \$200.00)

Address of Property Involved: 9796 Shepard Road

Nature of Request: Request sideyard setback decrease for main building and Accessory Building

Applicant Name or Agent Therefore: Curt Smock, Architect at Four Points Arch. Serv. for Dominion Energy

Applicant Address: 2850 S. Arlington Rd., Suite 200

Applicant Phone: (216) 513-8235 Applicant Email: csmock@4points.net

Property Owner Name: Dominion Energy Ohio
 (if different from applicant)

Property Owner Address: 1201 E. 55th Street, Cleveland, OH 44103

Property Owner Phone: (216) 213-3868 Property Owner Email: trevor.j.roth@dominionenergy.com

SIGNATURE OF APPELLANT (AUTHORIZATION OF PROPERTY OWNER REQUIRED IF DIFFERENT FROM APPLICANT)

Curt E. Smock

Date: 04/23/2021

By my signature, I attest to the accuracy of all statement on this form

OFFICIAL USE ONLY

Received Date: _____ Case Number: _____

Variance Requested: _____

The Zoning Board of Appeals meets at 6:30 p.m. on the third Wednesday of each month
 in Council Chambers at Macedonia City Hall located at 9691 Valley View Road.
 Meeting dates are subject to change.
 Contact the Building Department at (330) 468-8364.

★ Service ★ Commitment ★ Pride ★

April 23, 2021

City of Macedonia
9691 Valley View Road
Macedonia, Ohio 44056

ATTN: **Mr. Chris Hall**

RE: BZA Meeting May 19, 2021
Dominion Energy 9796 Shepard Rd. Variance Request



Dear Chris,

This letter of intent will convey Dominion Energy's request for a building side yard setback reduction variance for their current Parcel 3400043. This parcel is currently zoned R-P. Previous BZA approval (Case #634) was given to allow the conditional use of this new construction within the R-P zoning district.

1. Dominion seeks to construct a storage garage for service vehicles and an accessory building for storage of materials on this site. There is an existing landscape barrier between the proposed building site and the residentially zoned property to the north of the site that will be maintained to the greatest extent possible.
2. Dominion is currently using the site in a commercial capacity as a natural gas terminal and routing facility. The function of the new building corresponds with the current use of the site.
3. The proposed building side yard setback is 50' (feet). Depending on which zoning district regulations are applied to the Dominion parcel, the required setback prior to variances would be either 90' (in the L-I district) or 110' (in the G-I district). Complying with either of these setbacks would result in a "Practical Difficulty" for Dominion. This difficulty arises from existing large high pressure gas lines to the south that prevents moving the building.
4. Dominion is proposing the use of dense coniferous landscape plantings to be planted and maintained along the northern property line where their property abuts the existing church property. In addition, more plantings will be added along the east property line towards Shepard Road.

On behalf of Dominion Energy, we appreciate your consideration of this variance request, that would allow us to move forward with this project.

Sincerely,

Curtis E. Smock, Architect/Vice-President
Four Points Architectural Services, Inc.

Cc: Trevor Roth, Dominion Energy

Enclosure

Dominion Energy Ohio
Mailing Address:
P.O. Box 5759, Cleveland, OH 44101
DominionEnergy.com



Building Department
City of Macedonia
9691 Valley View Rd
Macedonia, OH 44056

September 28, 2020

This letter is to authorize Curt Smock of Four Points Architectural Services, Inc. to act on behalf of Dominion Energy with regards to Zoning appearances and presentations as relates to our 9796 Shepard Road location.

Please accept this letter as our authority to act as our agent in these proceedings.

Respectfully,

A handwritten signature in black ink, appearing to read "Trevor Roth".

Trevor Roth
Project Manager

GENERAL NOTES

- BEFORE CONSTRUCTION WORK BEGINS THE GENERAL CONTRACTOR SHALL VERIFY THE LAYOUT DIMENSIONS AND REPORT TO THE ARCHITECT ANY DISCREPANCIES.
- IN NO CASE ARE DRAWINGS TO BE SCALED. SIZES, LOCATIONS AND DETAILING SHALL BE AS REQUIRED BY THE INTENT OF THE DRAWINGS.
- GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, AND DOORS WITH ARCHITECT IN THE FIELD IF NEEDED BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL DIMENSIONS ARE FROM THE FACE OF THE ROUGH FRAMING (FACE OF THE STUD) OR MASONRY UNLESS THEY ARE DIMENSIONED FROM AN EXISTING WALL. THE DIMENSIONS THAT REFERENCE FROM AN EXISTING WALL SHALL BE FROM THE FACE OF THE EXISTING FINISH TO THE ROUGH FRAMING OF THE NEW WALL. IF THERE ARE ANY QUESTIONS REGARDING THE NOTED DIMENSIONS, CONTACT THE ARCHITECT FOR CLARIFICATION.
- CUT AND PATCH ALL EXISTING MATERIALS AND FINISHES TO MATCH THE EXISTING MATERIALS UNLESS NOTED OTHERWISE. REPAIR ALL FINISHES THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITIES.
- MAKE ALL NECESSARY PROVISIONS FOR ITEMS AS INDICATED ON THE DRAWINGS TO BE FURNISHED OR INSTALLED BY OWNER. PROVIDE PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING FINISHES AS COORDINATED WITH THE ELECTRICAL AND MECHANICAL CONTRACTORS.
- ALL SHOP DRAWINGS AND INSTALLATION INSTRUCTIONS SHALL BE SUBMITTED AS SOON AS POSSIBLE TO THE ARCHITECT/ENGINEER FOR APPROVAL. NO CONSTRUCTION SHALL PROCEED WITHOUT APPROVAL OF THESE DRAWINGS. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW.
- IF MANUFACTURERS INSTALLATION INSTRUCTIONS ARE CONTRARY TO THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER, IMMEDIATELY TO RESOLVE DISCREPANCIES PRIOR TO INSTALLATION.
- IF THERE IS A CONFLICT BETWEEN INFORMATION SHOWN ON DRAWINGS AND INFORMATION SHOWN IN THE SPECIFICATIONS, THE MORE STRINGENT OR COSTLY OF THE TWO SHALL GOVERN. ALL DISCREPANCIES SHALL BE COORDINATED WITH THE OWNER AND ARCHITECT/ENGINEER FOR FINAL INTERPRETATIONS.
- ONLY NEW MATERIALS, FREE FROM DEFECTS, WILL BE PERMITTED IN THE CONSTRUCTION. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE QUALITY OF MATERIALS AND INSTALLATION.
- THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCES WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE CLOSE FITTING. NEAT AS WELL SCRIBED. THE FINISH WORK SHALL HAVE NO EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
- THE CONTRACTOR SHALL CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR THE ACCESSIBILITY AND MAINTENANCE OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.
- NO WORK DEFECTIVE IN CONSTRUCTION, QUALITY, OR DEFICIENT IN ANY REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION, NOR WILL PRESENCE OF INSPECTORS ON WORK RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN REQUIRED TIME GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO A COMMERCIAL STANDARD, FEDERAL SPECIFICATION, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD SHALL COMPLY WITH THE LATEST EDITION OR PUBLICATION THAT WAS IN EFFECT ON THE DATE OF THESE CONTRACT DOCUMENTS. SUCH STANDARDS SHALL BE INTERPRETED AS PART OF THE CONTRACT DOCUMENTS AND GOVERN AS IF IT WERE PRINTED IN THE CONTRACT DOCUMENTS.
- CONTRACTORS SHALL NOT FOLLOW COMMON PRACTICE AND COMMON USAGE AS A CONSTRUCTION STANDARD WHEN THE DETAILS AND SPECIFICATIONS AND CODE REQUIRE THE CONSTRUCTION TO BE GREATER THAN THE STANDARD OF COMMON PRACTICE.
- CONTRACTORS SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF ANY ITEMS ARE FOUND TO BE UNAVAILABLE OR HAVE A LONG LEAD TIME, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY.
- IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROGRESS THEREOF, CONTRACTORS METHODS OR EQUIPMENT ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK OR RATE OF PROGRESS INTENDED BY THE CONTRACT DOCUMENTS THE OWNER MAY ORDER THE CONTRACTOR TO IMPROVE THE QUALITY OR INCREASE THEIR EFFICIENCY. THIS WILL NOT RELIEVE THE CONTRACTOR OR HIS SURETIES FROM THEIR OBLIGATIONS TO THE PROGRESS AND QUALITY OF WORK SPECIFIED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DEFECTS IN THE EXISTING BUILDING IN WRITING PRIOR TO THE COMMENCEMENT OF HIS WORK. ANY UNREPORTED DEFICIENCIES WILL BECOME THE CONTRACTORS RESPONSIBILITY TO CORRECT.
- NEW PARTITIONS SHOWN TO ALIGN WITH THE FACE OF AN EXISTING WALL SHALL BE ALIGNED FINISHED FACE TO FINISHED FACE WITH NO VISIBLE EVIDENCE OF A JOINT.
- DIMENSIONS NOTED AS "CLEAR" MUST BE MAINTAINED AT THE INDICATED DIMENSION. ANY DIMENSION NOTED AS "VERIFY" MUST BE REVIEWED WITH THE ARCHITECT BEFORE CONSTRUCTION BEGINS.
- ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS BY THE GENERAL CONTRACTOR OR THEIR SUBCONTRACTORS WITHOUT WRITTEN NOTIFICATION TO THE ARCHITECT SHALL RESULT IN THE GENERAL CONTRACTOR TAKING FULL LIABILITY OF ALL UN-AUTHORIZED MODIFICATIONS TO THE ORIGINAL CONSTRUCTION DOCUMENTS.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC., THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. REQUIREMENTS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE CURRENTLY APPLICABLE EDITIONS OR PUBLICATIONS OF THE FOLLOWING:
 - STATE FIRE CODE
 - NATIONAL FIRE PROTECTION ASSOCIATION
 - AMERICAN NATIONAL STANDARDS INSTITUTE
 - ALL LOCAL AND MUNICIPAL CODES
 - OHIO BUILDING CODES



Dominion EnergySM

DOMINION TWINSBURG

NEW VEHICLE STORAGE GARAGE

9796 SHEPARD ROAD MACEDONIA, OHIO 44056

ARCHITECT

FOUR POINTS ARCHITECTURAL SERVICES, INC.

2850 S. ARLINGTON RD., AKRON, OHIO 44312
PHONE: (330) 753-9710 FAX: (330) 753-9715

CIVIL ENGINEERING

WOHLWEND ENGINEERING GROUP, LTD

4216 KARG INDUSTRIAL PARKWAY KENT, OHIO 44240
PHONE: (330) 673-2400 FAX: (330) 230-2897

STRUCTURAL ENGINEERING

BARBER & HOFFMAN, INC.

2217 E. 9TH ST., SUITE 350 CLEVELAND, OHIO 44115
PHONE: (216) 875-0100 FAX: (216) 875-0111

MECHANICAL, ELECTRICAL & PLUMBING ENGINEERING

WRIGHT ENGINEERING

190 N. UNION ST., SUITE 100 AKRON, OHIO 44304
PHONE: (330) 606-2957

BOARD OF ZONING APPEALS SUBMISSION



1 SITE LOCATION

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RECEIVED
APR 23 2021
 CITY OF MACEDONIA
 BUILDING DEPARTMENT

ABBREVIATIONS

&	AND	F.O.	FACE OF	PL	PLATE
@	AT	FEC	FIRE EXTINGUISHER CABINET	PLAM	PLASTIC LAMINATE
AFF	ABOVE FINISHED FLOOR	FN.	FINISHED	PTD	PAINTED
ALUM	ALUMINUM	G.C.	GENERAL CONTRACTOR	PWD	PLYWOOD
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	GA.	GAUGE	R.O.	ROUGH OPENING
APPROX.	APPROXIMATELY	GYP.	GYPSUM	RECEP	RECEPTACLE
BD.	BOARD	H	HIGH	REQ.	REQUIRED
BO	BOTTOM OF	H.B.	HOSE BIBB	S.C.W.	SOLID CORE WOOD
BRG	BEARING	HW	HARDWARE	S.S.	STAINLESS STEEL
C.O.	CLEANOUT	HGT	HEIGHT	SHT.	SHEET
CL	CENTERLINE	HM	HOLLOW METAL	SHTS.	SHEETS
CLG.	CEILING	LD.	INSIDE DIAMETER	SIM.	SIMILAR
CLR.	CLEAR	INSUL.	INSULATION	SP.ECS.	SPECIFICATIONS
CMJ	CONCRETE MASONRY UNIT	INT.	INTERIOR	SQ. FT.	SQUARE FEET
COL.	COLUMN	JAN.	JANITOR	SQ. IN.	SQUARE INCHES
COLS.	COLUMNS	JT.	JOINT	STL.	STEEL
CONC.	CONCRETE	M.O.	MASONRY OPENING	T.&G.	TONGUE AND GROOVE
CONT.	CONTINUOUS	MATL.	MATERIAL	T.O.	TOP OF
D.S.	DOWN SPOUT	MAX.	MAXIMUM	TELE.	TELEPHONE
DIA	DIAMETER	MFR.	MANUFACTURER	THK	THICKNESS
DISP.	DISPENSER OR DISPLAY	MIN.	MINIMUM	THRESH	THRESHOLD
DTL.	DETAIL	MOD.	MODIFIED	TYP.	TYPICAL
E.W.C.	ELECTRIC WATER COOLER	MTD.	MOUNTED	U.O.N.	UNLESS OTHERWISE NOTED
ELEC.	ELECTRIC, ELECTRICAL	MTL.	METAL	VCT	VINYL COMPOSITION TILE
EQ.	EQUAL, EQUALLY	N/A	NOT APPLICABLE	VIF	VERIFY IN FIELD
EXP.	EXPANSION	NO.	NUMBER	W	WIDE
EXT.	EXTERIOR	O.C.	ON CENTER	W/	WITH
F.E.	FIRE EXTINGUISHER	O.D.	OUTSIDE DIAMETER	WD	WOOD
F.F.	FACTORY FINISH	OPP.	OPPOSITE	WWF	WELDED WIRE FABRIC
		PART.	PARTITION		



Scale: 1" = 80'

BASIS OF BEARINGS
THE BASIS FOR BEARINGS FOR THIS SURVEY IS GRID NORTH OF THE OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD83 (2011).

BENCHMARK
"M" IN MUELLER ON EXISTING HYDRANT LOCATED IN WEST RIGHT OF WAY OF SHEPARD ROAD.
ELEVATION = 1143.23

DISTURBED AREA (2.85 ACRES)

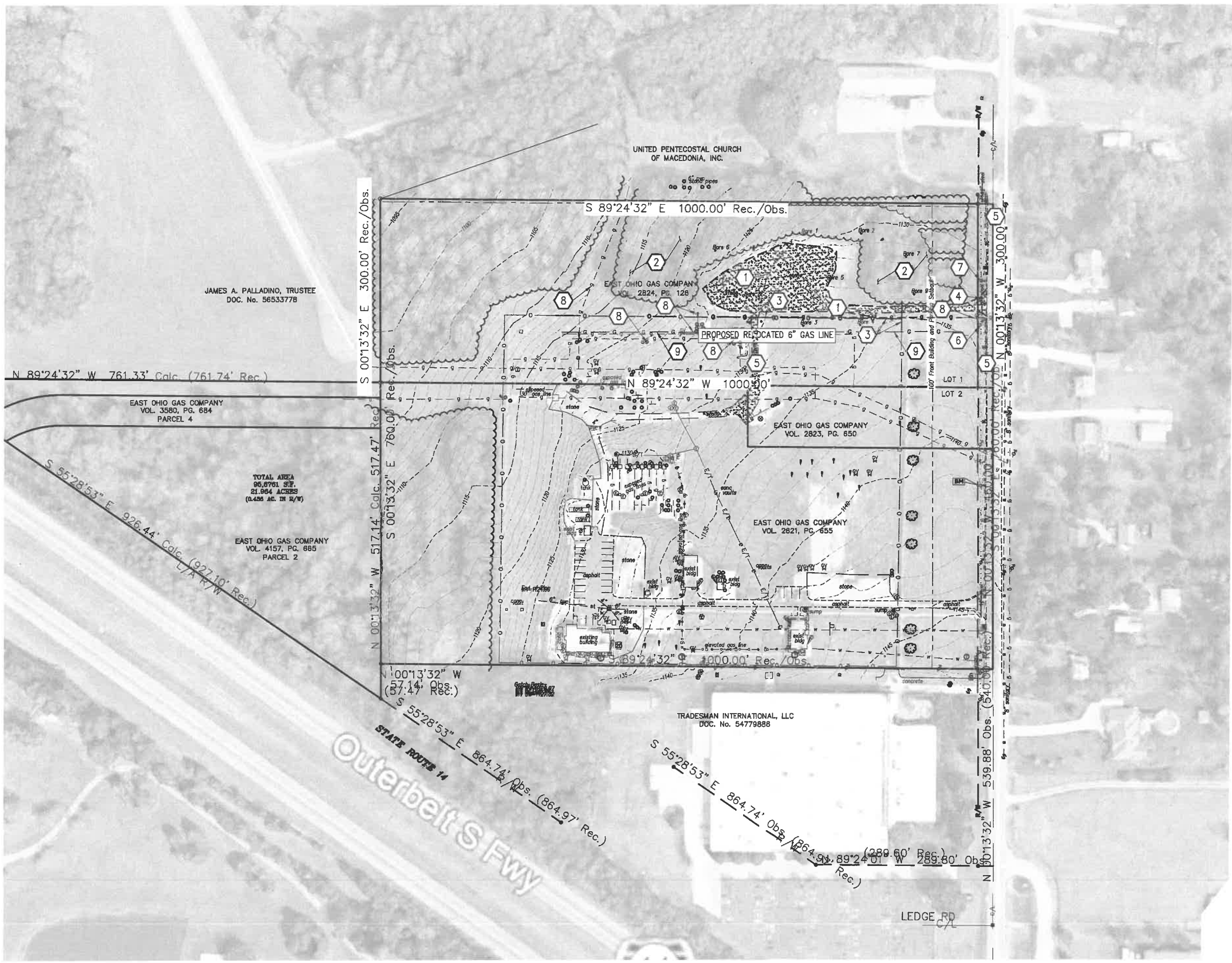
KEYED NOTES

- 1 - EXISTING GRAVEL PAVEMENT TO BE REMOVED PER ODOT ITEM 202.
- 2 - CLEAR TREES AND BRUSH. GRUB ENTIRE AREA WITHIN DISTURBED LIMITS PER ODOT ITEM 201.
- 3 - EXISTING FENCE TO BE REMOVED AND STORED FOR RE-INSTALLATION AT END OF CONSTRUCTION.
- 4 - EXISTING 12" STEEL CULVERT PIPE TO BE REMOVED AND REPLACED. MAINTAIN DRAINAGE DURING CONSTRUCTION.
- 5 - EXISTING PAVEMENT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 6 - EXISTING UTILITY POLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 7 - EXISTING FIRE HYDRANT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 8 - EXISTING NATURAL GAS APPURTENANCES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 9 - PROPOSED NATURAL GAS MAIN TO HAVE BEEN RELOCATED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY EXACT LOCATION OF RELOCATED MAIN PRIOR TO CONSTRUCTION.

DEMOLITION NOTES

1. SEE SHEET C10.0 FOR GENERAL NOTES.
2. BACKFILL ANY EXCAVATIONS RESULTING FROM REMOVALS, INCLUDING BASEMENTS, ACCORDING TO ODOT ITEM 203 - EXCAVATION AND EMBANKMENT WITH GRANULAR BACKFILL MEETING ODOT ITEM 304.
3. REMOVE AND ABANDON, AS REQUIRED, ALL EXISTING UTILITY SERVICES (ELECTRIC, TELEPHONE AND CABLE) TO THE RIGHT-OF-WAY IN ACCORDANCE WITH THE LOCAL REGULATIONS OF EACH RESPECTIVE UTILITY COMPANY. ANY AND ALL UTILITY MAINS THAT NEED TO BE REMOVED OR RELOCATED BY THE RESPECTIVE UTILITY COMPANIES ARE TO BE COORDINATED BY THE GENERAL CONTRACTOR.
5. THE EXISTING UNDERGROUND UTILITIES AS SHOWN ARE OBTAINED FROM A COMBINATION OF FIELD LOCATION AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, WHERE PROVIDED. THESE UTILITIES, THEIR LOCATION AND THEIR ACTIVE OR INACTIVE STATUS, SHOULD BE VERIFIED BY CONTACTING THE OHIO UTILITY PROTECTION SERVICE (O.U.P.S.), PRIOR TO CONSTRUCTION. LOCATION, SIZE, DEPTH, AND STATUS OF USE ARE SHOWN AS ACCURATE AS POSSIBLE WITH THE AVAILABLE DATA.
6. ALL MATERIALS TO BE REMOVED SHALL BE DISPOSED OF IN A PROPER MANNER IN COMPLIANCE WITH ALL APPLICABLE CODES & LAWS.
7. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO PERFORM CONSTRUCTION, INCLUDING WORK WITHIN THE RIGHT-OF-WAY.
8. CONTRACTOR SHALL RESTORE ALL OFFSITE AREAS DISTURBED BY CONSTRUCTION TO A CONDITION THAT IS EQUAL OR BETTER THAN THE CONDITIONS THAT EXISTED PRIOR TO CONSTRUCTION.
9. ALL PAVEMENT, CURB AND SIDEWALK TO BE REMOVED SHALL BE SAW CUT FULL DEPTH AT EXISTING CONSTRUCTION JOINTS. ALL SAW CUTTING MUST BE DONE WET TO CONFORM TO THE OHIO EPA'S FUGITIVE DUST ACT.
10. CONTRACTOR TO REMOVE ALL DEBRIS AND EXISTING SLABS AND FOUNDATIONS (VISIBLE OR BURIED) IN THE PROPOSED DEVELOPMENT AREA. OUTSIDE OF THE DEVELOPMENT AREA, ALL EXISTING SLABS AND DEBRIS ARE TO BE REMOVED TO 6" BELOW FINAL GRADE, BUT FOUNDATIONS DEEPER THAN 6" BELOW SURFACE CAN REMAIN.

