

**CITY OF MACEDONIA
BOARD OF ZONING AND BUILDING CODE APPEALS
MEETING AGENDA
February 17, 2021**

Location:
VIRTUAL TEAMS MEETING; view link at www.macedonia.oh.us

Time: 6:30 p.m.

1. Call to Order
2. Roll Call: Mr. Pilato, Mr. Ferraro, Mr. Shellko, Ms. Metzler, Mr. Ioffreda
3. Approval of Minutes
 - a. Case 635-639

4. **OLD BUSINESS:**

Case #638- *Applicant 1: start of meeting to 7:30 p.m.*

Edward Parker
Meld Architects
784 Som Center Road. Ste #101
Mayfield Village, Ohio 44143

The Board of Zoning and Building Code Appeals will hear a request for a variance at Golden Link Blvd and State Route 8. The variance is to section (G)(1) in the Criteria for the Development of the Outlots: freestanding signs are to be ground signs with a maximum area of 45 square feet on any one face. The applicant is requesting an area variance of 25 square feet.

Case #639- *Applicant 1: start of meeting to 7:30 p.m.*

Edward Parker
Meld Architects
784 Som Center Road. Ste #101
Mayfield Village, Ohio 44143

The Board of Zoning and Building Code Appeals will hear a request for a variance at Golden Link Blvd and State Route 8. The variance is to section 1179.07(c): freestanding signs shall be set back at least five feet from the right-of-way and from the pavement of an entrance/exit drive. The applicant is requesting a variance to allow a monument sign to be located in the right-of-way.

5. **NEW BUSINESS:**

Case #640- *Applicant 2: 7:30 p.m. – end of meeting*

Drew Gatliff
Olio Development Group
1062 Ridge Street
Columbus, OH 43215

The Board of Zoning and Building Code Appeals will hear a request for a variance at 597 E. Aurora Road for Raising Canes Chicken Fingers. The variance is to section 1171.11(b)(6): "parking access aisle" shall be that portion of the parking lot providing direct access for vehicles to the adjacent off-street parking spaces. The applicant is requesting a four-foot variance to reduce the required access drive aisle width from 19 feet to 15 feet.

Case #641- Applicant 2: 7:30 p.m. – end of meeting

Drew Gatliff
Olio Development Group
1062 Ridge Street
Columbus, OH 43215

The Board of Zoning and Building Code Appeals will hear a request for a variance at 597 E. Aurora Road for Raising Canes Chicken Fingers. The variance is to section 1171.11(c): schedule of required off-street parking. The applicant is requesting a variance to reduce the parking from 87 required spaces to 36 spaces.

Miscellaneous

If you approve of the above-mentioned use of said property, or, if such use is thought by you to be injurious to your premises or contrary to the public interest, please file a statement by letter or email stating your viewpoint to the Building Department no later than **two** business days before the meeting. You may also contact the Building Department at 330-468-8364. All public comments received to the City will be discussed during the virtual meeting.

If you know of any affected property owners who may be interested, but who may not have read this notice, please inform them of this meeting.

If you are not interested in this matter, please disregard this notice.

-Macedonia Board of Zoning and Building Code Appeals



City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

MEMO

To: Rachael Gambatese, Bob Rodic
From: Chris Hall
Subject: BZA: Crossings at Golden Link – Route 8 Monument Sign
Applicant: Edward Parker, Meld Architects
Date: December 23, 2020

Monument Sign Height Variance

- I. Criteria for the Development of the Outlots
G. Signage
(1) Freestanding signs (other than building wall signs) are to be ground signs with a maximum height of ten (10) feet.

Variance Requested: Applicant is requesting a variance to the *Criteria for the Development of the Outlots*, Section (G)(1), increasing the allowable sign height from 10 feet to 18 feet, a variance of 8 feet.

Monument Sign Area Variance

- II. Criteria for the Development of the Outlots
G. Signage
(1) Freestanding signs (other than building wall signs) are to be ground signs with a maximum area of forty-five (45) square feet on any one face.

Variance Requested: Applicant is requesting a variance to the *Criteria for the Development of the Outlots*, Section (G)(1), increasing the allowable sign area from 45 square feet to 70 square feet, a variance of 25 square feet.

Monument Sign Right-of-Way Variance

- III. 1179.07 Supplemental Regulations.
(c) Freestanding signs shall be set back at least five (5) feet from the right-of-way and from the pavement of an entrance/exit drive.

Variance Requested: Applicant is requesting a variance to 1179.07(c) allowing the monument sign to be located in the right-of-way.

**CITY OF MACEDONIA
REQUEST TO APPEAR BEFORE THE
ZONING BOARD OF APPEALS**

SEE INSTRUCTION PAGE FOR MORE INFORMATION. APPELLANT IS TO PROVIDE NINE (9) COPIES OF SITE PLANS, PICTURES, ETC AND A WRITTEN STATEMENT. RESIDENTIAL- \$100.00; COMMERCIAL- \$200.00.

Address of property involved: Golden Link Blvd. Access Drive

Nature of Request: Variance for height, square footage, and location of sign

Applicant or Agent Therefore: City of Macedonia

Address: 9691 Valley View Road

Phone: 330-468-8300 **Email:** gigliotti@cvelimited.com

Property Owner (if different from applicant): same

Address: _____

Phone: _____ **Email:** _____

SIGNATURE OF APPELLANT. (AUTHORIZATION OF PROPERTY OWNER REQUIRED IF DIFFERENT FROM APPLICANT).