SURVEY PERFORMED BY:
CAMPBELL & ASSOCIATES, INC.
Surveying - Engineering
3485 Fortuna Drive, Suite 100
Akron, Ohio 44312
(330) 845-4117
www.campbellsurvey.com



11/23/2020 1:33:07 PM C:\CES\Revit\Files\20-028 DEO Iwindburg Garage_csmcck@acohi.eor.nl



Scale: 1" = 40'

BASIS OF BEARINGS
THE BASIS FOR BEARINGS FOR THIS SURVEY IS GRID NORTH OF THE OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD83 (2011).

BENCHMARK
"M" IN MUELLER ON EXISTING HYDRANT LOCATED IN WEST RIGHT OF WAY OF SHEPARD ROAD.
ELEVATION = 1143.23

ZONING INFORMATION
PROPERTY IS CURRENTLY ZONED R-1.

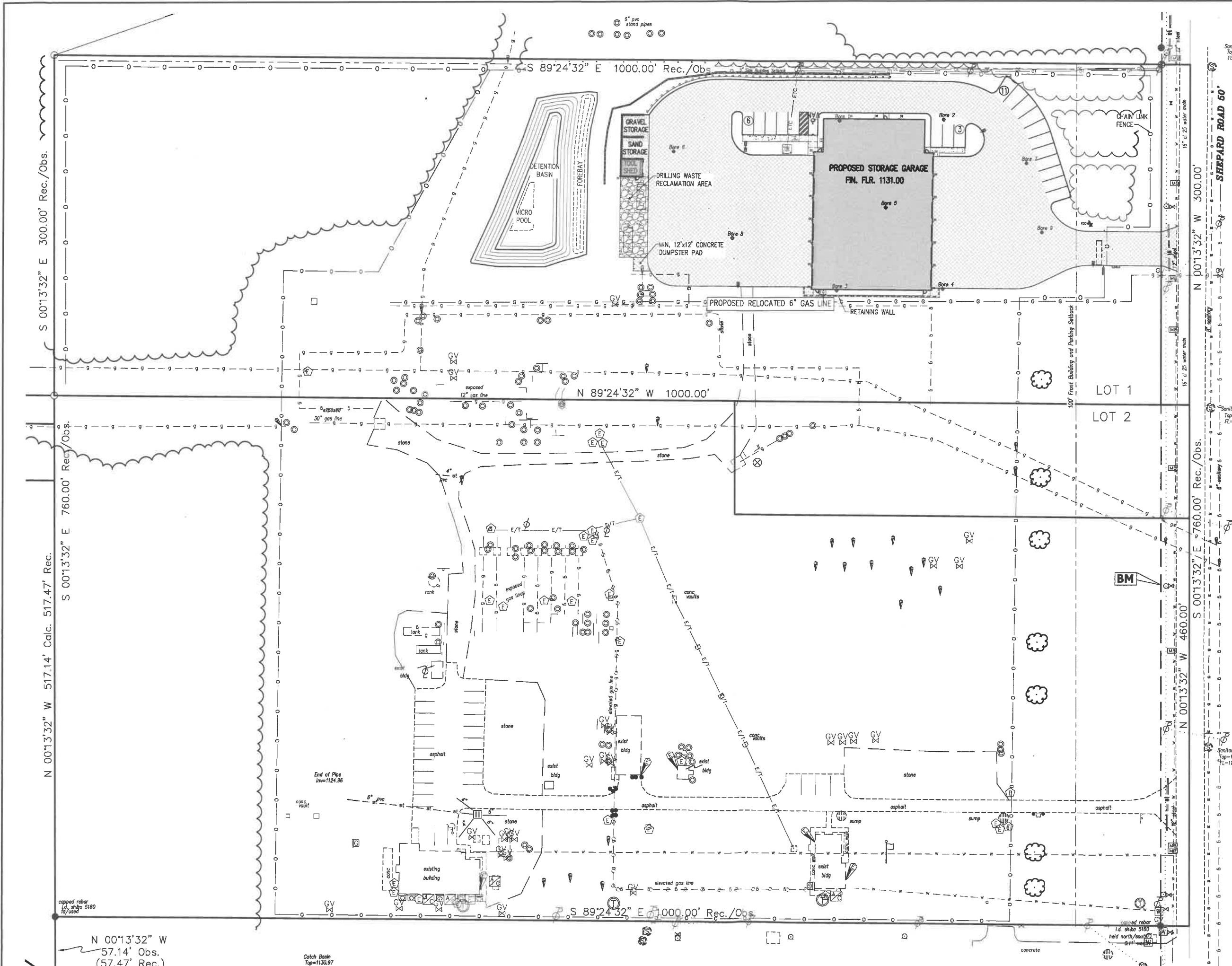
HANDICAP PARKING AREA NOTE
WITHIN 48 HOURS OF PLACEMENT, ALL ACCESSIBLE PARKING AREAS AND ASSOCIATED SIDEWALKS AND RAMPS MUST BE SURVEYED BY A LICENSED SURVEYOR AND PROVIDED TO OWNER/ENGINEER. ANY NONCOMPLIANT AREAS SHALL BE REWORKED AND RESURVEYED UNTIL THEY ARE COMPLIANT WITH THE CONSTRUCTION PLAN.

- NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO OUTSIDE EDGE OF BUILDING, FACE OF CURB, OR EDGE OF PAVEMENT, UNLESS OTHERWISE SHOWN.
 2. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL AND FOUNDATION PLAN.
 3. BORE LOCATIONS ARE SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND SHOULD NOT BE CONSTRUED AS BEING LOCATED BY SURVEY, AS THEY WERE NOT.

PAVEMENT LEGEND

- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED GRAVEL PAVEMENT

SURVEY PERFORMED BY:
CAMPBELL & ASSOCIATES, INC.
Surveying - Engineering
3488 Fortuna Drive, Suite 100
Akron, Ohio 44312
(330) 845-4117
www.campbellsurvey.com



C:\CES\envi\Files\20-0281 DEO Twinsburg Garage_csmocks@aopoints.net.rvt
11/23/2020 1:33:09 PM

N 00°13'32" W
57.14' Obs.
(57.47' Rec.)

Catch Basin
Top=1130.97

Sanitary MH
Top=1126.26
FL=1110.98

Sanitary MH
Top=1136.23
FL=1125.13

Sanitary MH
Top=1144.28
FL=1134.98

capped rebar
I.D. shaft 5180
R/used

End of Pipe
inv=1124.96

BM

capped rebar
I.D. shaft 5180
held north/south
0.11' west

UNITED PENTECOSTAL CHURCH OF MACEDONIA, INC.
 PARCEL ID: 3400036

EXISTING TREELINE TO BE PRESERVED

TOA (TYP)

PROPERTY LINE

PROPERTY LINE

NEW ENCLOSED STORAGE BUILDING

REQUIRED SETBACK FOR L-1 DISTRICT

190'-0"

51'-6"

NEW VEHICLE STORAGE BUILDING

EXISTING TREELINE TO BE PRESERVED

EXISTING TREELINE TO BE PRESERVED

BUILDING OUTLINE IF ROTATED 90 DEGREES

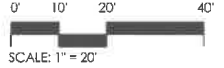
EAST OHIO GAS COMPANY
 PARCEL ID: 3400043

GAS LINE EXCLUSION ZONE

PROPERTY LINE

SHEPPARD ROAD 50'

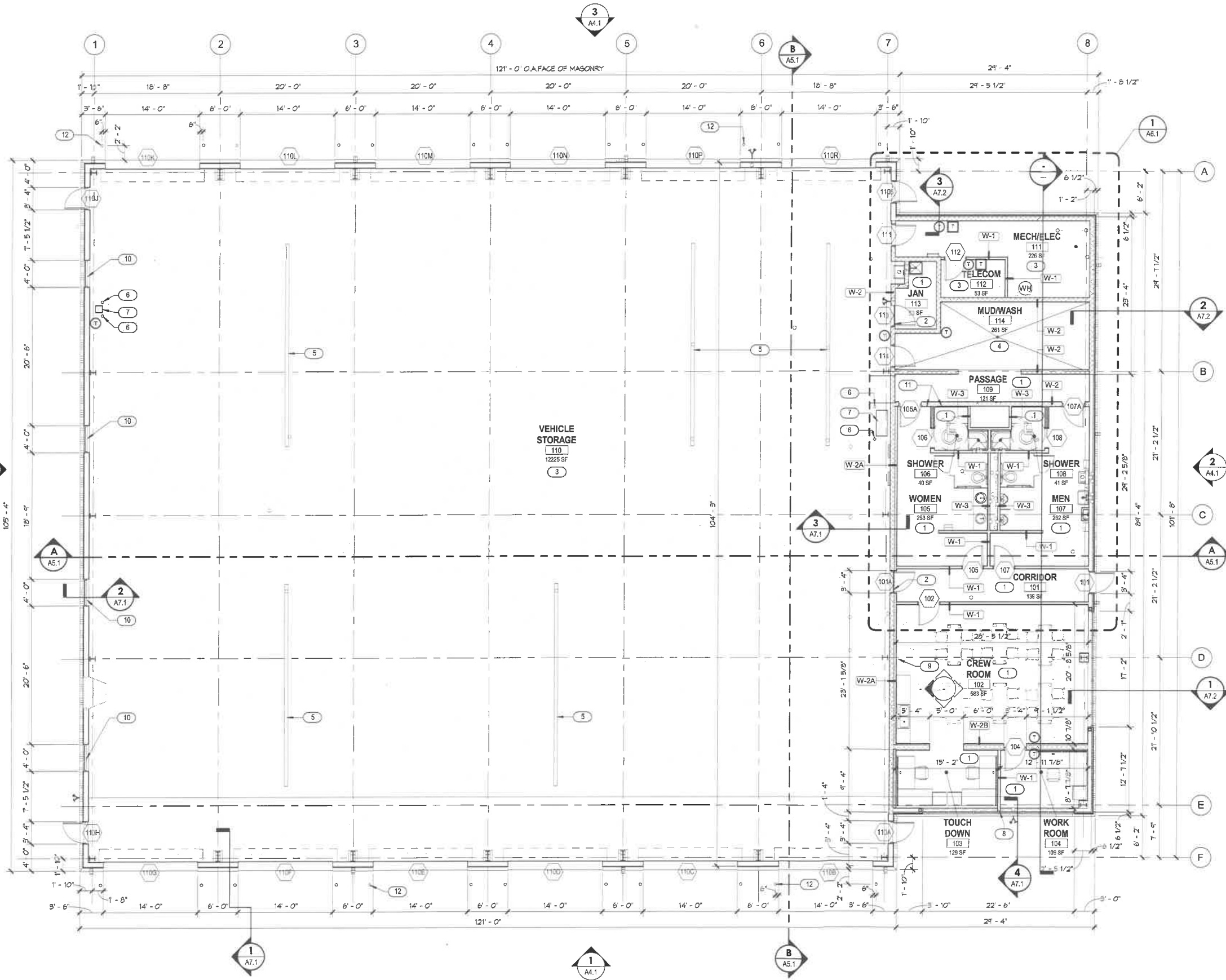
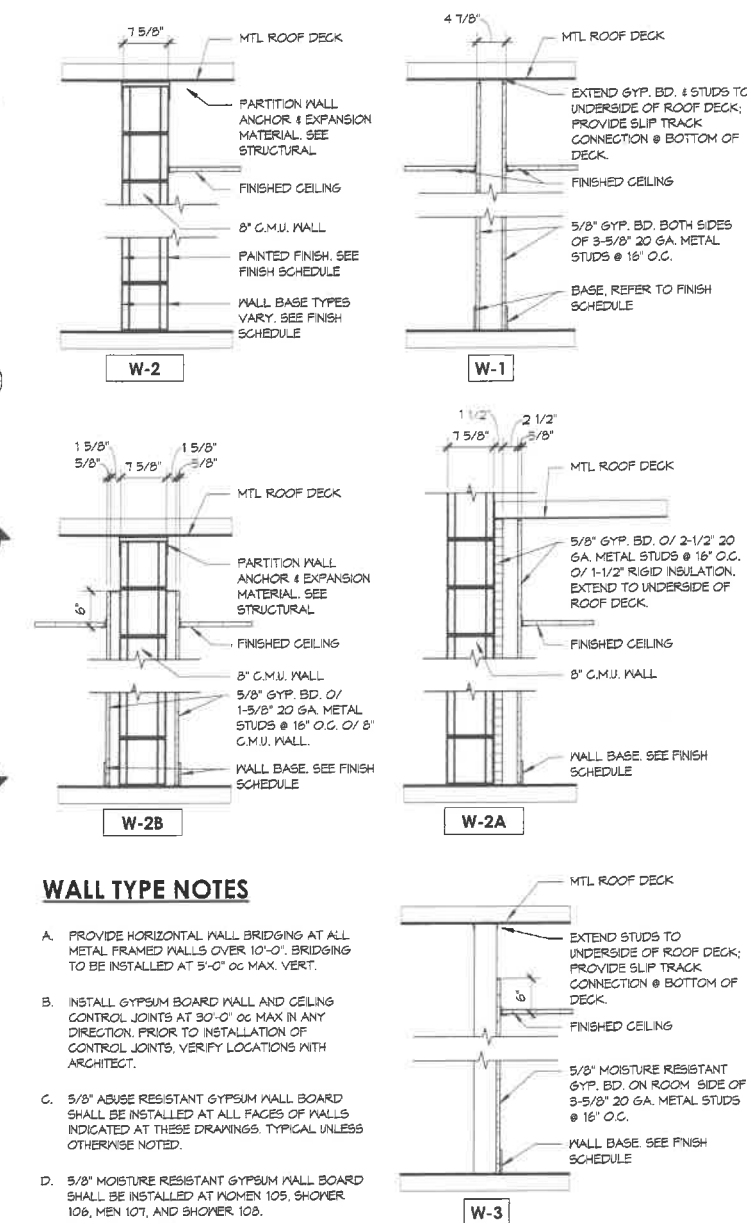
1 ARCHITECTURAL LANDSCAPE PLAN
 AL.1 1" = 20'-0"



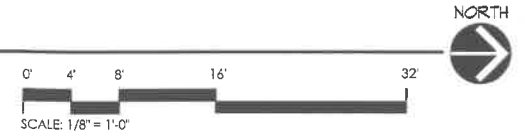
PLANTING SCHEDULE			
SYMBOL	QUANTITY	PLANT MATERIAL DESCRIPTION	SIZE
TOA	TBD	THUJA OCCIDENTALIS * EMERALD GREEN* - ARBORVITAE	8' TALL B&B

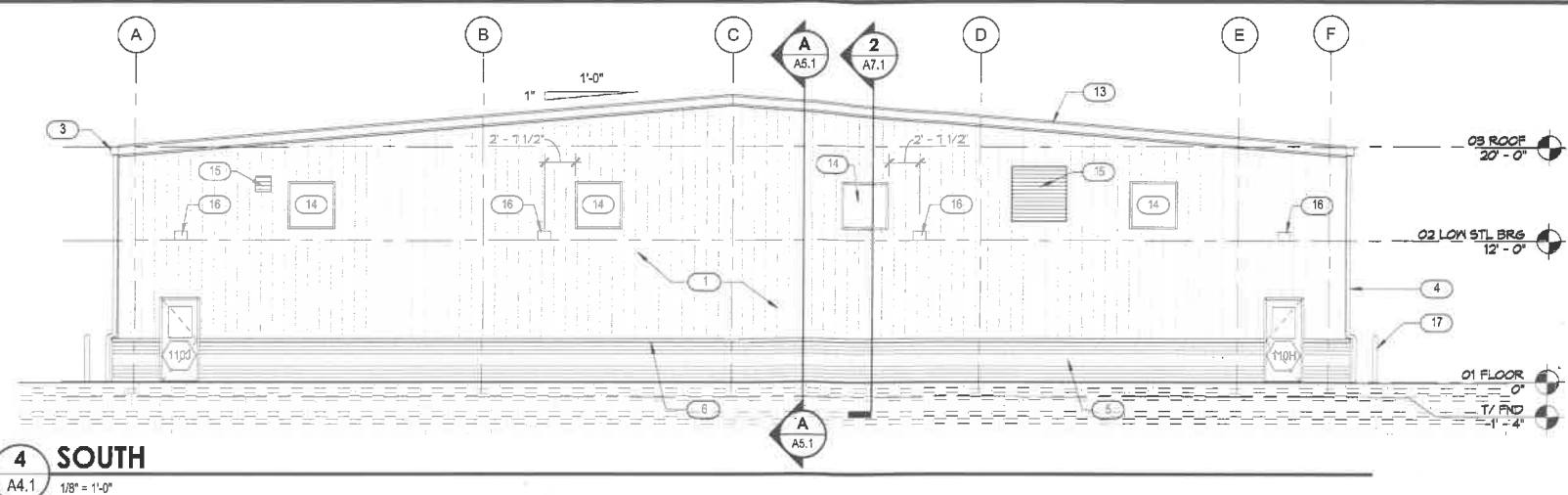
FLOOR PLAN KEYNOTES (X)

- THROUGHOUT THIS ROOM/SPACE, INSTALL NEW PORCELAIN TILE (PT) O/ CRACK ISOLATION MEMBRANE. INSTALL 6" HIGH COVED PORCELAIN TILE WALL BASE (PB1)
- INSTALL SLOPED SCHLUTER TRANSITION TRIM (FT1) FROM NEW PORCELAIN TILE FLOOR TO SEALED CONCRETE FLOOR (SC).
- SEAL NEW CONCRETE SLAB (SC).
- INSTALL EPOXY FLOORING (EP1) AND CARRY IT UP 6" ONTO THE WALLS.
- PROVIDE SLOPE IN SLAB TOWARD NEW TRENCH DRAINS. SEE PLUMBING DWGS. FOR PRODUCT INFO AND DETAILS.
- FLOOR MOUNTED, 6" DIA. STEEL BOLLARD W/ PAINTED FINISH.
- REQUIRED EXPOSED RA DUCT @ 12" A.F.F. - SEE MECHANICAL DRAWINGS.
- INSTALL CONTINUOUS "TRIM-TEX" VINYL FAST CAP AT END OF THIS WALL.
- REVERSE OSMOSIS WATER DISTRIBUTION SYSTEM LOCATED AT THIS WALL.
- GLAZING SYSTEM HIGH ON WALL. SEE EXTERIOR ELEVATIONS.
- GYPSUM WALL BOARD ALONG THIS WALL TO BE DIRECTLY APPLIED TO THE FACE OF CMU. TYP FOR MEN AND WOMEN.
- BOLLARD. SEE DETAIL AT SHEET A4.1. TYP.