Joseph L. Gigliotti

12-23-2020

By my signature, I attest to the accuracy of all statements on this form. _____ **Date**

OFFICIAL USE ONLY

Received Date: _____ **Case Number:** _____

Variance being requested: _____

THE ZONING BOARD OF APPEALS MEETS AT 6:30PM ON THE THIRD WEDNESDAY OF EACH MONTH IN THE COUNCIL CHAMBERS AT MACEDONIA CITY HALL LOCATED AT 9691 VALLEY VIEW ROAD. MEETING DATES ARE SUBJECT TO CHANGE. CONTACT THE BUILDING DEPARTMENT AT 330-468-8364.

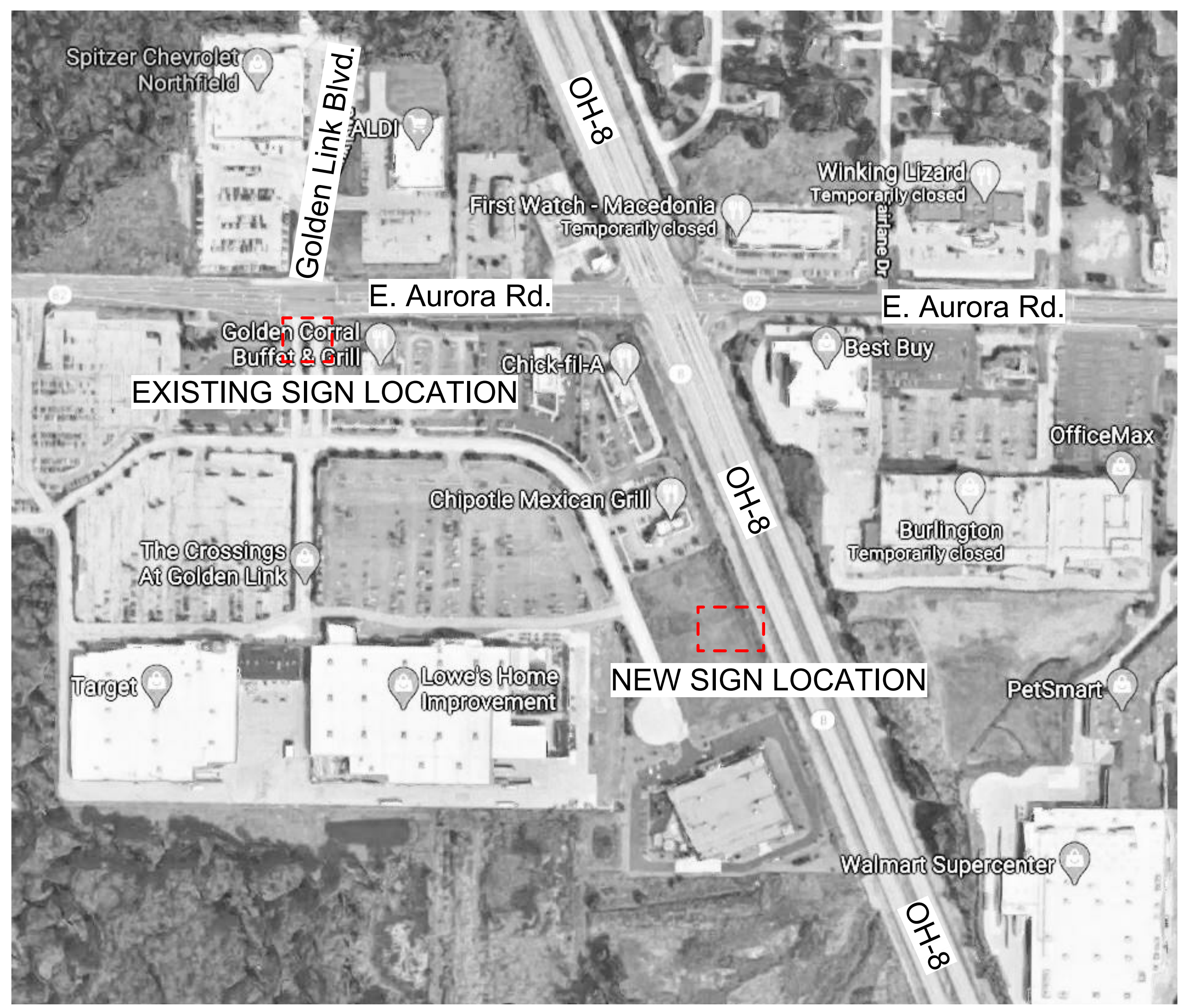
The Crossings at Golden Link Signage

Golden Link Blvd. and State Route 8
Northfield, OH 44067

PREVIOUS SET ISSUE:	DATE:
PLANNING / ARB BZA MEETING	12.21.2020 01.20.2021
CURRENT ISSUE:	
PERMIT / CONSTRUCTION SET	ISSUE DATE: 01.29.2021

revisions		
no.	description	date

LOCATION MAP



DRAWING LIST

SHEET NUMBER	SHEET NAME
A003	EXISTING CONTEXT
A004	PERSPECTIVES
A001	COVERSHEET
A002	SITE PLAN / SPECIFICATIONS
A101	SIGNAGE PLANS
S101	FOUNDATION PLAN AND SECTION
E001	ELECTRICAL PLANS
E002	LED MODULE LAYOUT
E003	ELECTRICAL SPECIFICATIONS
E004	ELECTRICAL SPECIFICATIONS

PROJECT DIRECTORY

- CLIENT:**
CITY OF MACEDONIA
9691 VALLEY VIEW ROAD
MACEDONIA, OH 44056
- ARCHITECT:**
MELD ARCHITECTS, INC.
784 SOM CENTER ROAD #101
MAYFIELD VILLAGE, OH 44143
REPRESENTATIVE: EDWARD T. PARKER
PHONE: (216) 373-2902
- STRUCTURAL ENGINEER:**
THOMAS KOVACH ASSOCIATES, INC.
10098 CHEVY CHASE DRIVE
STRONGSVILLE, OHIO 44136
REPRESENTATIVE: THOMAS KOVACH
PHONE: (440) 238-7501
- MEP ENGINEER:**
WHS ENGINEERING INC.
2012 WEST 25TH STREET
SUITE 512
CLEVELAND, OHIO 44113
REPRESENTATIVE: WILLIAM H. SHEPARDSON
PHONE: (216) 227-8505

PROJECT DESCRIPTION

THE PROJECT CONSIST OF A NEW GATEWAY SIGN LOCATED ALONG STATE ROUTE 8 IN THE CROSSINGS AT GOLDEN LINK IN NORTHFIELD, OHIO. THE PROJECT WILL INCLUDE NEW POWER CONNECTIONS AND STRUCTURAL FOUNDATIONS AND STEEL REINFORCING AND LED LIGHT BOXES THE WILL ILLUMINATE THE SIGN DECALS AND LETTERING.

ELECTRICAL CONNECTION NOTE: GENERAL CONTRACTOR IS TO COORDINATE WITH MAYFIELD VILLAGE AND ELECTRIC COMPANY FOR THE NEW CONNECTION TO BE PROVIDED AT EACH NEW SIGN LOCATION. THE CONTRACTOR IS TO COORDINATE DIRECT PAYMENT FROM MAYFIELD VILLAGE TO THE UTILITY COMPANY FOR ALL PERMITS, FEES, AND WORK ASSOCIATED WITH THE NEW ELECTRICAL CONNECTION PROVIDED BY THE ELECTRIC COMPANY AS DESCRIBED IN ALLOWANCE #2 - NEW ELECTRICAL CONNECTIONS AND METER.

ELECTRICAL CONTRACTOR SCOPE OF WORK BID BREAKDOWN:

BASE BID: IS TO INCLUDE ELECTRICAL WORK FROM THE NEW METER (PROVIDED BY ALLOWANCE #2) TO THE SIGNS

ALLOWANCE #2: IS TO INCLUDE ALL WORK FROM THE OVERHEAD POWERLINES TO THE NEW METER AS DESCRIBED ON E001 AND THE SPECIFICATIONS.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES, FIRE SAFETY CODES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THE OHIO BUILDING CODE (OBC), THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), AND WITH AMERICAN NATIONAL STANDARD INSTITUTE (ANSI) ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES. ANY CONFLICTS BETWEEN THE WORK INDICATED WITHIN THESE DOCUMENTS AND SAID CODES OR REGULATIONS NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- PROVIDE MEANS NECESSARY TO PROTECT THE STRUCTURE IN ALL RESPECTS FROM THE WEATHER, BUILDING HAZARDS, UNNECESSARY INTRUSIONS, AND FROM DUST, DIRT OR DEBRIS.
- MAKE ARRANGEMENTS IN ADVANCE WITH THE OWNER AND ADJACENT STRUCTURES FOR ANY INTERRUPTIONS OF UTILITY SERVICE.
- EACH CONTRACTOR AND VENDOR SHALL INSPECT THE SITE & BECOME FAMILIAR WITH ALL CONDITIONS AND CLEARANCES PRIOR TO SUBMITTING A PROPOSAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND INSPECTIONS AS REQUIRED.
- ALL WORK SHALL BE COMPLETED IN A FIRST CLASS MANNER TO BETTER THAN ACCEPTED INDUSTRY STANDARDS.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS ON THE DRAWINGS CONFLICT WITH THE NOTES OR SPECIFICATIONS OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL APPLY. ANY SUCH CONFLICT SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR SITUATIONS THROUGHOUT THE STRUCTURE UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL RELEVANT DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH THE AFFECTED WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
- THROUGHOUT THE CONSTRUCTION, EACH CONTRACTOR SHALL MAINTAIN THE BUILDING AND ACCESS TO THE BUILDING TO A PROFESSIONAL LEVEL OF CLEANLINESS.
- THE TERM "FURNISH" SHALL MEAN TO OBTAIN AND SUPPLY TO THE JOB SITE. THE TERM "INSTALL" MEANS TO FIX IN POSITION AND CONNECT FOR USE. THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL. ALL ITEMS ARE TO BE PROVIDED UNLESS NOTED OTHERWISE.
- ALL ARRANGEMENTS FOR CONSTRUCTION PERSONNEL ENTERING THE BUILDING DURING WORK HOURS, DELIVERY OF MATERIALS, REMOVAL OF DEBRIS, PARKING, ETC. SHOULD BE MADE WITH THE GENERAL CONTRACTOR.
- EACH CONTRACTOR AND VENDOR SHALL SUBMIT FABRICATION SHOP DRAWINGS FOR ALL OFF-SITE FABRICATED ITEMS.
- INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- REMOVE ALL DEBRIS AND LEAVE CONSTRUCTION AREAS BROOM CLEAN AT THE END OF EACH DAY.
- ALL CONTRACTORS AND SUBCONTRACTORS FOR THE WORK OF THIS CONTRACT SHALL BE PROPERLY LICENSED AND REGISTERED IN ACCORDANCE WITH THE REGULATIONS OF STATE, CITY AND LOCAL CODES.
- ALL DRAWINGS AND SPECIFICATIONS PREPARED AS PART OF THIS COMMISSION ARE THE PROPERTY OF MELD ARCHITECTS, INC. AND WILL NOT BE TRANSFERRED OR USED ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT.
- THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE GENERAL CONTRACTOR. ALL AREAS OF THE PROJECT SHALL BE FINISHED AND READY FOR OCCUPANCY AND INCLUDE SUCH ITEMS AS HARDWARE, ACCESSORIES, PAINTING, AND ETC. WHETHER SPECIFIED OR NOT.
- AT ALL TIMES WHEN WORK IS IN PROGRESS, A REPRESENTATIVE OF THE CONTRACTOR OR SUB-CONTRACTOR SHALL BE ON THE SITE AND AUTHORIZED TO ANSWER QUESTIONS OR RECEIVE INSTRUCTIONS FROM THE OWNER OR ARCHITECT.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL PROVIDE A COPY OF PROOF OF INSURANCE TO THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK.
- THE CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY AS A CONDITION FOR FINAL PAYMENT.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR OR LONGER AS INDICATED IN DRAWINGS AND SPECIFICATIONS FOLLOWING COMPLETION OF ALL WORK AND THAT ALL DEFECTS ARISING WITHIN THIS PERIOD OF TIME SHALL BE OR REPLACED WITHIN 30 DAYS OF NOTIFICATION OF SUCH DEFECTS BY OWNER, CORRECTED, REPAIRED.