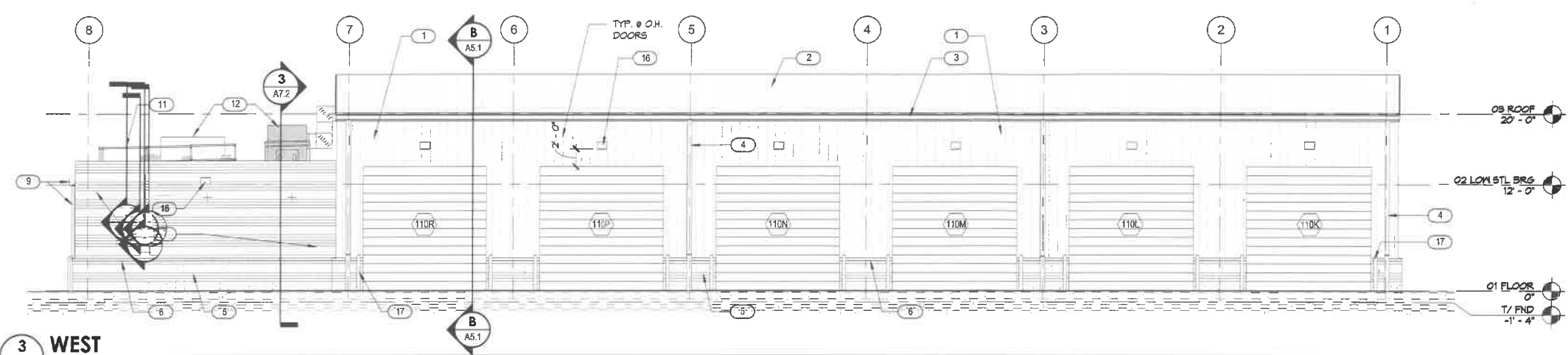


1 FLOOR PLAN
A1.1 1/8" = 1'-0"

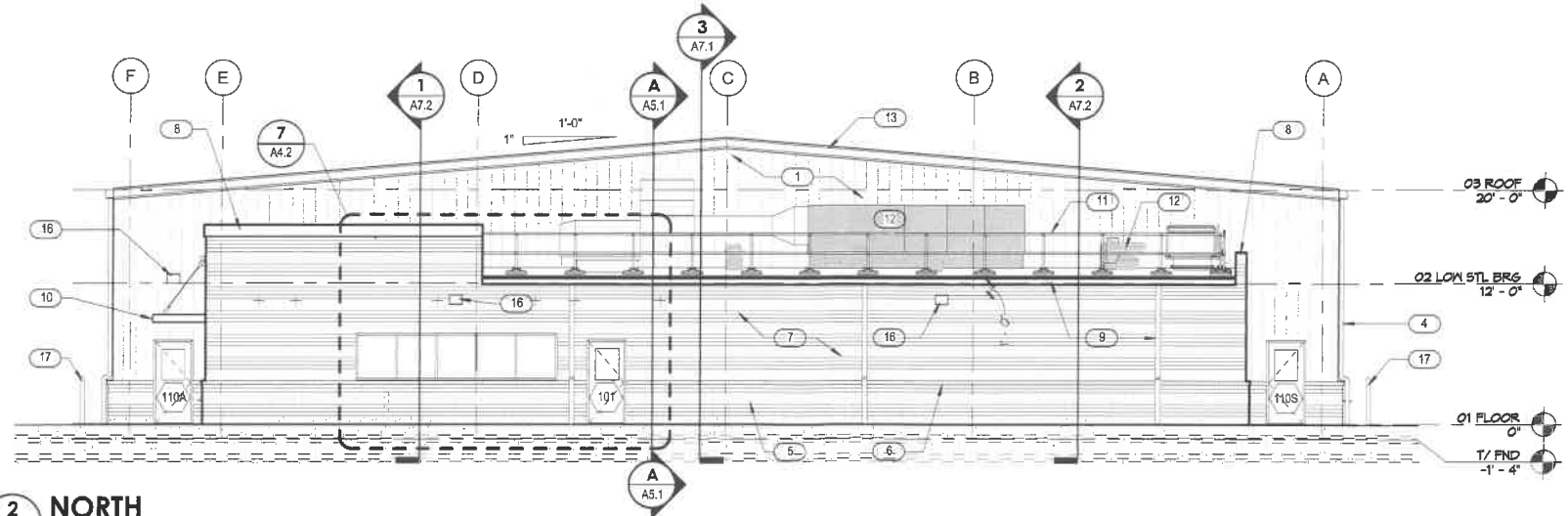




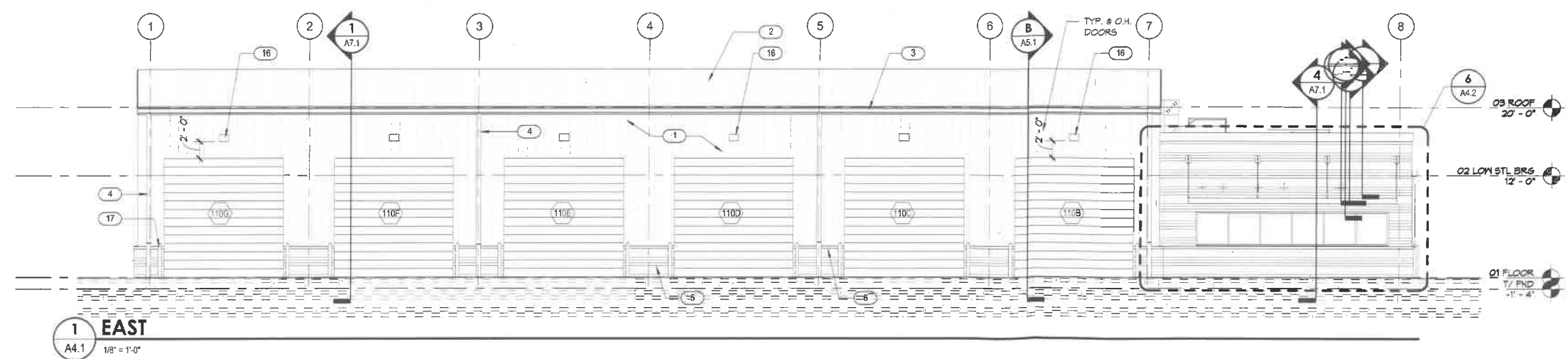
4 SOUTH
A4.1 1/8" = 1'-0"



3 WEST
A4.1 1/8" = 1'-0"



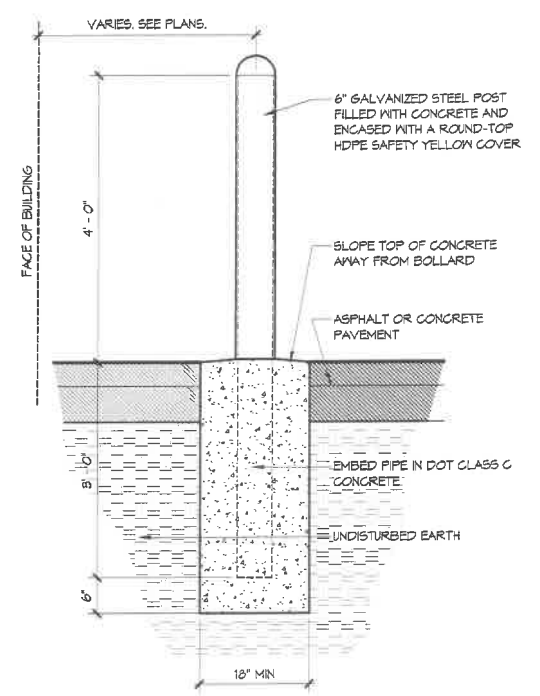
2 NORTH
A4.1 1/8" = 1'-0"



1 EAST
A4.1 1/8" = 1'-0"

ELEVATION KEYNOTES (A4.1)

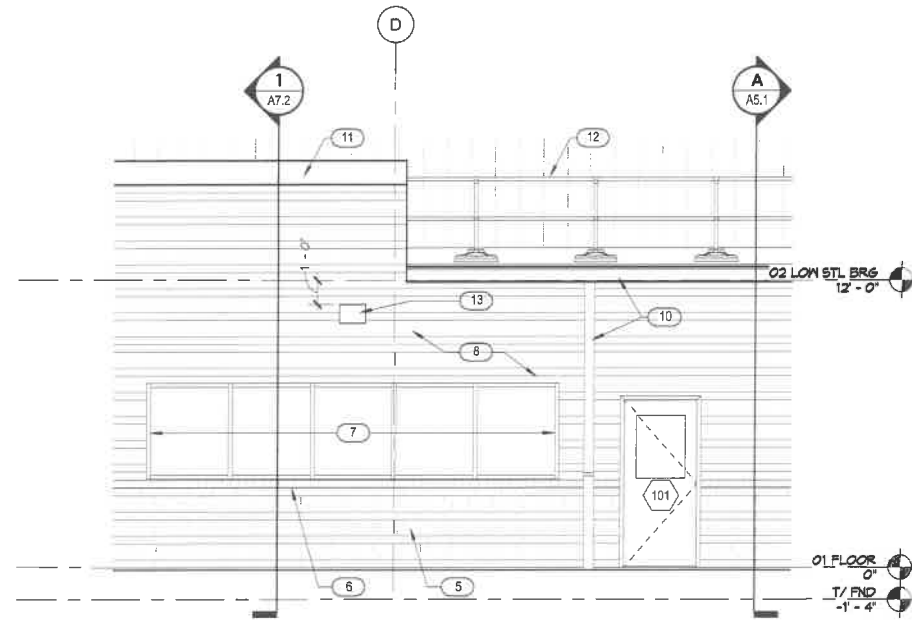
- 1 PRE-FINISHED METAL SIDING BY PRE-ENGINEERED METAL BUILDING (PEMB) CONTRACTOR.
- 2 PRE-FINISHED, STANDING SEAM METAL ROOF PANELS BY PEMB CONTRACTOR.
- 3 PRE-FINISHED METAL GUTTERS BY PEMB CONTRACTOR.
- 4 PRE-FINISHED METAL DOWNSPOUT BY PEMB CONTRACTOR.
- 5 BRICK VENEER WALL BASE BY GENERAL CONTRACTOR.
- 6 BRICK VENEER ROWLOCK SILL BY GENERAL CONTRACTOR.
- 7 PRE-FIN, HORIZONTALLY RIBBED METAL SIDING BY GENERAL CONTRACTOR.
- 8 PRE-FIN, ALUMINUM COPING COVER SYSTEM BY GENERAL CONTRACTOR.
- 9 PRE-FIN, ALUMINUM GUTTER AND DOWNSPOUT SYSTEM BY GENERAL CONTRACTOR.
- 10 PRE-FIN, ALUMINUM SUN-CONTROL BY GENERAL CONTRACTOR.
- 11 ROOF-MOUNTED, NON-PENETRATING METAL GUARDRAIL SYSTEM.
- 12 ROOF-MOUNTED HVAC EQUIPMENT - SEE MECHANICAL DWS. FOR PRODUCT INFORMATION AND INSTALLATION DETAILS.
- 13 PRE-FIN, METAL FASCIA/TRIM BY THE PEMB CONTRACTOR.
- 14 ALUM. STOREFRONT WINDOW BY GENERAL CONTRACTOR (FRAMING FOR WINDOW OPENING BY PEMB CONTRACTOR).
- 15 WALL MOUNTED HVAC EQUIPMENT - SEE MECHANICAL DRAWINGS FOR PRODUCT INFORMATION & INSTALLATION DETAILS.
- 16 WALL MOUNTED LED WALL PACK - SEE ELECTRICAL DRAWINGS FOR PRODUCT INFORMATION & INSTALLATION DETAILS.
- 17 BOLLARD. SEE TYPICAL BOLLARD DETAIL AT THIS SHEET.



5 TYPICAL BOLLARD DETAIL
A4.1 3/4" = 1'-0"

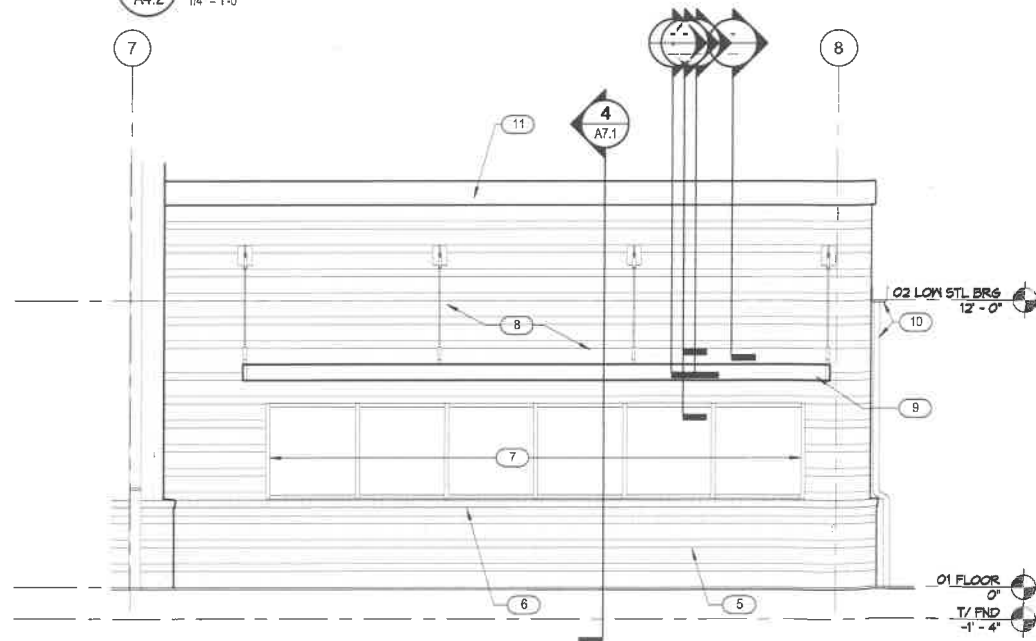
ELEVATION KEYNOTES (A4.2) (X)

- 1 PRE-FIN. METAL SIDING - MATCH SIDING PROFILE AND COLOR FROM PEMB CONTRACTOR.
- 2 CAST-IN-PLACE CONCRETE WALL.
- 3 PRE-FIN. STANDING SEAM METAL ROOF - MATCH PROFILE AND COLOR OF PEMB METAL ROOF.
- 4 PRE-FIN. METAL FASCIA/TRIM - MATCH PROFILE AND COLOR OF PEMB FASCIA.
- 5 BRICK VENEER BY GENERAL CONTRACTOR.
- 6 BRICK VENEER ROMLOCK SILL BY GENERAL CONTRACTOR.
- 7 FIXED ALUM. STOREFRONT WINDOW BY GENERAL CONTRACTOR.
- 8 PRE-FIN. HORIZONTALLY RIBBED METAL SIDING BY GENERAL CONTRACTOR.
- 9 PRE-FIN. ALUMINUM SUN-CONTROL BY GENERAL CONTRACTOR.
- 10 PRE-FIN. ALUMINUM GUTTER & DOWNSPOUT SYSTEM BY GENERAL CONTRACTOR.
- 11 PRE-FIN. COPING COVER SYSTEM BY GENERAL CONTRACTOR.
- 12 ROOF-MOUNTED NON-PENETRATING METAL GUARDRAIL SYSTEM BY GENERAL CONTRACTOR.
- 13 WALL MOUNTED LED WALL PACK - SEE ELECTRICAL DRAWINGS FOR PRODUCT INFORMATION & INSTALLATION DETAILS. ALIGN CENTERLINE OF FIXTURE IV CENTERLINE OF OPENING.



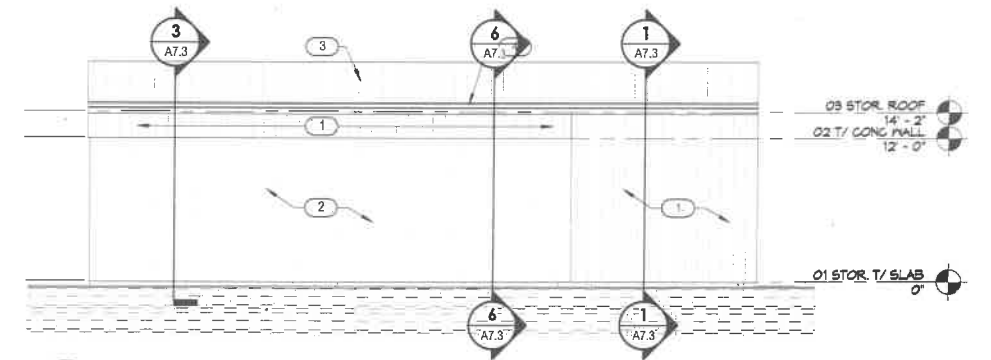
7 ENLARGED ELEVATION

A4.2 1/4" = 1'-0"



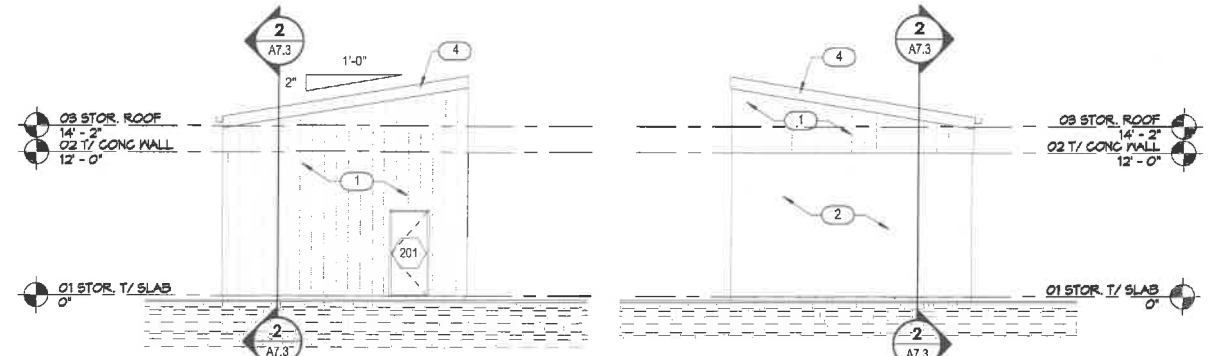
6 ENLARGED ELEVATION

A4.2 1/4" = 1'-0"



5 ELEVATION

A4.2 1/8" = 1'-0"

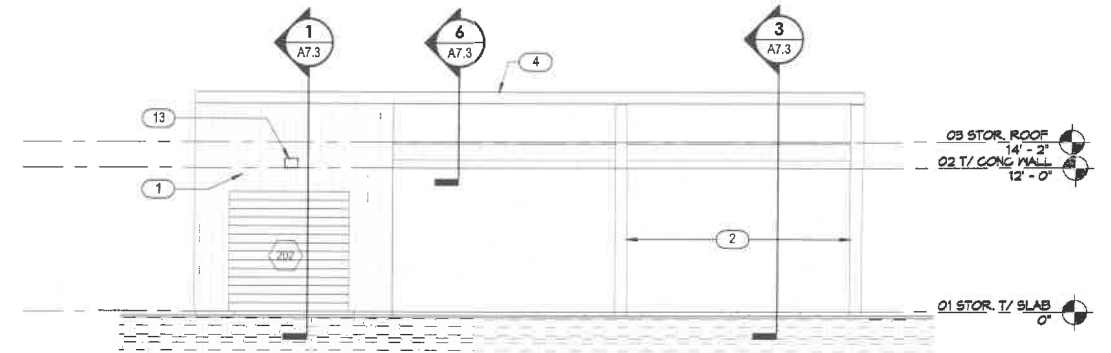


4 ELEVATION

A4.2 1/8" = 1'-0"

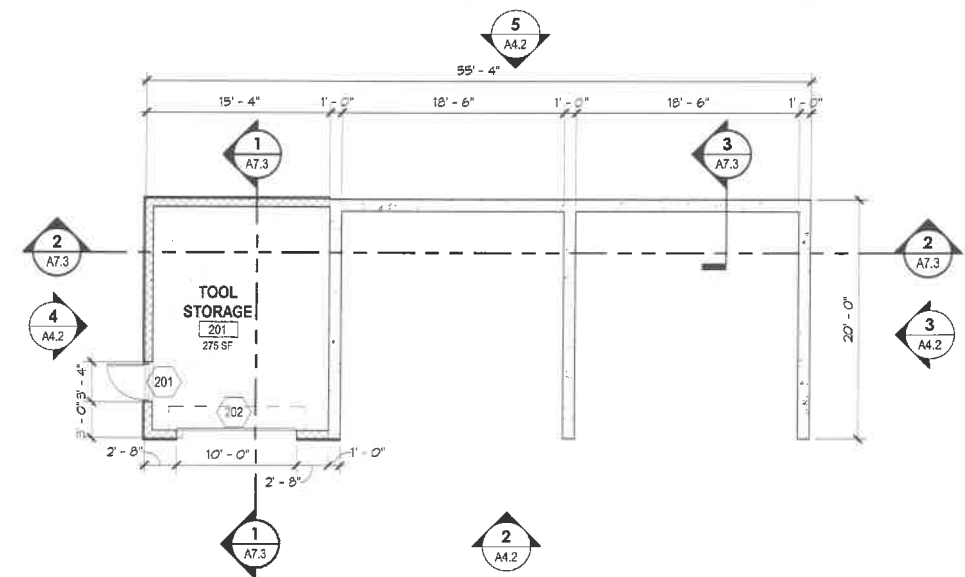
3 ELEVATION

A4.2 1/8" = 1'-0"



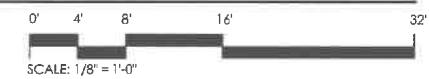
2 ELEVATION

A4.2 1/8" = 1'-0"



1 FLOOR PLAN

A4.2 1/8" = 1'-0"





City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

INTEROFFICE MEMO

To: Zoning Board of Appeals
From: Chris Hall
Subject: Variance Requests for Macedonia Retail Management LLC
For Consideration by the Board on May 19, 2021
Cc: Mayor Molnar, Mark Guidetti, Bob Rodic, Rachael Gambatese
Date: April 28, 2021

Applicant: Macedonia Retail Management LLC
Location: 8183 Golden Link Boulevard
Zoning: B-3 General Business District

REQUEST I: Applicant is seeking an “*area variance*” to reduce the landscape frontage between the Route 8 right-of-way line and the paved ground surface parking area.