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Golden Link Blvd. Signage
City of Macedonia
Golden Link Blvd and State Route 8
Northfield, OH 44067
Meld project number: 20007

Sheet Name:
COVERSHEET

Sheet Number:
A001

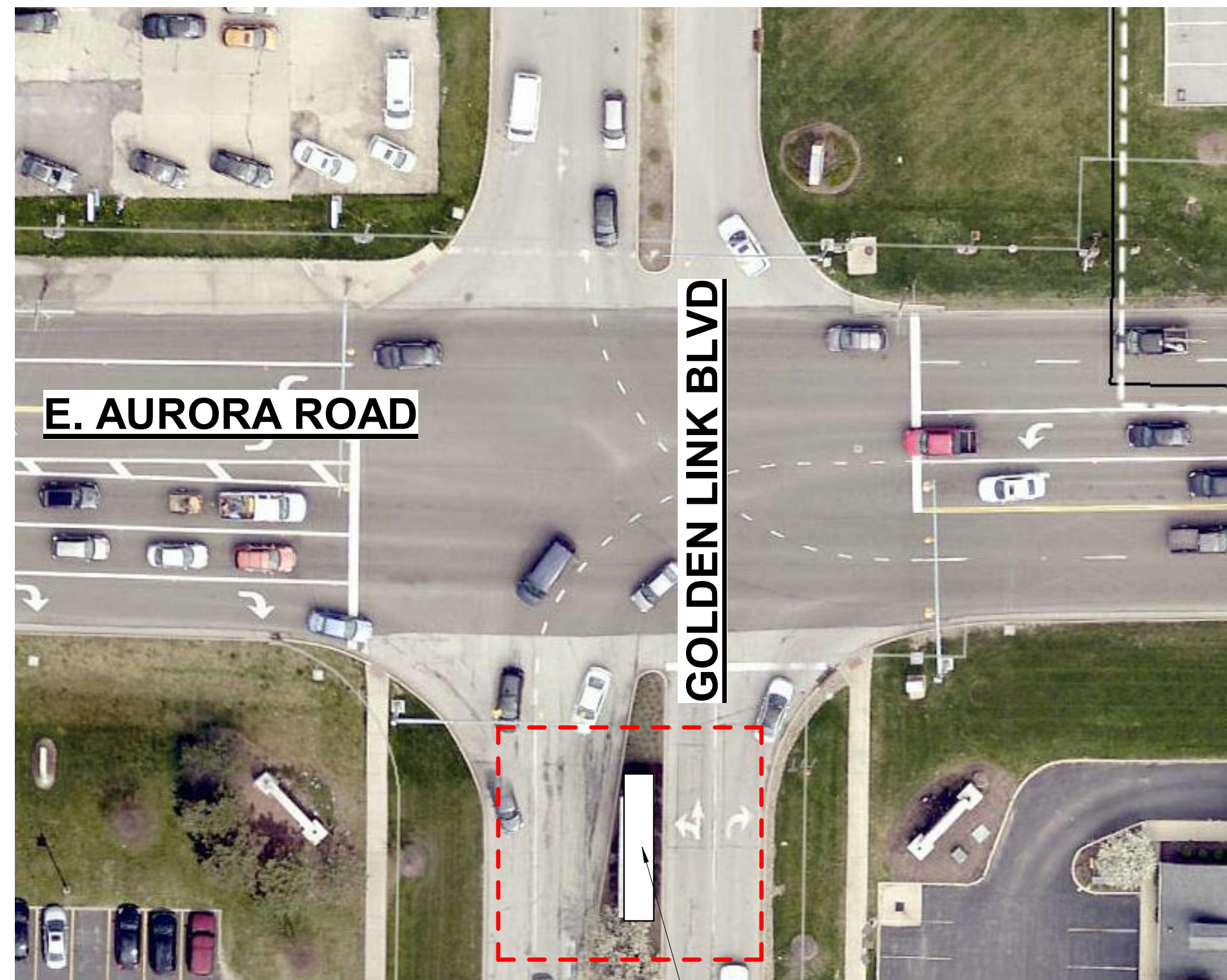
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784 SOM Center Rd # 101
Mayfield Village, OH 44143
216.373.2902
www.meldarchitects.com



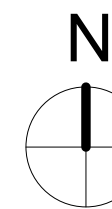
EXISTING PHOTOGRAPH AT INTERSECTION OF E. AURORA RD. AND GOLDEN LINK BLVD.

EXISTING LOCATION OF GATEWAY SIGNAGE



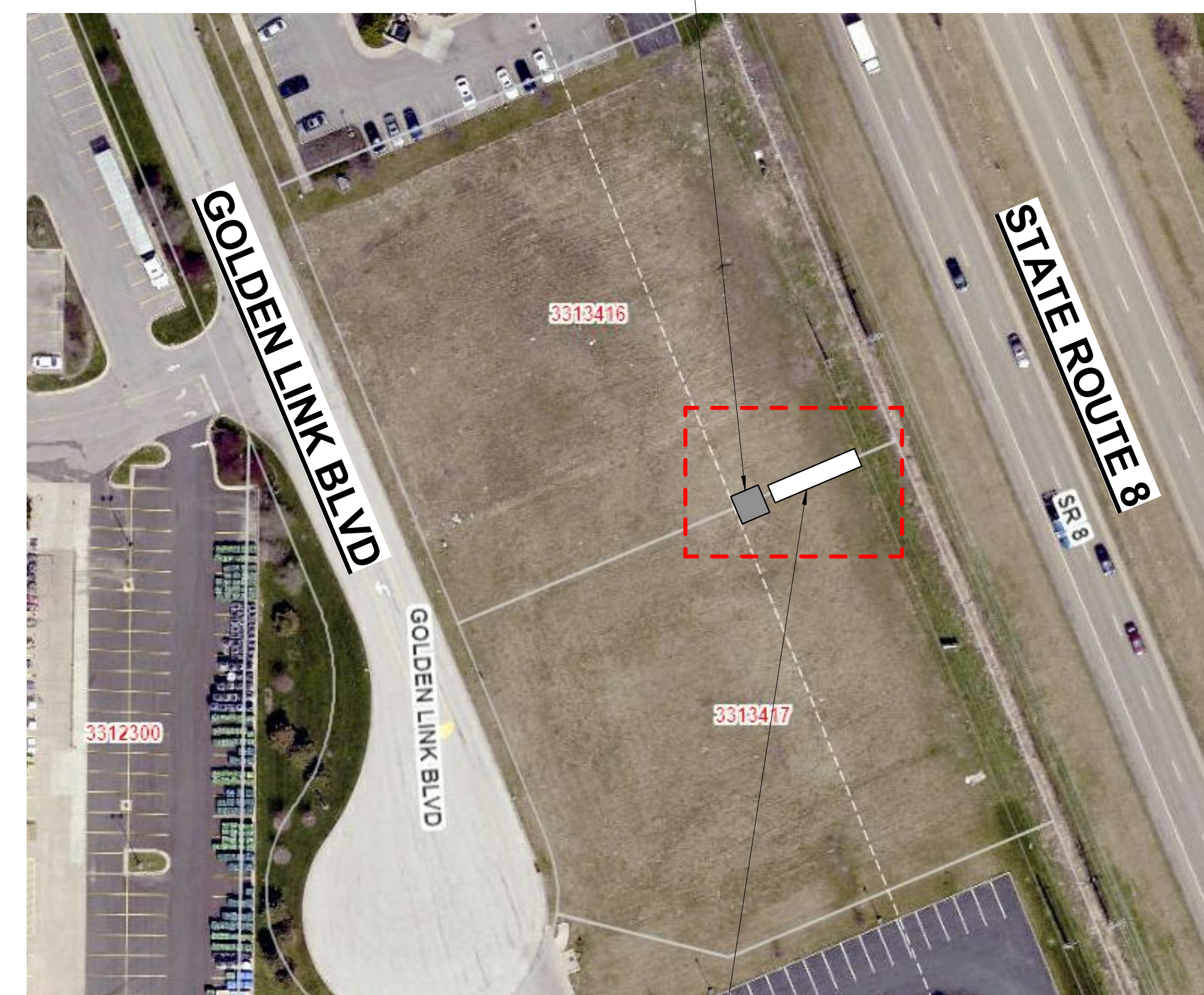
EXISTING AERIAL VIEW E. AURORA RD. AND GOLDEN LINK BLVD.