Standards: **Criteria for the Development of the Outlots**
H. Site Landscape Area and Material Requirements
1. Perimeter Conditions
(b) Roadway Requirements for Aurora Road (SR 82) and Akron-Cleveland Road (SR 82)
1. There will be a continuous landscape frontage yard no less than twenty-five (25’) feet wide on the Owner property between the right-of-way line and the Owner’s paved ground surface area.

Findings: On February 19, 2020, the BZA approved a variance (Case #614) at 8183 Golden Link regarding the Criteria for the Development of the Outlots, Section H(1)(a)(2), thereby eliminating the continuous landscape buffer yard between the common property line of the adjacent Outlot and the Owner’s paved surface so that the pavement may be constructed to the side yard property lines.

Board’s Action: The Board is to consider the application for a variance reducing the continuous landscape frontage on the Owner property between the right-of-way line and the Owner’s paved ground surface area from no less than twenty-five (25’) feet wide to 7.1 feet, a variance of 17.9 feet.



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INTEROFFICE MEMO

REQUEST II: Applicant is seeking an “*area variance*” to reduce the access drive parking setback from the required twenty (20’) feet to three (3’) feet.

Standards: **1171.11 Off-Street Parking**
e. Regulations for Accessory Parking in Business and Industrial Districts
(2) Location of off-street parking. Off-street parking may be located in front, side or rear yard areas when the points of access, curbing, striping, lighting, location (in reference to buildings, property lines, walks, etc.) and landscape screening have been approved by the Planning Commission and provided that such parking and access drives shall be set back from:
A. The street right of way a minimum of twenty feet;

Findings: The access driveway parking setback is shown on blueprint C-2 Site Plan. Similar to variance request I, but other side of parcel.

Board’s Action: The Board is to consider the application for a variance reducing the access driveway parking setback from twenty (20’) feet to three (3’) feet, a variance of 17 feet.

REQUEST III: Applicant is seeking an “*area variance*” to reduce the landscape area from the building façade to the sidewalk curb line from the required five (5’) feet minimum to zero (0’) feet.

Standards: **Criteria for the Development of the Outlots**
I Internal Site Conditions
(b) Building Perimeter Landscape Requirements
1. Landscape areas shall be from the building façade to the sidewalk curb line. Adequate, but not excessive, sidewalk space for customer and service access shall be provided within the space while maintaining generous planting areas. The planting area will extend the entire length of the building’s prime façade, and its width will be a minimum of five (5’) feet wide.

Findings: Variance is requested to permit sufficient parking for the site.

Board’s Action: The Board is to consider the application for a variance reducing the landscape area from the building façade to the sidewalk curb line from the required five (5’) feet minimum to zero (0’) feet.



City of Macedonia

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INTEROFFICE MEMO

REQUEST IV: Applicant is seeking an “*area variance*” to increase the total allowable sign area.

Standards: **Ordinance 1179.03(f)(2):**
The maximum permitted area for identification signs is two square feet for each lineal foot of building frontage.

Ordinance 1179.07(f)(1):
Corner lots and side and rear entrances. For any use which is on a corner lot or has a customer entrance facing a parking lot (when such parking lot does not face the main street), the maximum allowable area for identification signs may be increased for each such additional frontage. The increase for each such frontage shall be equal to forty percent (400/4) of the allowable sign area if the additional frontage were considered the principal frontage. However, no sign area on any **bonus frontage** shall exceed one (1) square foot per lineal foot of frontage, or in any case, exceed **seventy-five (75) square feet**;

Findings: Applicant is allowed 265 square feet of signage if the east elevation is considered primary frontage; south elevation is considered secondary frontage. Total sign area requested is 418 square feet. The Applicant is requesting a sign area variance of 153 square feet.

Board’s Action: The Board is to consider the application for a variance increasing the total allowable sign area from 265 square feet to 418 square feet, a variance of 153 square feet.

REQUEST V: Applicant is seeking an “*area variance*” to install an additional wall sign on two additional building elevations.

Standards: **Ordinance 1179.03(c)(1):**
Each building frontage shall be entitled to the sign area permitted in this Chapter.

Findings: Applicant is requesting the Optima Dermatology sign on all four (4) building elevations. Two building elevations are considered neither primary nor secondary frontage, and therefore, not entitled to signage.

Board’s Action: The Board is to consider the application for a variance allowing an additional sign on two additional building elevations.



City of Macedonia
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RECEIVED

APR 23 2021

CITY OF MACEDONIA
 BUILDING DEPARTMENT

Building/Engineering/Zoning/Planning Department

**APPLICATION FOR HEARING BEFORE THE
 MACEDONIA ZONING BOARD OF APPEALS**

See instruction page for more information. Appellant is to provide NINE (9) copies of site plans, pictures, etc., and a written statement. (Residential fee: \$100.00; Commercial fee: \$200.00)

Address of Property Involved: 8183 Golden Link Blvd, Macedonia, OH

Nature of Request: See Attached

Applicant Name or Agent Therefore: Macedonia Retail Management LLC

Applicant Address: 30200 Telegraph Rd, Suite 205, Bingham Farms, MI 48025

Applicant Phone: (248) 646-9999 Applicant Email: brandon@alrigusa.com

Property Owner Name: KPGOLDEN LINK # 1 LLC
 (if different from applicant)

Property Owner Address: 5245 MESSERLY RD. CANFIELD, OH 44406

Property Owner Phone: 330-719-8368 Property Owner Email: PLATZSE@gmail.com

SIGNATURE OF APPELLANT. (AUTHORIZATION OF PROPERTY OWNER REQUIRED IF DIFFERENT FROM APPLICANT)

Brandon Rigusa MEMBER Date: 4/23/2021
 By my signature, I attest to the accuracy of all statement on this form

OFFICIAL USE ONLY

Received Date: 4/23/21 Case Number: 650-654

Variance Requested: _____

The Zoning Board of Appeals meets at 6:30 p.m. on the third Wednesday of each month
 in Council Chambers at Macedonia City Hall located at 9691 Valley View Road.
 Meeting dates are subject to change.
 Contact the Building Department at (330) 468-8364.

★ Service ★ Commitment ★ Pride ★



City of Macedonia
The Crossroads of Northeast Ohio
9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

ZONING BOARD OF APPEALS
REQUIREMENTS and MEETING DATES

All items **MUST** be submitted with completed application and fee.

1. **Board of Zoning Appeals Application** and fee.
 - a. Residential: \$100
 - b. Commercial: \$200
2. **Site plan** depicting the following:
 - a. Property address, property lines, and dimensions
 - b. Location of main and accessory structures including property line setbacks
 - c. Location of the variance or request for special approval
3. A **written statement** describing the nature or reason for the variance request. The Board shall review each application for a variance to determine if it complies with the purpose and intent of this Zoning Code and evidence demonstrates that the literal enforcement of this Zoning Code will result in practical difficulty or unnecessary hardship. See page two for types of variances.
4. **Nine (9) hard copies** of the application, plans, and supporting information shall be submitted to the Building Department by the due date indicated on the BZA meeting schedule.
5. **Identification** of all owners of all property abutting in any direction to the property(ies) of the appellant.
6. **Authorization** by the property owner.

**The Zoning Board of Appeals meets at 6:30 p.m. on the third Wednesday of each month in Council Chambers at Macedonia City Hall located at 9691 Valley View Road. Meeting dates are subject to change.
Contact the Building Department at (330) 468-8364.**



City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

Area Variance.

The following factors shall be considered and weighed by the Board to determine practical difficulty:

- a. Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district. Examples of such special conditions or circumstances are exceptional irregularity; narrowness, shallowness or steepness of the lot; or proximity to non-conforming and inharmonious uses, structures or conditions.
- b. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- c. Whether the variance is substantial and is the minimum necessary to make possible the reasonable use of the land or structures;
- d. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
- e. Whether the variance would adversely affect the delivery of governmental services such as water, sewer, trash pickup;
- f. Whether the property owner purchased the property with knowledge of the zoning restrictions;
- g. Whether special conditions or circumstances exist as a result of actions of the owner;
- h. Whether the property owner's predicament feasibly can be achieved through some method other than a variance;
- i. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance;
- j. Whether the granting of the variance requested will confer on the applicant any special privilege that is denied by this regulation to other lands, structures, or buildings in the same district; and
- k. Whether a literal interpretation of the provisions of this Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Code.

Use Variance.

The applicant must demonstrate such hardship by clear and convincing evidence that all of the following criteria are satisfied:

- a. The property cannot be put to any economically viable use under any of the permitted uses in the zoning district in which the property is located;
- b. The variance requested stems from a condition which is unique to the property at issue and not ordinarily found in the same zone or district;
- c. The hardship condition is not created by actions of the applicant;
- d. The granting of the variance will not adversely affect the rights of adjacent property owners or residents;
- e. The granting of the variance will not adversely affect the public health, safety or general welfare;
- f. The variance will be consistent with the general spirit and intent of the Planning and Zoning Code; and
- g. The variance sought is the minimum that will afford relief to the applicant.

Macedonia Board of Zoning Appeals

The applicant seeks the following variances:

1. Akron-Cleveland (SR-8) Landscape Frontage & Parking Setback Variance – 7.1 FT where 20 FT and 25 FT required per Zoning Code 1171.11(e)2.A and Golden Link Crossings Outlot Design Criteria H.1.(b)(1).

a. Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district. Examples of such special conditions or circumstances are exceptional irregularity; narrowness, shallowness or steepness of the lot; or proximity to non-conforming and inharmonious uses, structures or conditions.

The Board has recognized the uniqueness of this site in granting variances in cases 615 and 617. The parcel is in a commercial shopping center sandwiched in between State Route 8 and Golden Link Drive. The site must maintain cross access with the property to the north, a number of easements, a large underground box culvert, and overhead utility lines on the State Route 8 side.

The variance will simply allow the parcel to be developed in a comparable manner to its abutting properties and avoid a parking variance. By allowing for additional parking on site, the variance will enhance safety by eliminating the need for potential users of the site to park at neighboring properties and walk over to the site.

b. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance.

As the Board has recognized in granting previous variances in connection with the construction of Golden Link Drive, development of this site requires these variances to be developed in a manner that will yield a reasonable return.

c. Whether the variance is substantial and is the minimum necessary to make possible the reasonable use of the land or structures.

The variance is the minimum necessary to have sufficient parking for the site. It will allow the property to function in a similar manner to its abutting properties.

d. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance.

None at all. The variance will allow the property to function commensurate with the shopping center where it is located and its abutting properties.

e. Whether the variance would adversely affect the delivery of governmental services such as water, sewer, trash pickup.

No impact.

f. Whether the property owner purchased the property with knowledge of the zoning restrictions.

The construction of Golden Link Drive took place after the seller's purchase of the property, and the applicant is purchasing the property contingent on the ability to secure the zoning approvals.

g. Whether special conditions or circumstances exist as a result of actions of the owner.

No.

h. Whether the property owner's predicament feasibly can be achieved through some method other than a variance.

As the Board recognized in granting the previous variances, this is a unique situation that requires the variance to allow the property to be developed to a reasonable use.

i. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

Yes. Granting the variance will allow the property to operate and function in a similar manner to its abutting properties and cohesively with the shopping center where it exists.

j. Whether the granting of the variance requested will confer on the applicant any special privilege that is denied by this regulation to other lands, structures, or buildings in the same district.

No. The variance will allow the property to function commensurate with where it is located and cohesively with its surroundings.

k. Whether a literal interpretation of the provisions of this Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Code.

Yes. As the Board recognized in granting the previous variances, this is a unique situation, and the variances requested here will only enable the property to function in a similar manner to its neighboring properties.

2. Access Drive Parking Setback Variance – 3.0 FT where 20 FT required per Zoning Code 1171.11(e)2.A.

The rationale is the same as Variance Request No. 1. It is just the other side of the parcel.

3. Building Prime Façade Landscape Area – 0.0 FT where 5 FT required per Golden Link Crossings Outlot Design Criteria I.(b)(1).

The rationale is the same as Variance Request No. 1. While this variance is for the façade landscape area, it is effectively to permit sufficient parking for the site and will enable the property to function in a similar fashion to its neighboring properties.

4. Maximum area and sign location variances from Zoning Code Section 1179.03 to permit signs, including monument sign, as depicted on enclosed plans.

- a. *Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district. Examples of such special conditions or circumstances are exceptional irregularity; narrowness, shallowness or steepness of the lot; or proximity to non-conforming and inharmonious uses, structures or conditions.*

The parcel is in a commercial shopping center sandwiched in between State Route 8 and Golden Link Drive.

With where the property is located, it is necessary to have signs on 4 signs for visibility in addition to the monument sign. The signs will enhance safety in the shopping center by avoiding the risk of patrons driving circuitously around the shopping center trying to find the building. Unlike a regular retail site that a shopper frequents and is normally familiar with where it is located, the users of this site often may need directions to their destination and will be looking for the site when they are near it. The additional signs avoid the risk of having them drive around the shopping center trying to find it.

- b. *Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance.*

The signs are necessary for visibility.

- c. *Whether the variance is substantial and is the minimum necessary to make possible the reasonable use of the land or structures.*

With the contemplated use, the signs are necessary to make a reasonable use of the land.

- d. *Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance.*

The variance will allow the property to function commensurate with the shopping center where it is located and its abutting properties.

- e. *Whether the variance would adversely affect the delivery of governmental services such as water, sewer, trash pickup.*

No impact.

f. Whether the property owner purchased the property with knowledge of the zoning restrictions.

The construction of Golden Link Drive took place after the seller's purchase of the property, and the applicant is purchasing the property contingent on the ability to secure the zoning approvals.

g. Whether special conditions or circumstances exist as a result of actions of the owner.

No.

h. Whether the property owner's predicament feasibly can be achieved through some method other than a variance.

The signs are for wayfinding and avoid circuitous traffic with patrons trying to find the building.

i. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

Yes. Granting the variance will allow the property to operate and function in a similar manner to its abutting properties and cohesively with the shopping center where it exists.

j. Whether the granting of the variance requested will confer on the applicant any special privilege that is denied by this regulation to other lands, structures, or buildings in the same district.

No. The variance will allow the property to function commensurate with where it is located and cohesively with its surroundings.

k. Whether a literal interpretation of the provisions of this Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Code.

Yes. As the Board recognized in granting the previous variances, this is a unique situation, and the variances requested here will only enable the property to function in a similar manner to its neighboring properties.

Adjacent Property Owners

North Property:

8195 GOLDEN LINK BLVD

OWNER: AMERICAN TIMBER COMPANY

South Property:

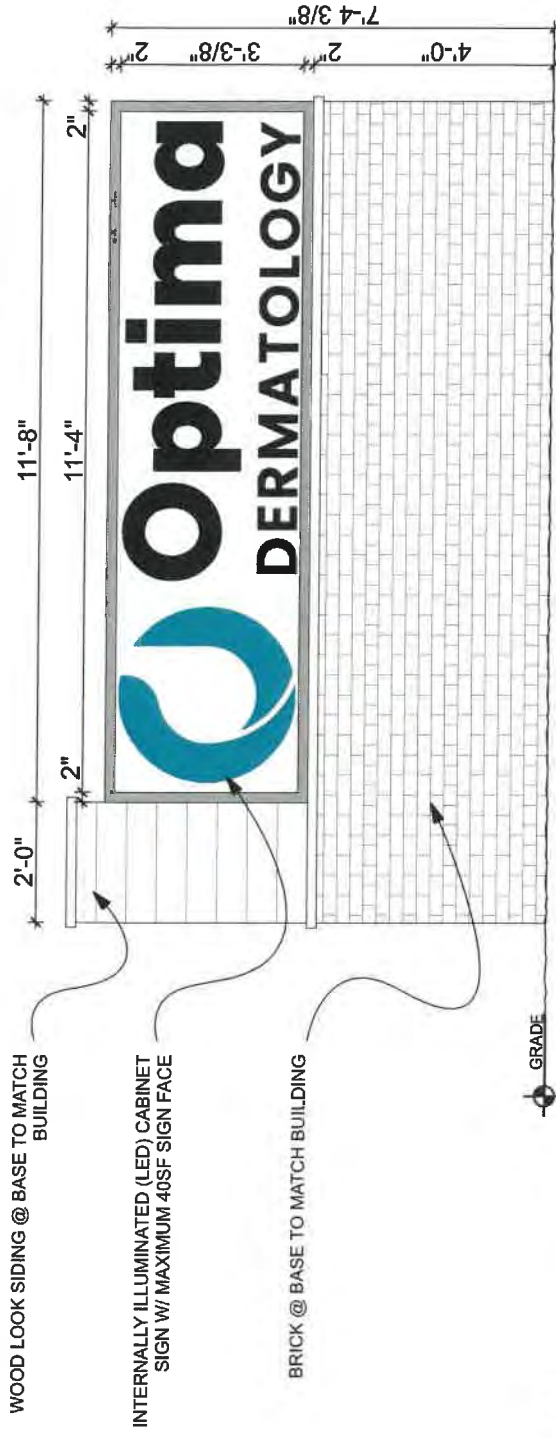
8143 GOLDEN LINK BLVD , MACEDONIA 44056

OWNER: 4S OHIO LLC

West Property:

8224 GOLDEN LINK BLVD , NORTHFIELD 44067

OWNER: LOWES HOME CENTERS INC



WOOD LOOK SIDING @ BASE TO MATCH BUILDING

INTERNALLY ILLUMINATED (LED) CABINET SIGN W/ MAXIMUM 40SF SIGN FACE

BRICK @ BASE TO MATCH BUILDING

GRADE

Ground sign sketch

SCALE: 1/2" = 1'-0"

	 <p>Optima DERMATOLOGY Corporate Office Petersburgh, NH 03801</p>	<p>proj. no.: Optima Dermatology Macedonia, OH date: 4/26/21</p>	<p>P.O 1</p>
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POINT ONE DESIGN, LTD.
 2800 CORPORATE EXCHANGE DR., SUITE 270
 COLUMBUS, OHIO 43231

STRUCTURAL
JOSEPH LEWIS, P.E.
 3260 W. HENDERSON RD., SUITE 10
 COLUMBUS, OHIO 43220

CIVIL
STONEFIELD
 607 SHELBY SUITE 200,
 DETROIT, MI 48226



PROPOSED MEDICAL OFFICE
 8183 GOLDEN LINK BLVD.
 CITY OF MACEDONIA
 SUMMIT COUNTY, OHIO

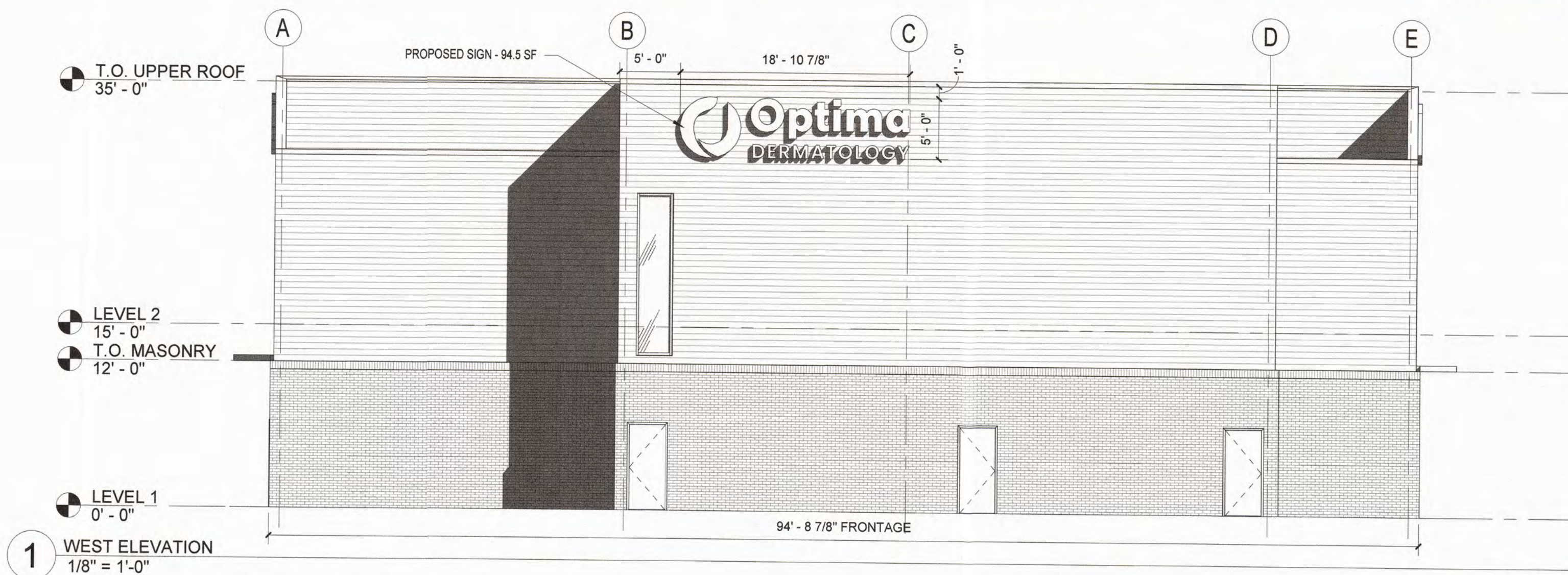
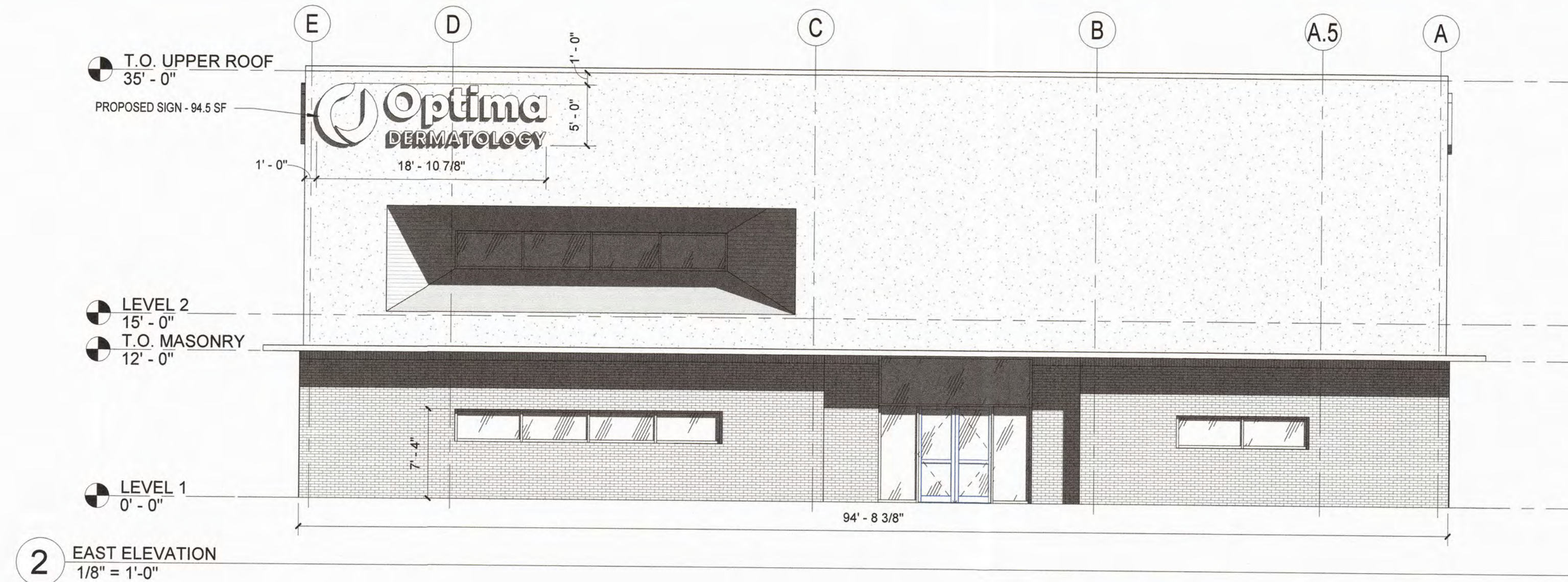
SEAL
 NOT FOR CONSTRUCTION

ISSUED FOR	
DATE	ISSUANCE

DATE
 04/22/2021

SHEET TITLE
 PERSPECTIVE VIEWS

SHEET NUMBER
A100
 PROJECT NUMBER 25.0002

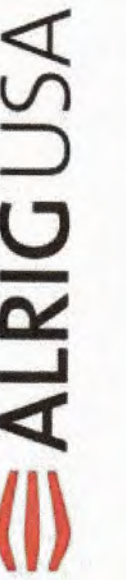


ARCHITECT
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 130 E. CHESTNUT ST., SUITE 302
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MECHANICAL / PLUMBING / ELECTRICAL
ELECTRICAL
POINT ONE DESIGN, LTD.
 2800 CORPORATE EXCHANGE DR.,
 SUITE 270 COLUMBUS, OHIO 43231

STRUCTURAL
JOSEPH LEWIS, P.E.
 3260 W. HENDERSON RD., SUITE 10
 COLUMBUS, OHIO 43220

CIVIL
STONEFIELD
 607 SHELBY SUITE 200,
 DETROIT, MI 48226



PROPOSED MEDICAL OFFICE
 8183 GOLDEN LINK BLVD.
 CITY OF MACEDONIA
 SUMMIT COUNTY, OHIO

SEAL

NOT FOR CONSTRUCTION

ISSUED FOR

DATE ISSUANCE

DATE

04/22/2021

SHEET TITLE

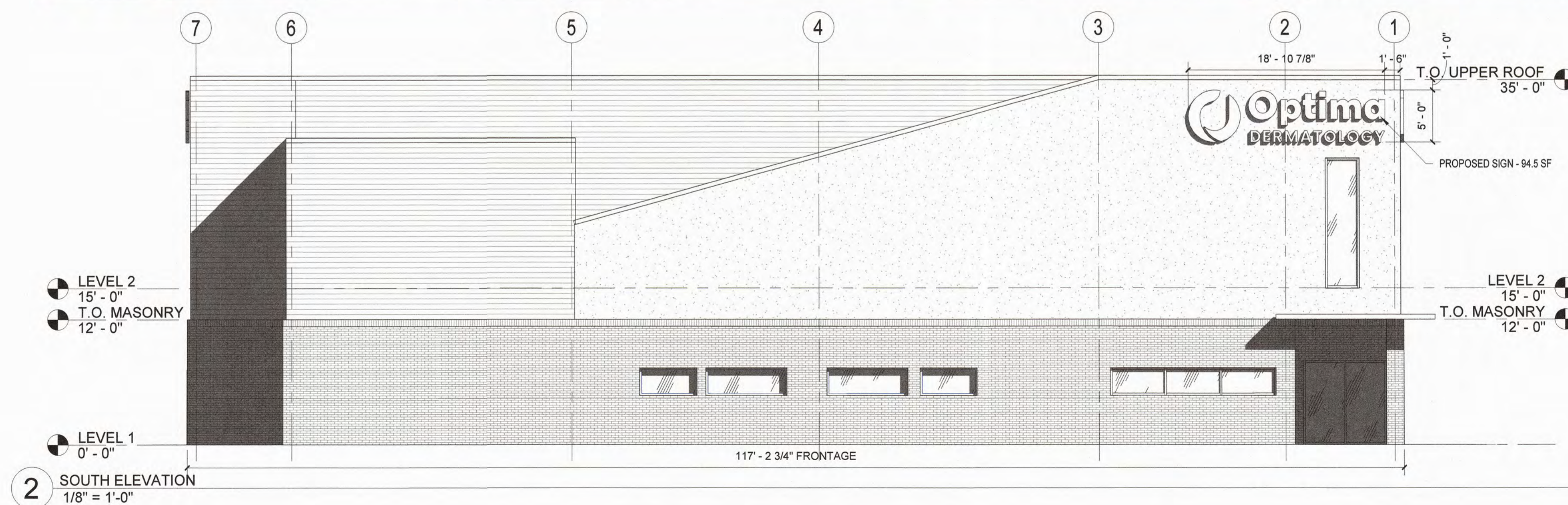
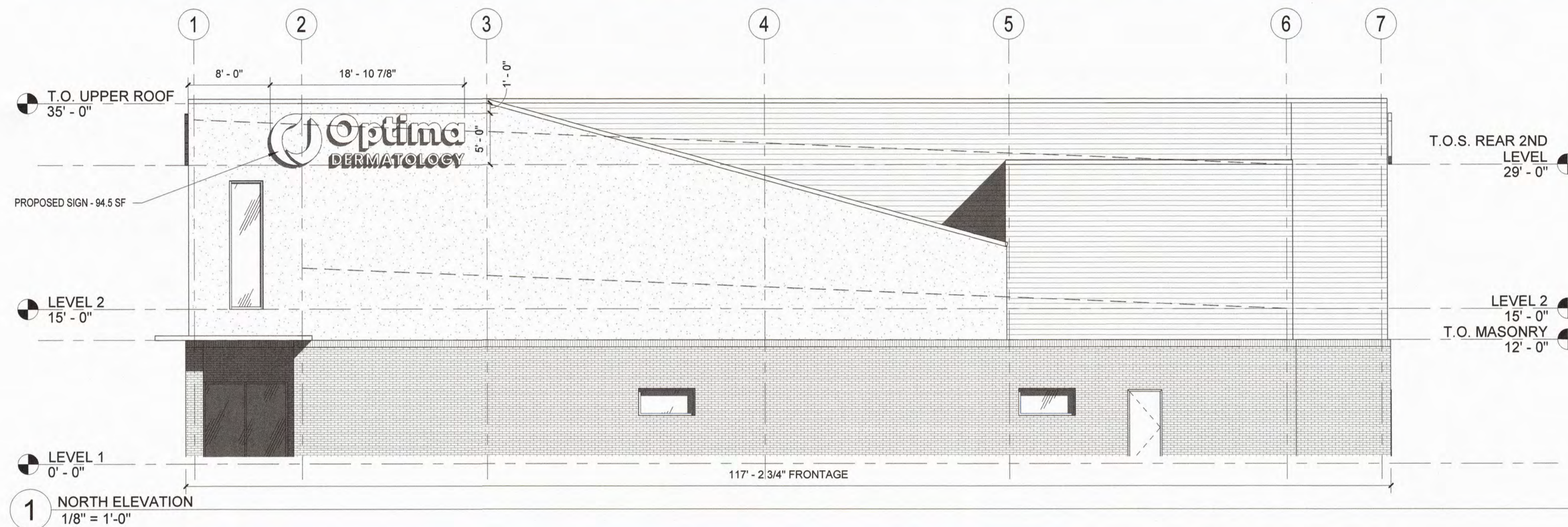
EAST / WEST ELEVATIONS

SHEET NUMBER

A101

PROJECT NUMBER

25.0002

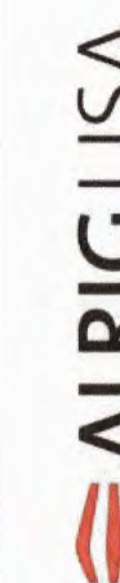


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PROPOSED MEDICAL OFFICE
 8183 GOLDEN LINK BLVD.
 CITY OF MACEDONIA
 SUMMIT COUNTY, OHIO

SEAL

NOT FOR CONSTRUCTION

ISSUED FOR

DATE ISSUANCE

DATE

04/22/2021

SHEET TITLE

NORTH / SOUTH ELEVATIONS

SHEET NUMBER

A102

PROJECT NUMBER

25.0002



SOURCE: USGS ONLINE MAPS

LOCATION MAP

SCALE: 1" = 2,000'±

SITE DEVELOPMENT PLANS

FOR

Optima
DERMATOLOGY
PROPOSED MEDICAL OFFICE

PARCEL ID: 3313416

8183 GOLDEN LINK BOULEVARD

CITY OF MACEDONIA, SUMMIT COUNTY, OHIO 44067



SOURCE: GOOGLE EARTH PRO & CITY OF MACEDONIA ZONING MAP

AERIAL MAP

SCALE: 1" = 200'±

PLANS PREPARED BY:



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ISSUE	DATE	BY	DESCRIPTION
1	04/27/2021	AF	FOR CLIENT REVIEW
2	04/27/2021	AF	FOR SITE PLAN APPROVAL

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SITE DEVELOPMENT PLANS

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PARCEL ID: 3313416
8183 GOLDEN LINK BOULEVARD
CITY OF MACEDONIA
SUMMIT COUNTY, OHIO



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SCALE: AS SHOWN PROJECT ID: DET-210034

TITLE:

COVER SHEET

DRAWING:

C-1

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
SITE PLAN	C-2
GRADING & STORMWATER MANAGEMENT PLAN	C-3
UTILITY PLAN	C-4
LANDSCAPING PLAN	C-5
CONSTRUCTION DETAILS	C-6

ADDITIONAL SHEETS

DRAWING TITLE	SHEET #
PLAT SURVEY	1 OF 1
SITE LIGHTING STUDY	1 OF 1

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - PLAT SURVEY PREPARED BY QCM INC., DATED: 04/15/2021
 - ARCHITECTURAL PLANS PREPARED BY ABBOT STUDIOS
 - PHOTOMETRIC LIGHT STUDY PREPARED BY BOSTON LIGHT SOURCE
 - GOLDEN LINK CROSSING OUTLOT DESIGN REQUIREMENTS DOCUMENT PROVIDED BY THE CITY OF MACEDONIA
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
 - LOCATION MAP OBTAINED FROM USGS ONLINE MAPPER
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

LAND USE AND ZONING		
PARCEL ID: 3313416		
GENERAL BUSINESS DISTRICT (B-3)		
PROPOSED USE	PERMITTED USE	
MEDICAL OFFICE		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	30,000 SF	48,369 SF (1.11 AC)
MINIMUM LOT WIDTH	150 FT	207.0 FT
MAXIMUM BUILDING HEIGHT	6 STORIES (80 FT)	2 STORIES (30.0 FT)
MINIMUM SR-8 YARD SETBACK	55 FT ⁽¹⁾	55.0 FT
MINIMUM ACCESS DRIVEWAY YARD SETBACK	50 FT	66.5 FT
MINIMUM GOLDEN LINK BLVD YARD SETBACK	50 FT	61.4 FT
MINIMUM SIDE YARD SETBACK	25 FT	45.8 FT
MINIMUM SR-8 LANDSCAPE BUFFER	25 FT ⁽²⁾	7.1 FT (V)
MINIMUM ACCESS DRIVEWAY PARKING SETBACK	20 FT	3.0 FT (V)
MINIMUM SIDE PARKING SETBACK	0 FT ⁽³⁾	1.8 FT
MINIMUM GOLDEN LINK BLVD LANDSCAPE BUFFER	8 FT ⁽³⁾	8.0 FT

- (V) VARIANCE
 (1) REDUCED FROM 100 FT REQUIREMENT BY BZA CASE NO. 615
 (2) PER CROSSINGS/GOLDEN LINK CRITERIA FOR DEVELOPMENT OF OUTLOTS
 (3) REDUCED FROM 5 FT REQUIREMENT BY BZA CASE NO. 614

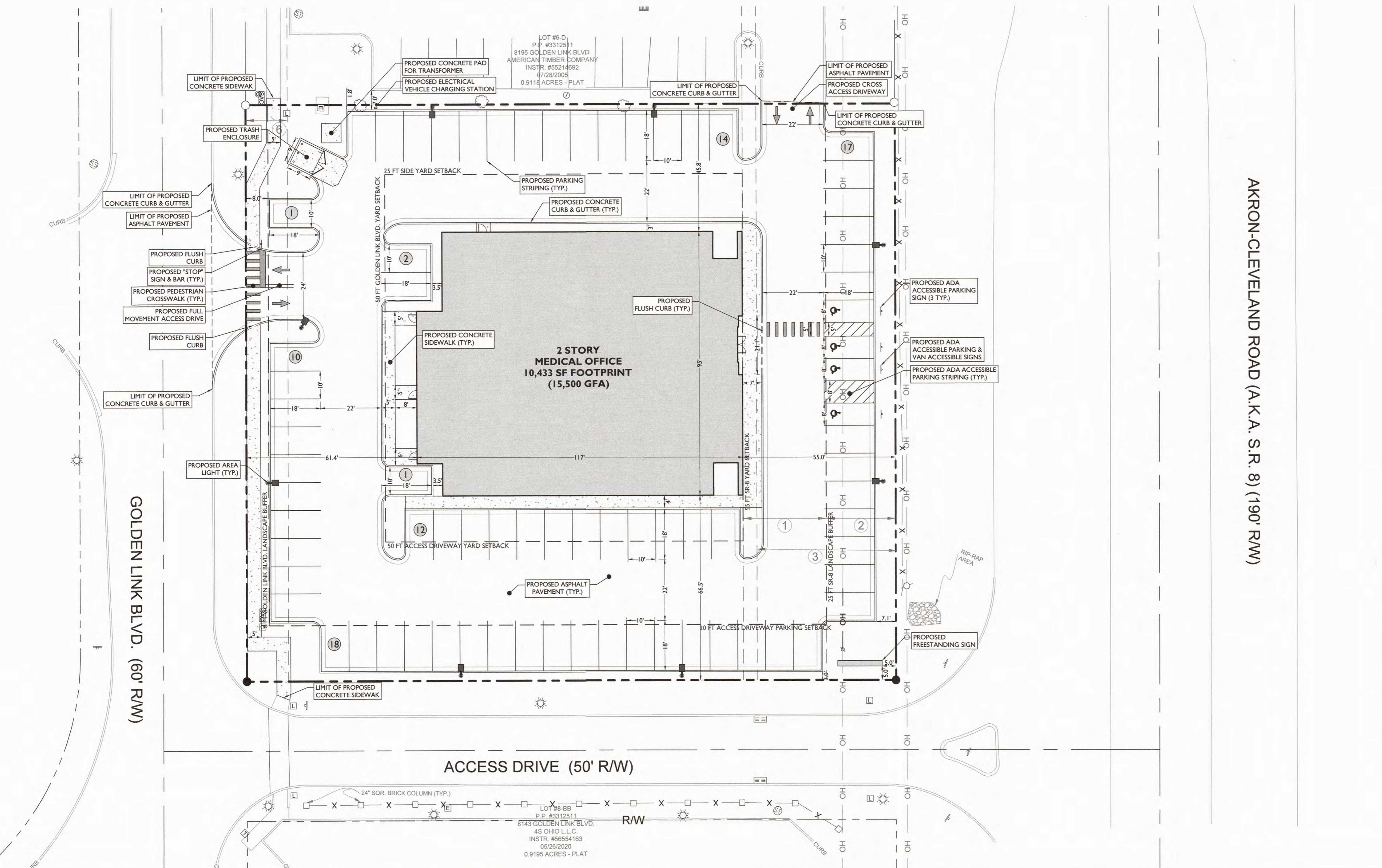
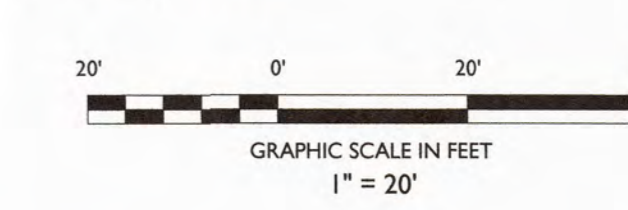
OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 1711.11(c)	MEDICAL OFFICE 1 SPACE PER 200 SF OF FA ⁽¹⁾ (15,000 SF)(1/200 SF) = 75 SPACES	75 SPACES
§ 1711.11(b)	90° PARKING ⁽²⁾ 10 FT X 18 FT WITH 22 FT AISLE	10 FT X 18 FT W/ 22 FT AISLE

- (1) § 1711.11(b)(2) - ANY FLOOR AREA USED FOR STORAGE NOT TO EXCEED 20% OF THE TOTAL FLOOR AREA MAY BE EXCLUDED FROM PARKING CALCULATIONS (15,500)(0.97) = 15,500 SF
 (2) REDUCED FROM 20 FT LENGTH REQUIREMENT BY BZA CASE NO. 617

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - -	SETBACK LINE
- . - . -	SAWCUT LINE
====	PROPOSED CURB & GUTTER
=====	PROPOSED FLUSH CURB
⊥	PROPOSED SIGNS / BOLLARDS
▭	PROPOSED BUILDING
▭	PROPOSED CONCRETE
⌋	PROPOSED BUILDING DOORS
⊙	PROPOSED UTILITY POLE
⊕	PROPOSED AREA LIGHT

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.
- CONTRACTOR TO PROVIDE A SMOOTH TRANSITION BETWEEN ANY PROPOSED AND EXISTING CURB AND/OR PAVEMENT.
- PARKING AREAS TO BE SURFACED WITH ASPHALT PAVEMENT UNLESS SPECIFIED OTHERWISE.