EXISTING LOCATION OF GATEWAY SIGNAGE



EXISTING PHOTOGRAPH AT STATE ROUTE 8

PROPOSED LOCATION OF NEW GATEWAY SIGNAGE



EXISTING AERIAL VIEW STATE ROUTE 8

LOCATION OF NEW MONUMENTAL SIGN



PREVIOUS SET ISSUE:	DATE:
PLANNING / ARB	12.21.2020
BZA MEETING	01.20.2021

CURRENT ISSUE:
PERMIT / CONSTRUCTION SET
ISSUE DATE:
01.29.2021

revisions		
no.	description	date

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Golden Link Blvd. Signage

City of Macedonia
Golden Link Blvd and State Route 8
Northfield, OH 44067

Meld project number: 20007



SOUTHEAST AERIAL VIEW
OH-8

EXISTING LOCATION OF
GATEWAY SIGNAGE

OPTION 2 - LOCATION OF
NEW MONUMENTAL SIGN

OPTION 1 - LOCATION OF
NEW MONUMENTAL SIGN



NORTH AERIAL VIEW
INTERSECTION OF OH-8 AND E AURORA RD

OPTION 1 - LOCATION OF
NEW MONUMENTAL SIGN

OPTION 2 - LOCATION OF
NEW MONUMENTAL SIGN

EXISTING LOCATION OF
GATEWAY SIGNAGE

PREVIOUS SET ISSUE:	DATE:
PLANNING / ARB	12.21.2020
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revisions		
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Golden Link Blvd. Signage

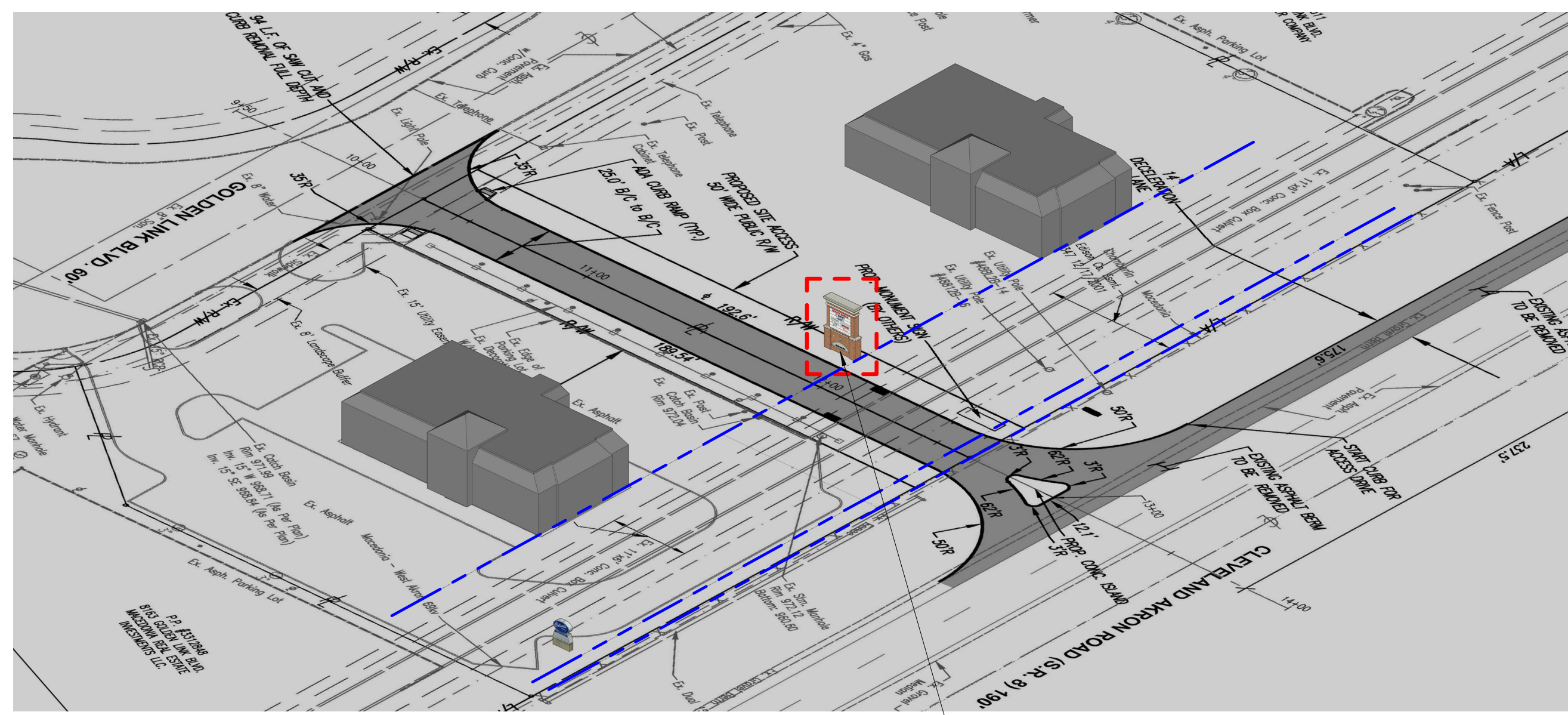
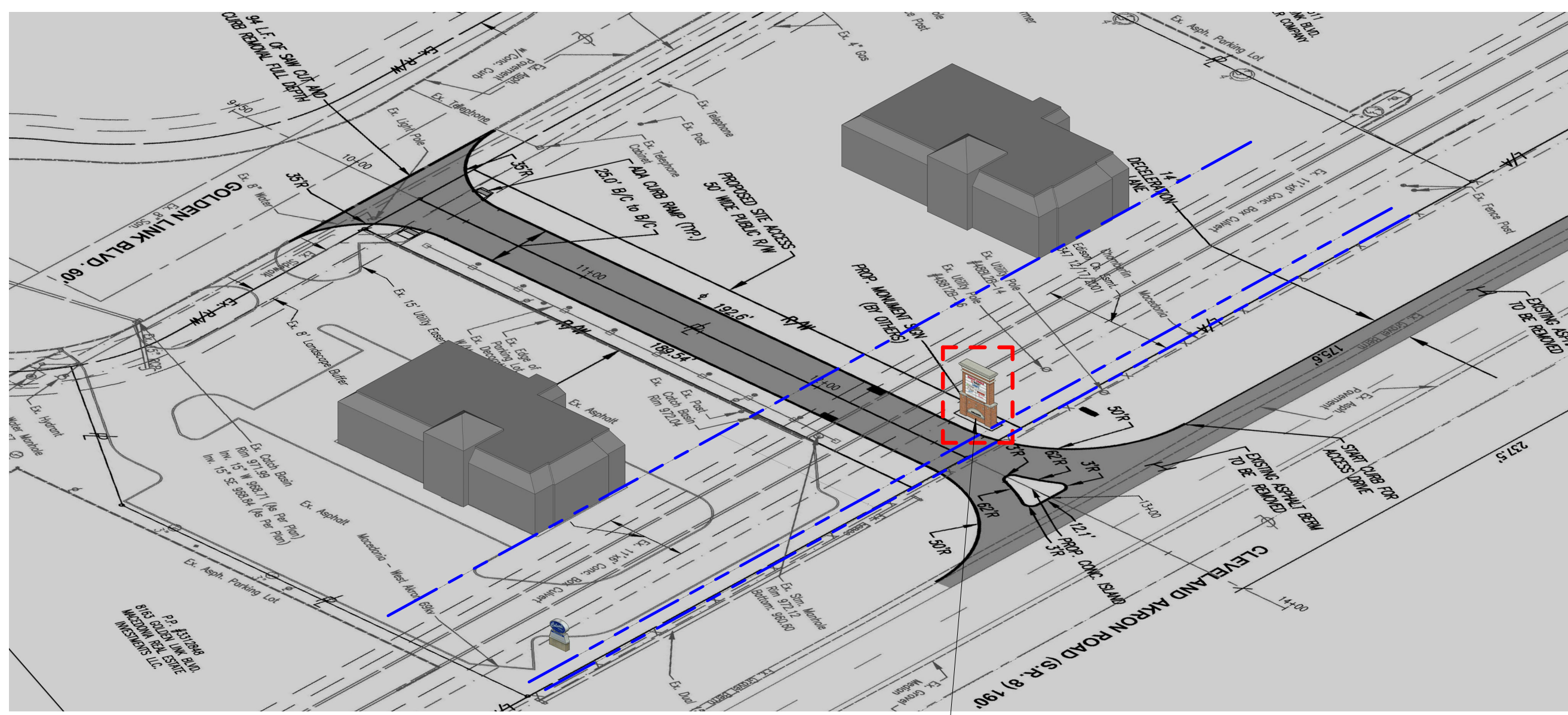
City of Macedonia
Golden Link Blvd and State Route 8
Northfield, OH 44067
Meld project number: 20007