AKRON-CLEVELAND ROAD (A.K.A. S.R. 8) (190' RW)

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04/21/2021	2	AF	FOR CLIENT REVIEW

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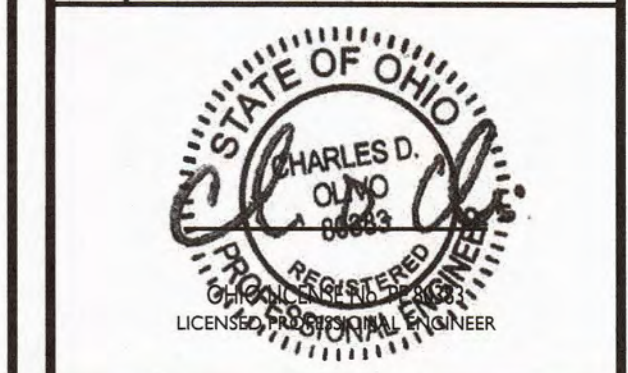
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PARCEL ID: 3313416
8183 GOLDEN LINK BOULEVARD
CITY OF MACEDONIA
SUMMIT COUNTY, OHIO



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SCALE: 1" = 20' PROJECT ID: DET-210024

TITLE: SITE PLAN

DRAWING: C-2

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

1. THE CONTRACTOR IS REQUIRED TO REFERENCE THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SPOTS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THE DESIGN SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS. AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS, THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STACKOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
7. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
8. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
---	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
---	PROPOSED STORMWATER STRUCTURES
---	PROPOSED STORMWATER PIPING

DATE	BY	DESCRIPTION
04/22/2021	AF	FOR SITE PLAN APPROVAL
04/21/2021	AF	FOR CLIENT REVIEW
2	1	ISSUE

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SITE DEVELOPMENT PLANS

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PARCEL ID: 3313416
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SUMMIT COUNTY, OHIO

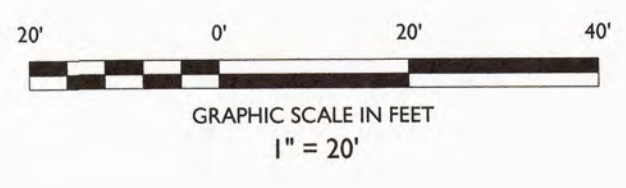
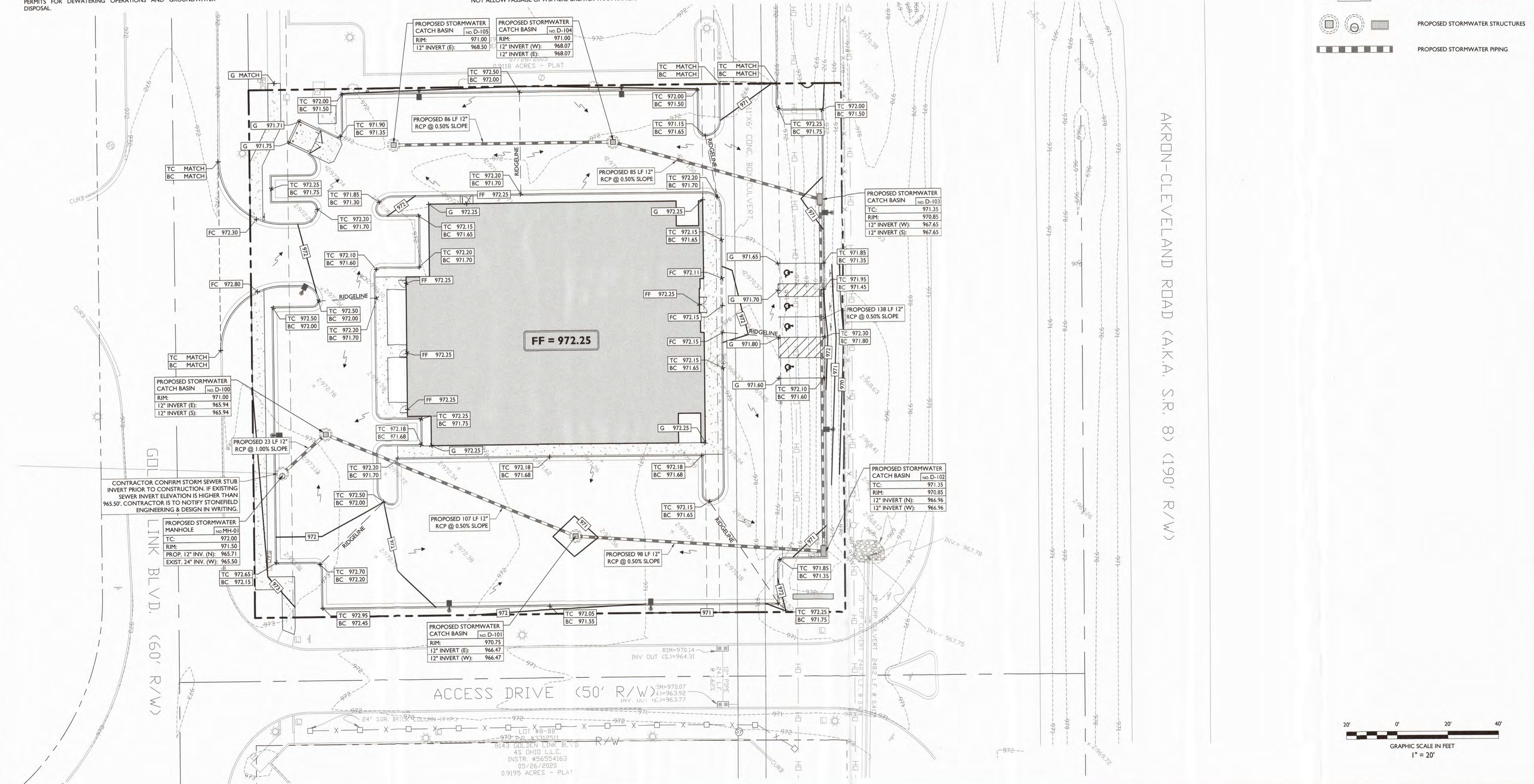


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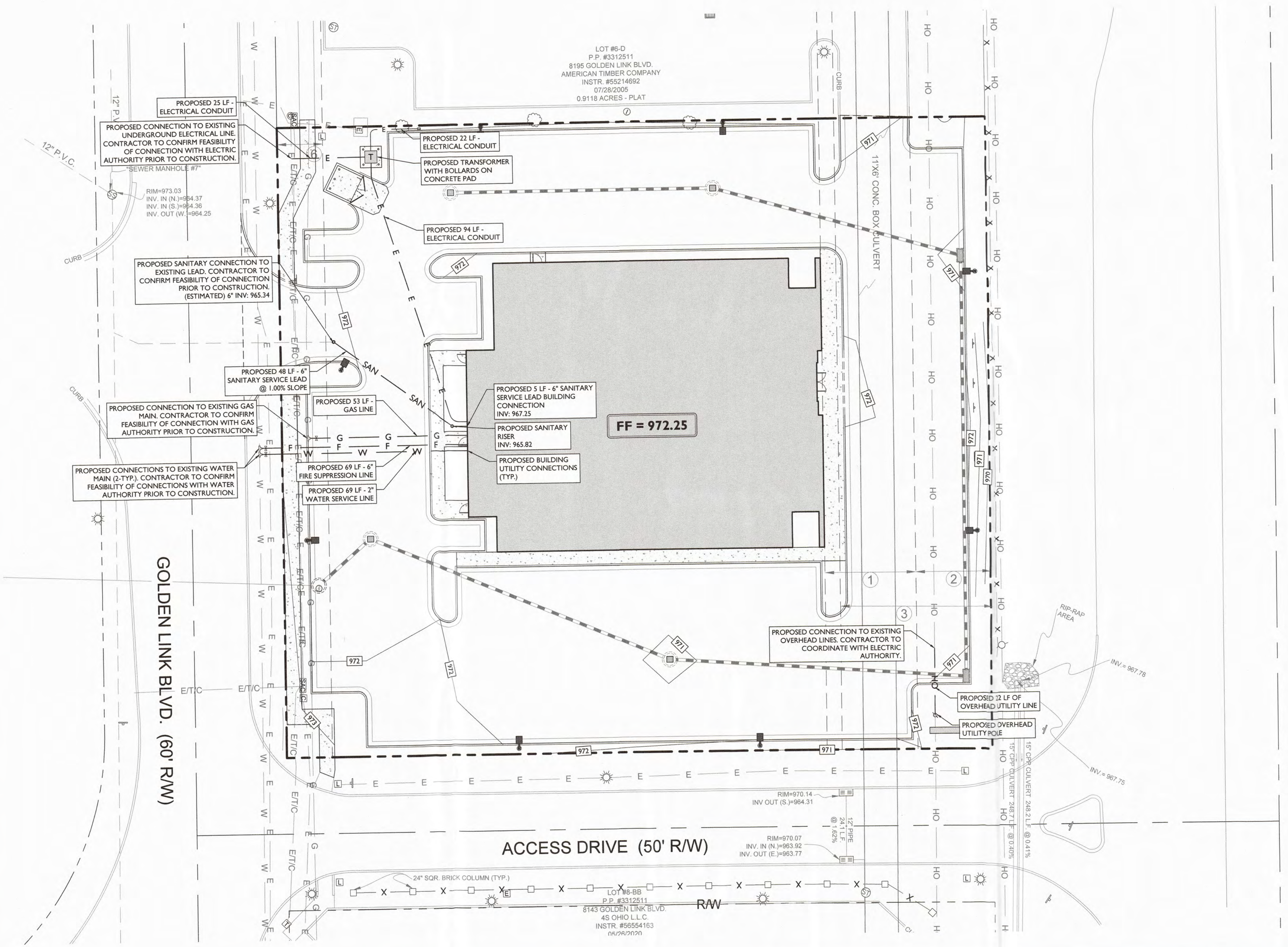
SCALE: 1" = 20' PROJECT ID: DET-210034

TITLE: **GRADING & STORMWATER MANAGEMENT PLAN**

DRAWING: **C-3**



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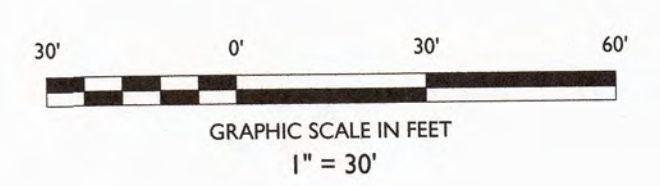


AKRON-CLEVELAND ROAD (A.K.A. S.R. 8) (190' R/W)

SYMBOL	DESCRIPTION
---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W —	PROPOSED DOMESTIC WATER SERVICE
— E —	PROPOSED ELECTRIC CONDUITS
— OH —	PROPOSED OVERHEAD WIRES
— G —	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊕	PROPOSED WATER TEE / BEND
○	PROPOSED SANITARY MANHOLE / CLEANOUT
⊙	PROPOSED UTILITY POLE

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEPOSITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



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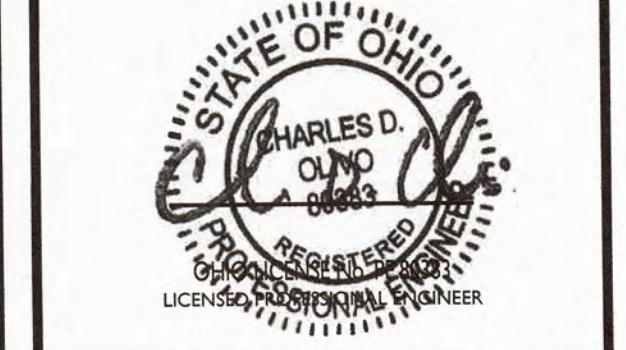
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SCALE: 1" = 30' PROJECT ID: DET-210034

TITLE: **UTILITY PLAN**

DRAWING: **C-4**

PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	APD	2	ACER PALMATUM DISSECTUM 'RED DRAGON'	RED DRAGON JAPANESE MAPLE	3' - 4' HT	B&B	AS SHOWN
	BNH	3	BETULA NIGRA 'HERITAGE'	RIVER BIRCH	2.5" - 3" CAL	B&B	AS SHOWN
	GLE	4	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	2.5" - 3" CAL	B&B	AS SHOWN
	PLA	8	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANE TREE	2.5" - 3" CAL	B&B	AS SHOWN
	MAG	4	MAGNOLIA SOULANGEANA	SAUCER MAGNOLIA	2.5" - 3" CAL	B&B	AS SHOWN
	TIL	1	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2.5" - 3" CAL	B&B	AS SHOWN
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	TOS	9	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	8' - 10' HT	B&B	AS SHOWN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	BER	9	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY JAPANESE BARBERY	18" - 24"	POT	AS SHOWN
	HYD	8	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	BAILMER HYDRANGEA	18" - 24"	POT	AS SHOWN
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	BUX	21	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM'	WINTER GEM JAPANESE BOXWOOD	18" - 24"	B&B	AS SHOWN
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	CAL	23	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	1 GAL.	POT	AS SHOWN
	CMT	328	CAREX MORROWII TENNOLEPUS 'SILK TASSEL'	SILK TASSEL JAPANESE SEDGE	1 GAL.	POT	18" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
OUTLOT 1a.1 OUTLOT 1a.2 OUTLOT 1a.3	OUTLOTS DEDICATED ACCESS ROADWAY: LANDSCAPE FRONT YARD: 8 FT COMMON PROPERTY LINE: 5 FT LANDSCAPE BUFFER ACCESS ROADWAYS: 1 TREE PER 50 LF ACCESS DRIVE: (233 FT)(1 TREE / 50 FT FRONTAGE) = 5 TREES GOLDEN LINK BOULEVARD (174 FT)(1 TREE / 50 FT FRONTAGE) = 4 TREES	PROVIDED 5 TREES 4 TREES
OUTLOT 1b.1 OUTLOT 1a.2	OUTLOTS REQUIREMENTS FOR SR 8: LANDSCAPE BUFFER YARD: 25 FT SR-8 HIGHWAY: STREET TREES 1 TREE PER 50 LF (207 FT)(1 TREE / 50 FT FRONTAGE) = 5 TREES TREE LOCATION: 15 FT FROM RIGHT-OF-WAY	7.1 FT (V) 5 PROPOSED
OUTLOT 1c.2 & 1c.4 OUTLOT 1c.6	ABUTTING PROPERTY REQUIREMENTS: 0 FT CONTINUOUS LANDSCAPE BUFFER ALONG THE ENTIRE LENGTH OF THE COMMON PROPERTY LINE(1) 1 TREE PER 50 LF (210 FT)(1 TREE / 50 FT FRONTAGE) = 5 TREES	1.8 FT 5 TREES
OUTLOT 1a.2 OUTLOT 1a.3 OUTLOT 1a.4	INTERNAL LANDSCAPE REQUIREMENTS: PLANTER AT EACH END OF PARKING ROW 1 TREE PER LANDSCAPE ISLAND PLANTERS SHOULD BE EVENLY DISTRIBUTED THROUGHOUT THE PARKING FIELD LANDSCAPE ISLANDS ARE TO BE PLANTED NOT TO EXCEED 3 FT HEIGHT	PROVIDED 3 ISLANDS-3 TREES PROVIDED PROVIDED
OUTLOT 1b.1 OUTLOT 1b.2 OUTLOT 1b.3 OUTLOT 1b.5	BUILDING PERIMETER LANDSCAPE REQUIREMENTS: BUILDINGS PRIME FACADE: MIN 5 FT WIDE SECONDARY ENTRANCES: 3 FT WIDE SERVICE AND EMPLOYEE ENTRANCE: 3 FT WIDE LANDSCAPE AREAS 150 SF AND OVER: BUILDING PLANTING AREA: 1 CANOPY TREE 3 SHRUB	PROVIDED PROVIDED 3.5 FT 3.5 FT PROVIDED PROVIDED 40 SHRUBS
OUTLOT 1b.6 OUTLOT 1b.8	EACH LANDSCAPE AREA: MUST CONTAIN 100 SF OF PLANTING AREA AND 1 TREE ALL EQUIPMENT MUST BE SCREENED BY LANDSCAPE MATERIAL	PROVIDED PROVIDED

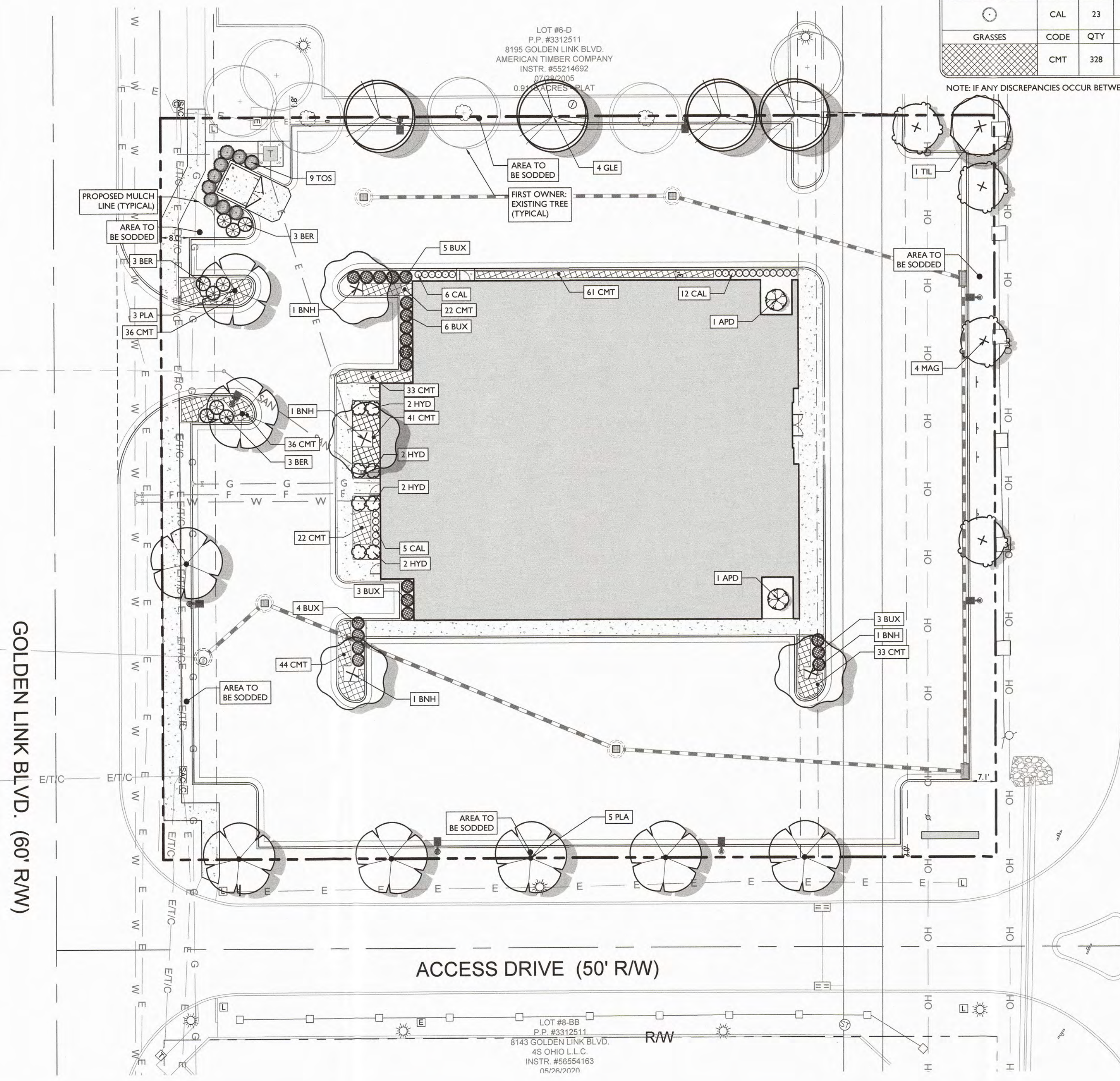
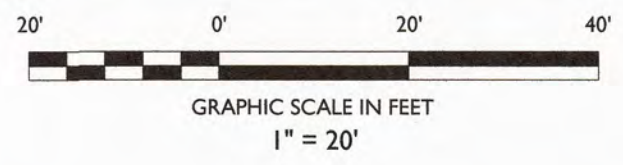
(V) VARIANCE
(1) REDUCED FROM 5 FT REQUIREMENT BY 82A CASE NO. 614

IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



AKRON-CLEVELAND ROAD (A.K.A. S.R. 8) (190' R/W)

GOLDEN LINK BLVD. (60' R/W)

VERTICAL CURVE: 13.000' HANGING 118' GOLDEN LINK BOULEVARD, HACKETT, OHIO. CHANGING FROM 45' TO 60' R/W

DATE	BY	DESCRIPTION
04/22/2021	AF	FOR SITE PLAN APPROVAL
04/21/2021	AF	FOR CLIENT REVIEW
2	1	ISSUE

NOT APPROVED FOR CONSTRUCTION

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607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE DEVELOPMENT PLANS

Optima
DERMATOLOGY
PROPOSED MEDICAL OFFICE

PARCEL ID: 3313416
8143 GOLDEN LINK BOULEVARD
CITY OF MACEDONIA
SUMMIT COUNTY, OHIO



STONEFIELD
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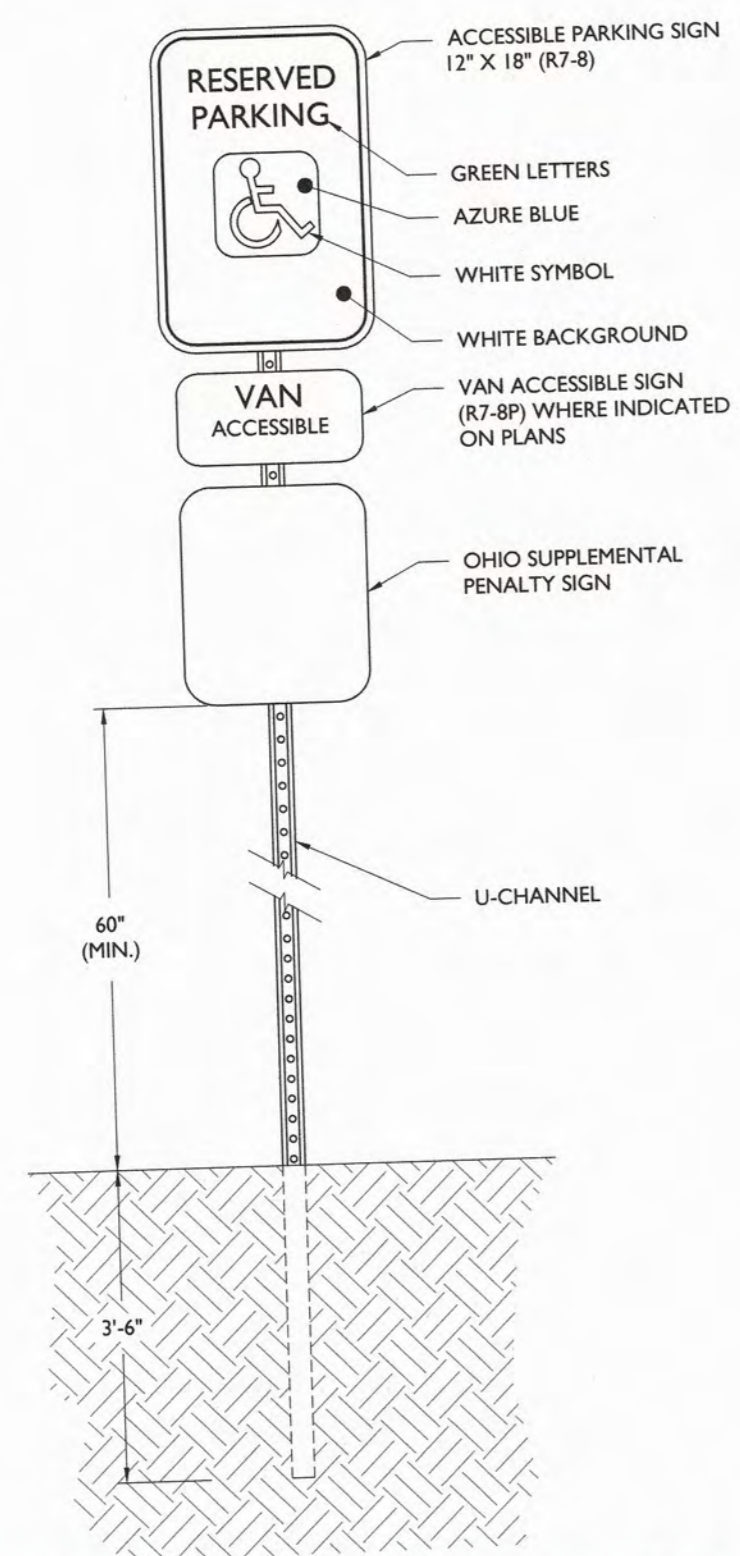
SCALE: 1" = 20' PROJECT ID: DET-210934

TITLE:

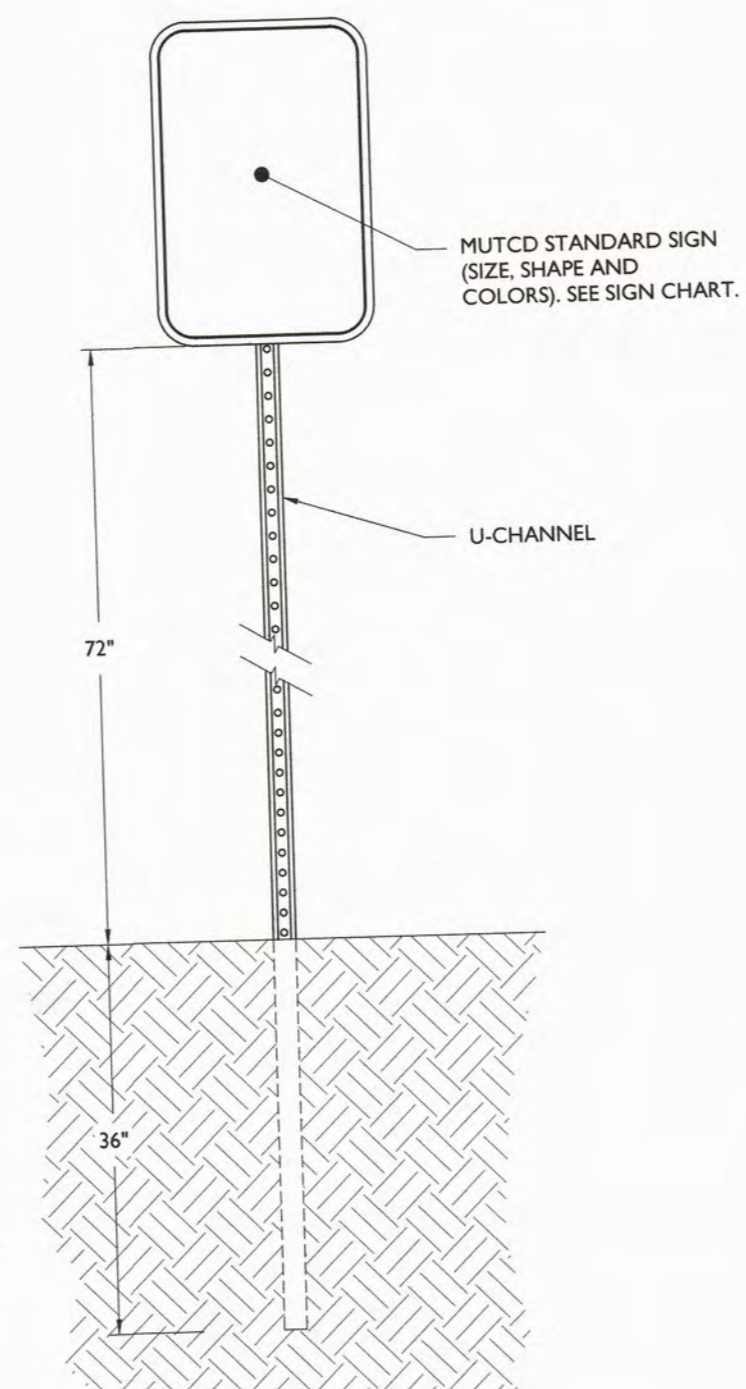
LANDSCAPING PLAN

DRAWING:

C-5



ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

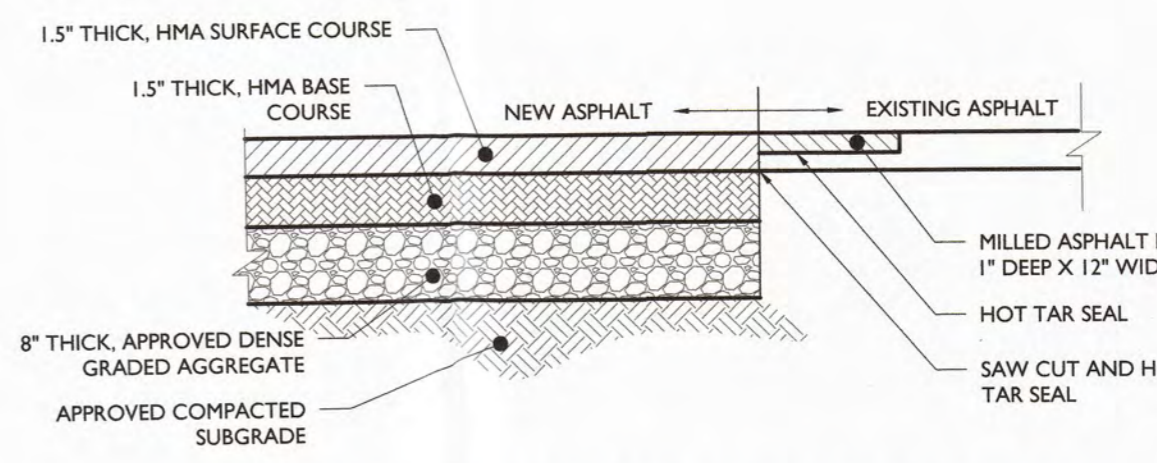


SIGN POST DETAIL
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36" X 36"	GROUND

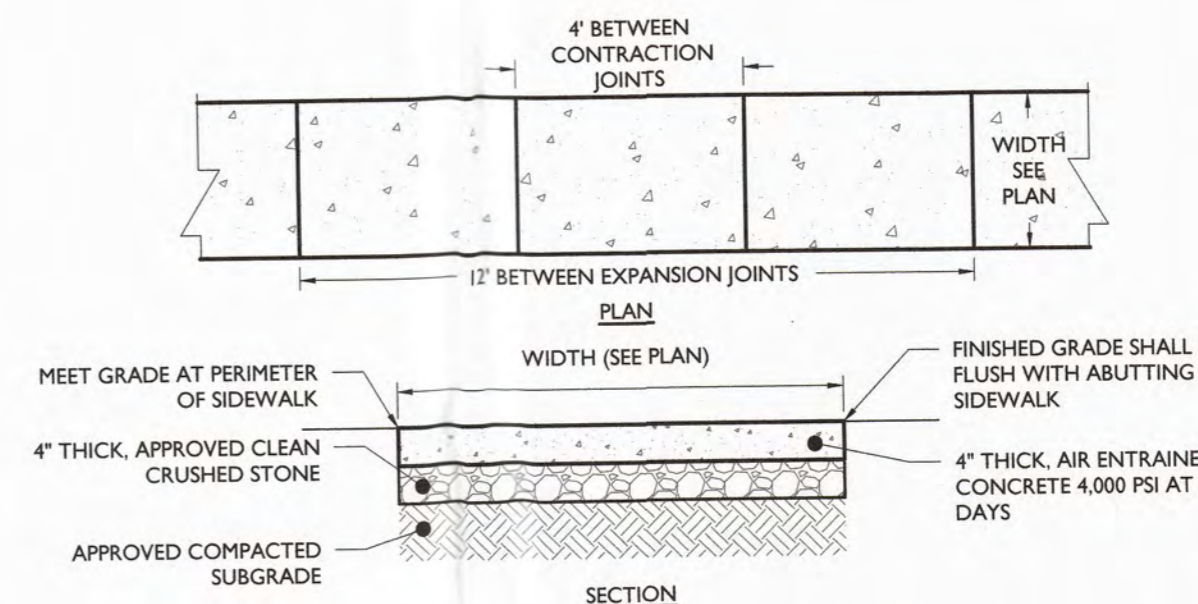
NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE
NOT TO SCALE



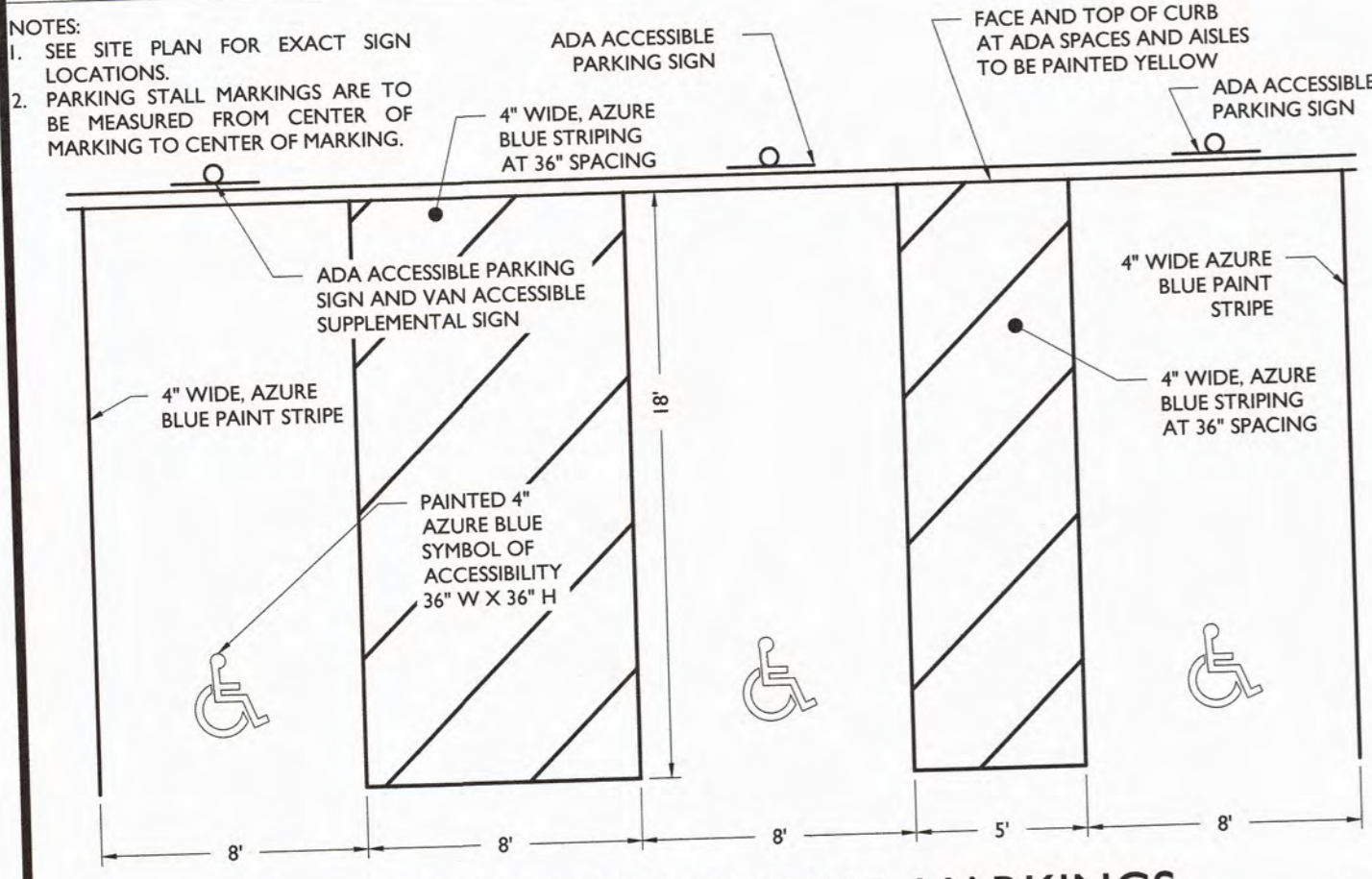
FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

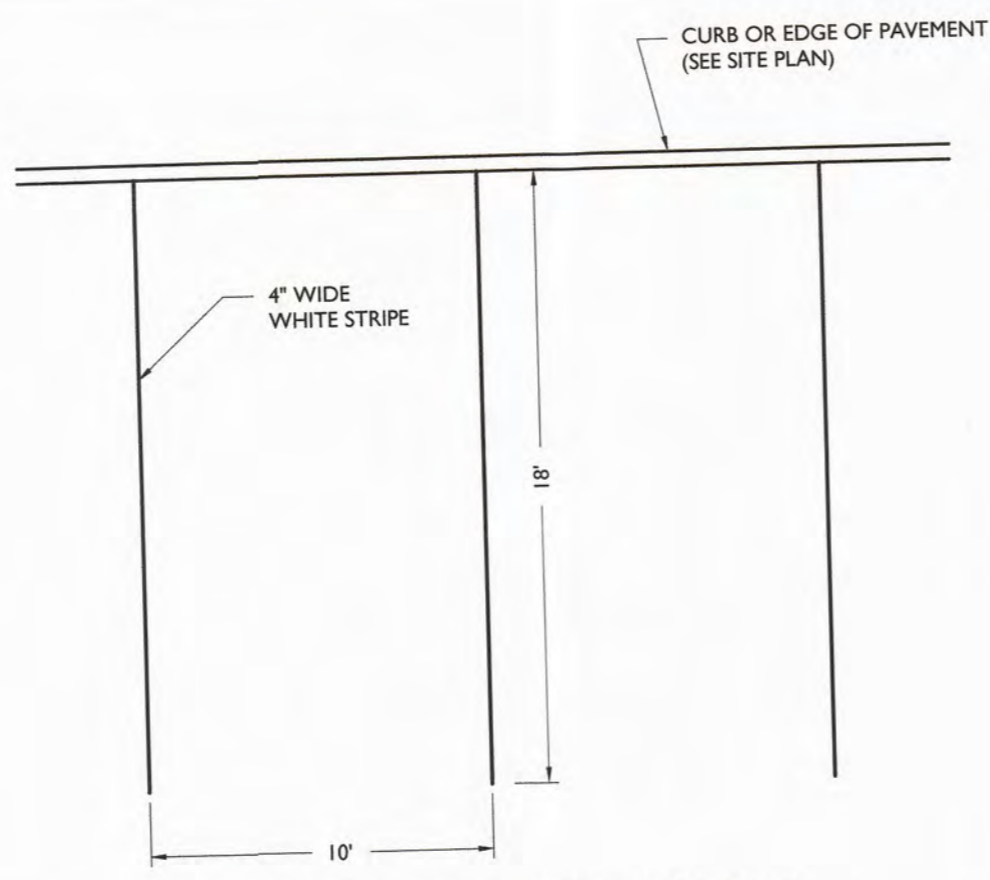


CONCRETE WALKWAY DETAIL
NOT TO SCALE

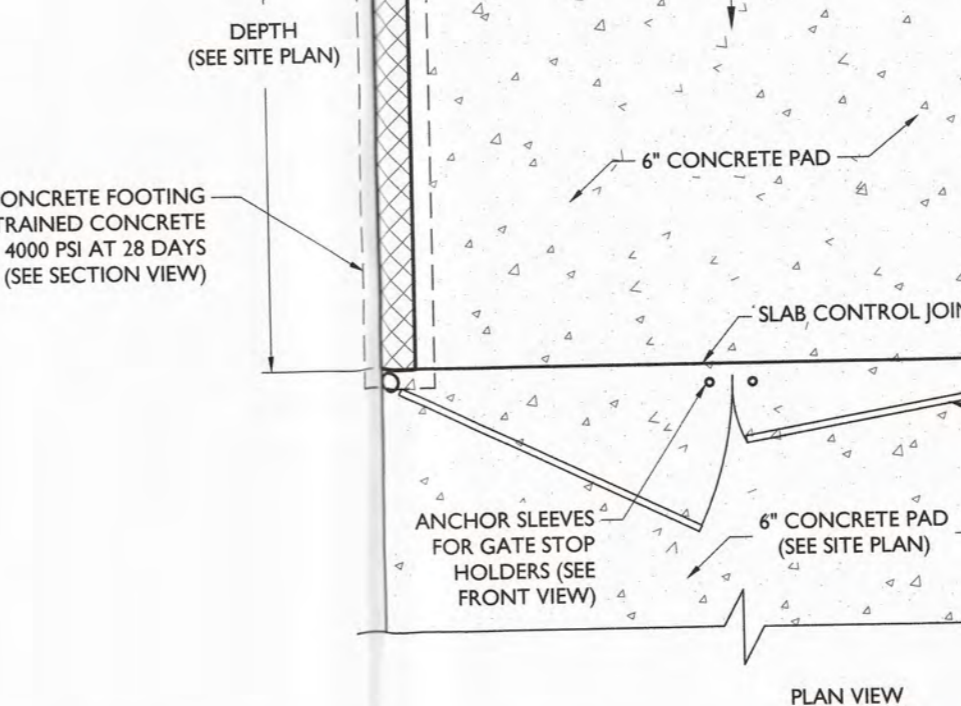
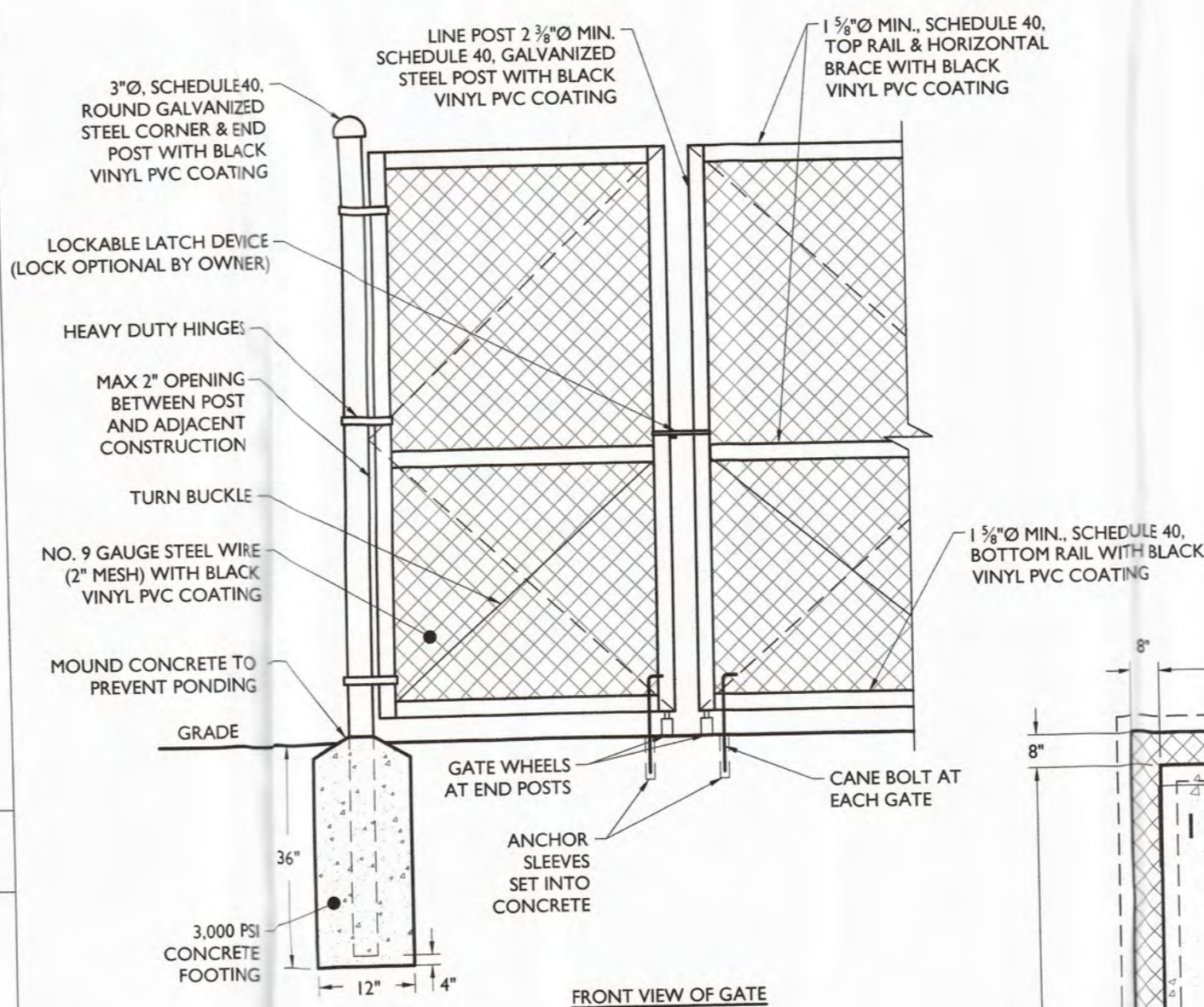
NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1" PER FOOT.
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM THE SURFACE.
3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



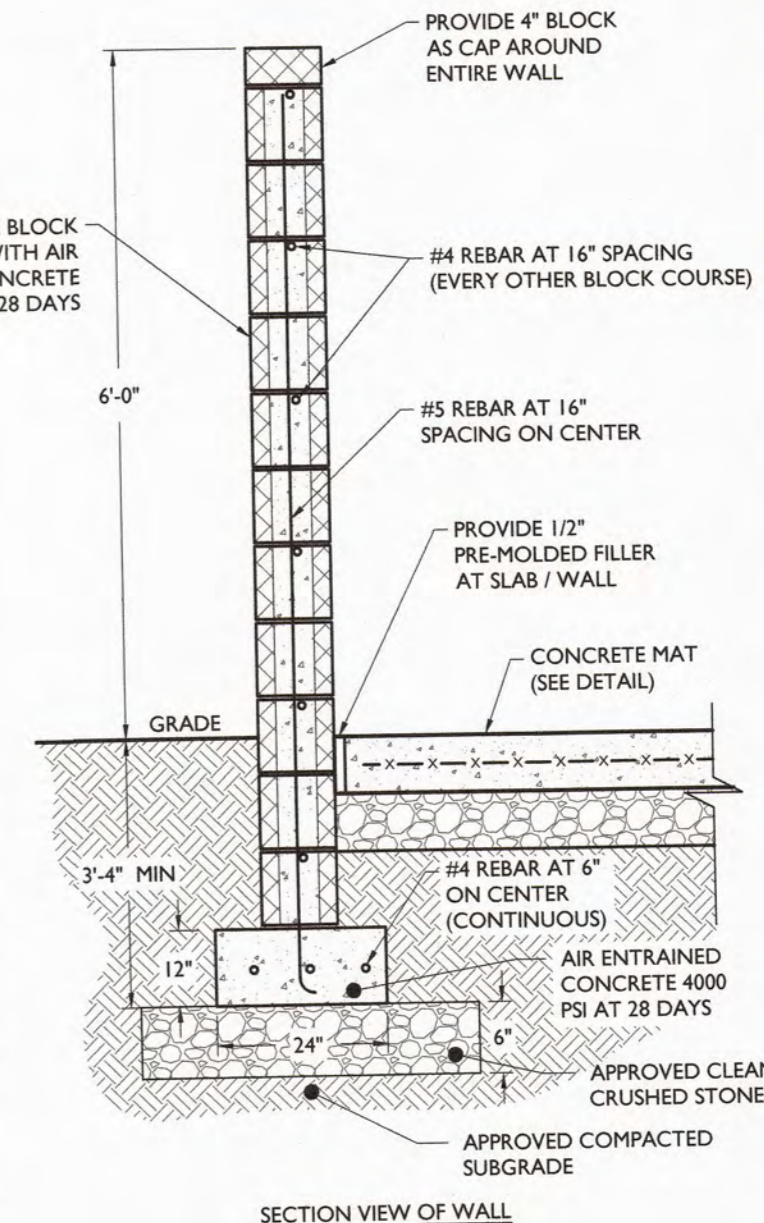
ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE



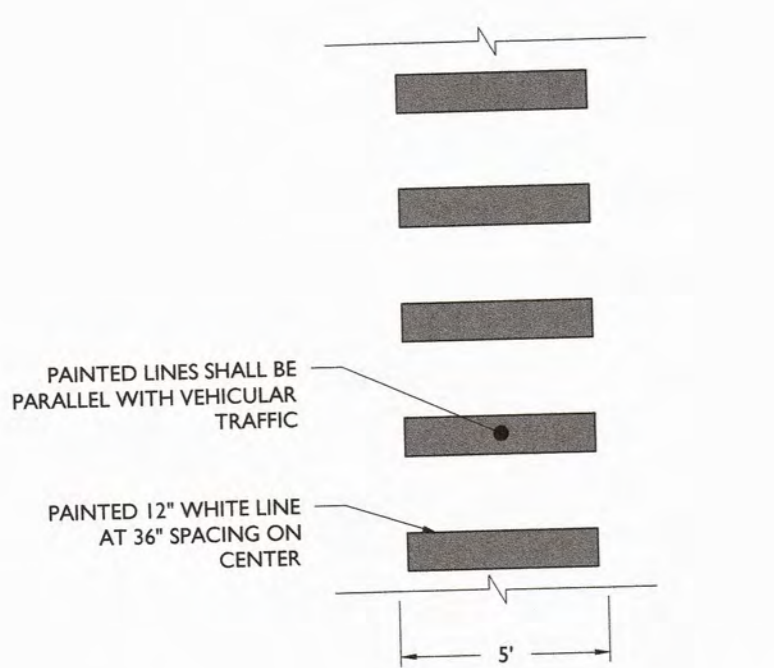
PARKING STALL MARKINGS
NOT TO SCALE



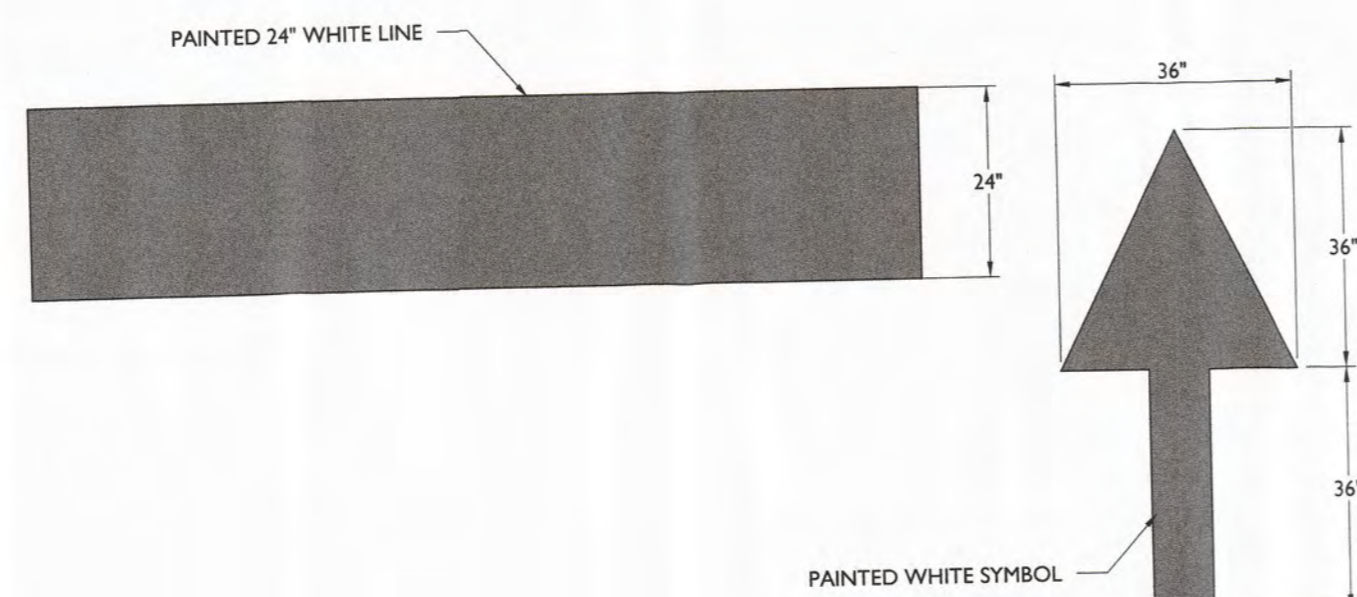
TRASH / RECYCLE ENCLOSURE DETAIL
NOT TO SCALE



SECTION VIEW OF WALL



CROSSWALK DETAIL
NOT TO SCALE



STOP BAR & ARROW DETAILS
NOT TO SCALE

NOTE:
BLOCK COLOR TO MATCH BUILDING OR AS SPECIFIED BY OWNER

NOTES:
1. SEE SITE PLAN FOR EXACT SIGN LOCATIONS.
2. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.

V:\PROJECTS\2016\2016-08-08-GOLDEN LINK BOULEVARD - MACEDONIA, OHIO\CDM\CDM-DWG-16-0001.DWG

NO.	DATE	ISSUE	BY	DESCRIPTION
2	04/22/2021	1	AF	FOR SITE PLAN APPROVAL
1	04/21/2021		AF	FOR CLIENT REVIEW

NOT APPROVED FOR CONSTRUCTION

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SITE DEVELOPMENT PLANS

Optima
DERMATOLOGY
PROPOSED MEDICAL OFFICE

PARCEL ID: 3313416
8183 GOLDEN LINK BOULEVARD
CITY OF MACEDONIA
SUMMIT COUNTY, OHIO

STATE OF OHIO
REGISTERED PROFESSIONAL ENGINEER
CHARLES D. OLINO
LICENSE # 94883

STONEFIELD
engineering & design

SCALE: 1" = XX' PROJECT ID: DET-210034
TITLE: CONSTRUCTION DETAILS
DRAWING: C-6

PLAT OF SURVEY
 IN TOWN 5 RANGE 11
 CONNECTICUT WESTERN RESERVE
 CITY OF MACEDONIA
 SUMMIT COUNTY STATE OF OHIO

LOT 7-AA
 CROSSINGS AT GOLDEN LINK
 REPLAT OF LOTS #7 & 8-B
 IN RECEPTION #56554163
 DATED JUNE 26, 2020
 OF SUMMIT COUNTY RECORDS

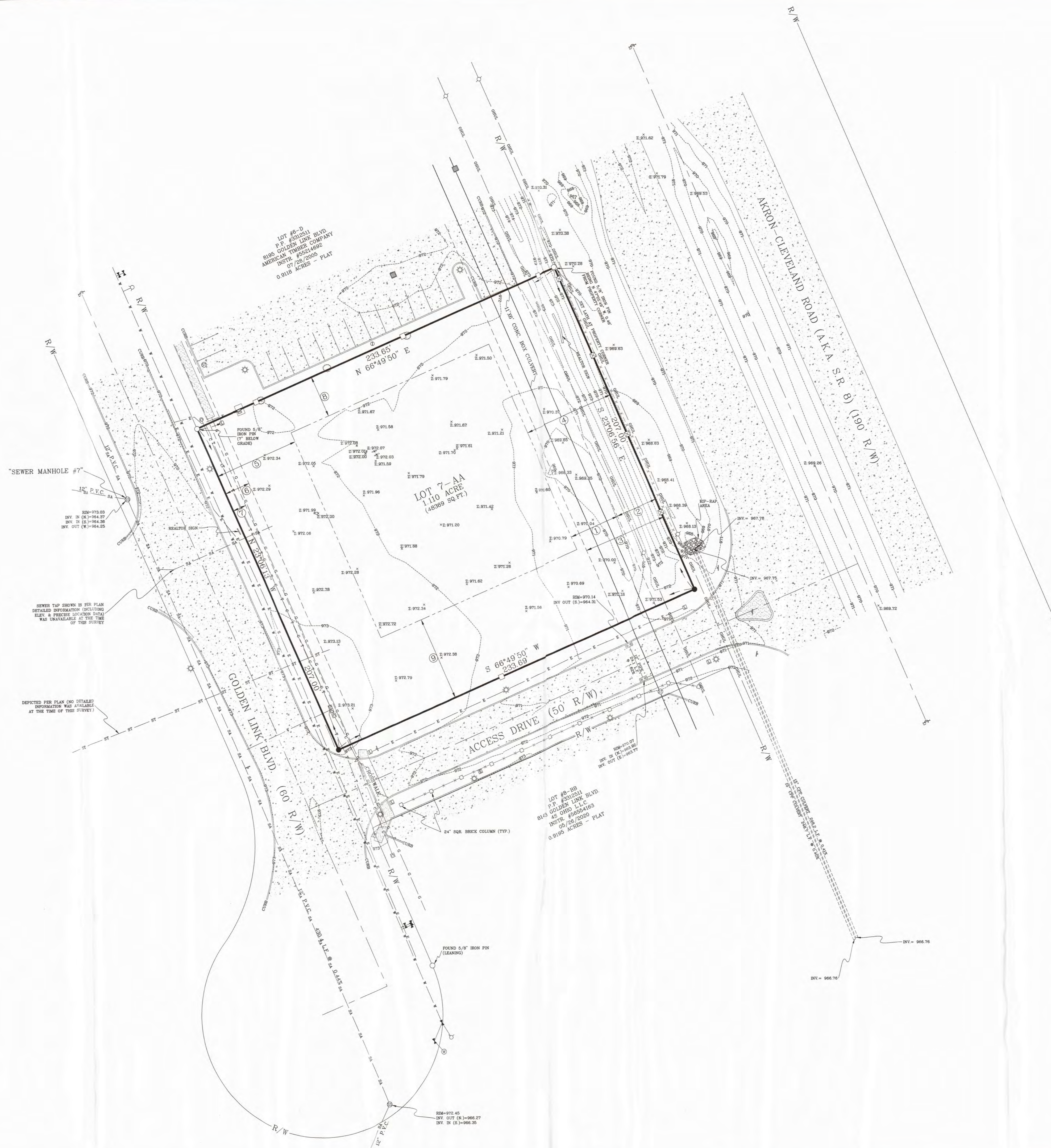
- NOTES:
 1. ALL MONUMENTS FOUND IN GOOD CONDITION UNLESS OTHERWISE NOTED.
 2. EVIDENCE OF OCCUPATION FITS THE SURVEY.
 3. SUBJECT TO ALL EASEMENTS AND RIGHT-OF-WAYS OF RECORD.

BEARINGS BASED ON
 RECORD PLAT OF
 CROSSINGS AT GOLDEN LINK
 REPLAT OF LOTS #7 & 8-B

BASIS FOR ELEVATIONS
 ELEVATIONS BASED ON THE SEWER
 MANHOLE RIM ELEVATION OF 973.03'
 FOR "SEWER MANHOLE #7" (END
 PHASE I)" AS DEPICTED ON PLAN &
 PROFILE DRAWING FOR THE
 CROSSINGS AT GOLDEN LINK,
 SANITARY SEWER IMPROVEMENT -
 PHASE I, AND OF RECORD IN
 MANHOLE DRAWING NUMBER 36-340,
 SUMMIT COUNTY SEWER DOCUMENTS.

EASEMENTS, SETBACKS AND BUFFERS

- ① EX 30' DRAINAGE EASEMENT
- ② EX 25' LANDSCAPED BUFFER ZONE
- ③ EX 50' OHIO EDISON CO. ESMT.
INSTR. #54635347 12/17/2001
- ④ 55' BLDG. SETBACK, EZA CASE NO. 615
- ⑤ EX 50' BUILDING SETBACK
- ⑥ EX 15' UTILITY EASEMENT
- ⑦ EX 8' LANDSCAPE BUFFER
- ⑧ EX 25' BUILDING SETBACK
- ⑨ EX 50' BUILDING SETBACK



FLOOD ZONE DETERMINATION
 THE PROPERTY SHOWN HEREON IS DEPICTED AS
 BEING IN ZONE X (AREA OF MINIMAL FLOOD
 HAZARD) OF THE FLOOD INSURANCE RATE MAP,
 COMMUNITY PANEL NO. 39153 0042E TITLED
 "CITY OF MACEDONIA" WHICH BEARS AN
 EFFECTIVE DATE OF JULY 20, 2009.

CITY OF MACEDONIA
 SUBJECT PROPERTY ZONED: "B-3"
 (GENERAL BUSINESS DISTRICT)
 REF. SECTION 1167.04,
 CITY OF MACEDONIA
 CODIFIED ZONING ORDINANCE

MINIMUM BUILDING SETBACKS, AS
 GRAPHICALLY DEPICTED HEREON, ARE
 CURRENT AS OF 04-15-2021.

LEGEND

○	FOUND IRON PIN
●	FOUND WOOD LATH ON PROPERTY LINE
⊗	SET CAPPED 5/8" IRON PIN "QCM"
□	SET WOOD LATH
⊙	SANITARY MANHOLE
— SA —	SANITARY SEWER LINE
⊙	STORM MANHOLE
⊕	DOUBLE-GRATED INLET
■	STORM CATCH BASIN SQR
— ST —	STORM SEWER LINE
⊙	UTILITY POLE
— ORUL —	OVERHEAD UTILITY LINE
⊕	ELECTRIC BOX
— E —	UNDERGROUND ELECTRIC LINE
⊕	TELEPHONE UTILITY BOX
⊕	TELEPHONE PEDESTAL
⊕	SAC BOX
— T —	UNDERGROUND TELEPHONE LINE
— G —	UNDERGROUND GAS LINE
⊕	CABLE PEDESTAL
⊕	CABLE TELEVISION UTILITY BOX
— C —	UNDERGROUND CABLE LINE
⊕	LIGHT POLE
⊕	LIGHTING BOX
⊕	WATER METER PIT
⊕	WATER VALVE
⊕	HYDRANT
⊕	IRRIGATION CONTROL VALVE
— W —	UNDERGROUND WATER LINE
— F —	DECORATIVE FENCING
— X —	LIMITED ACCESS R/W FENCING
— R/S —	ROAD SIGN
R/W	RIGHT-OF-WAY
—	CENTERLINE
⊕	8" DIAMETER TREE
⊕	CONCRETE SURFACE
⊕	ASPHALT SURFACE

I HEREBY CERTIFY THAT THIS PLAT IS BASED
 UPON A FIELD SURVEY MADE UNDER MY
 DIRECTION AND THAT THE MONUMENTS SHOWN
 ON THIS PLAT WERE EITHER SET OR FOUND AS
 DEPICTED.

JERRY ROSENFELD
 OHIO LICENSED
 SURVEYOR NO.
 7948

DATE

SCALE: 1" = 30'

QCM INC. (513) 779-8425
 7395 KINGSGATE WAY
 CINCINNATI, OH 45269

PROPERTY ADDRESS: 855 CLEVELAND BLVD., MACEDONIA, OHIO 44056
 PROJECT NO.: 15-21, PAGE: 1 OF 1
 DATE: 06-26-2020
 DRAWN BY: JRM
 APPROVED BY: JRM