Sheet Name:
EXISTING CONTEXT

Sheet Number:
A003

PREVIOUS SET ISSUE:	DATE:
PLANNING / ARB	12.21.2020
BZA MEETING	01.20.2021
CURRENT ISSUE:	
PERMIT / CONSTRUCTION SET	
ISSUE DATE:	
01.29.2021	

revisions		
no.	description	date

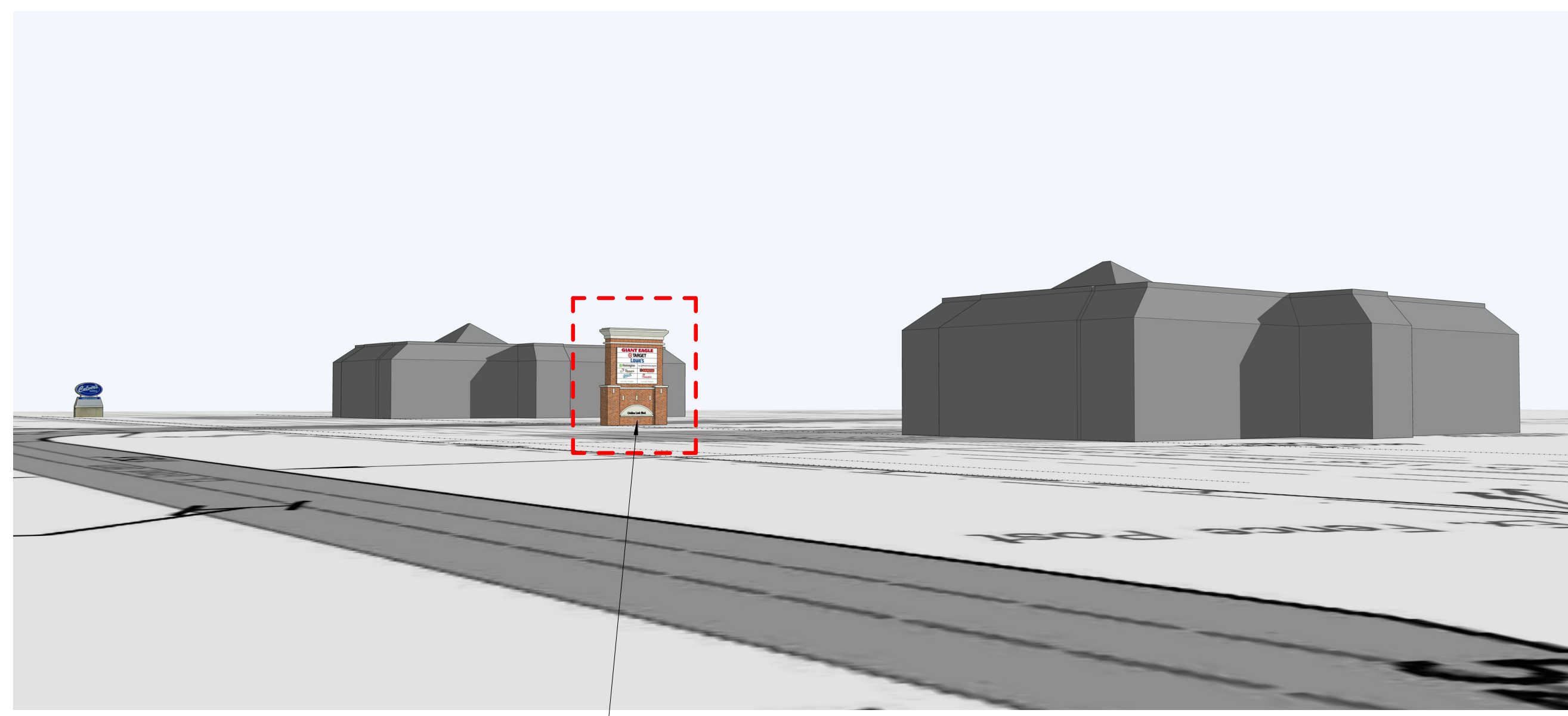
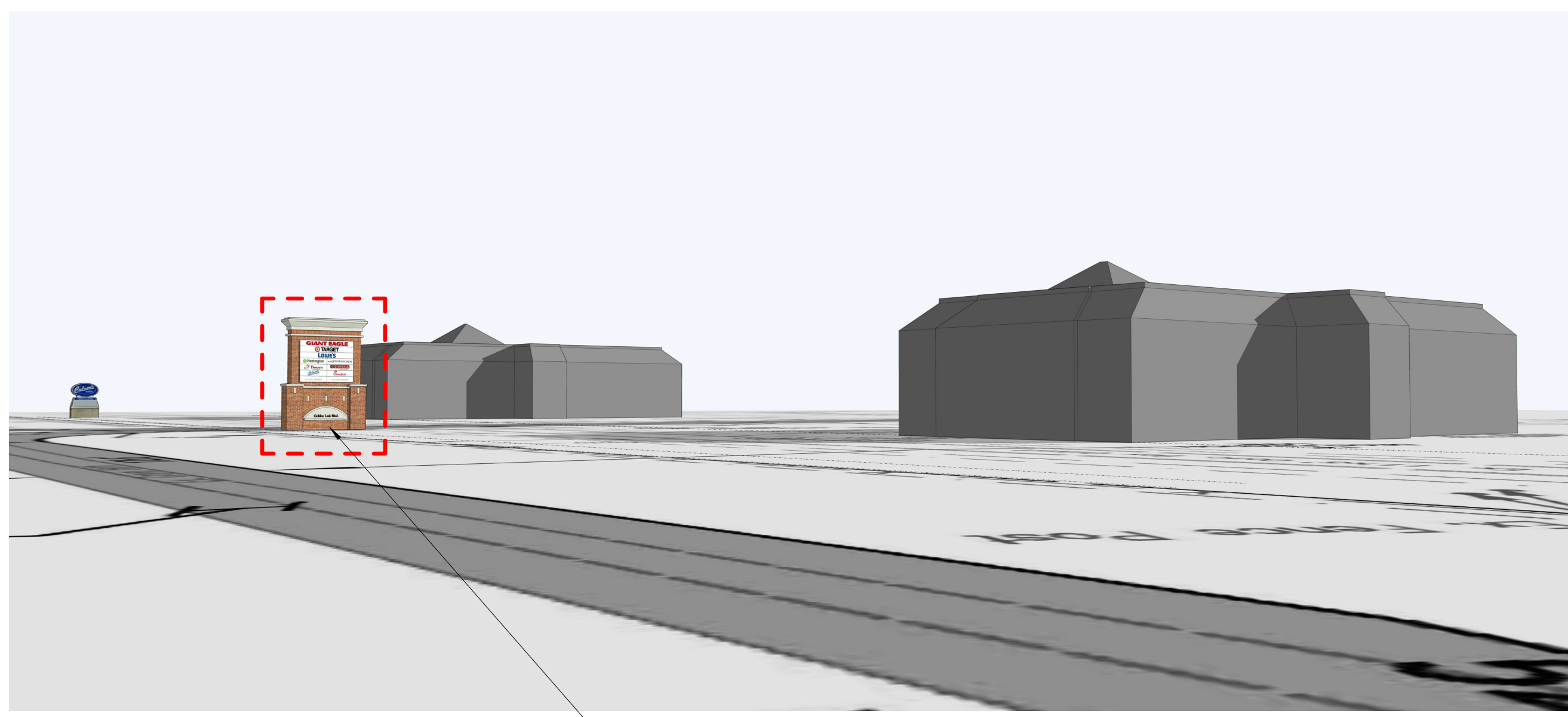


OPTION 1
SOUTHEAST AERIAL PLAN VIEW
OH-8

OPTION 1 - LOCATION OF
NEW MONUMENTAL SIGN

OPTION 2
SOUTHEAST AERIAL PLAN VIEW
OH-8

OPTION 2 - LOCATION OF
NEW MONUMENTAL SIGN

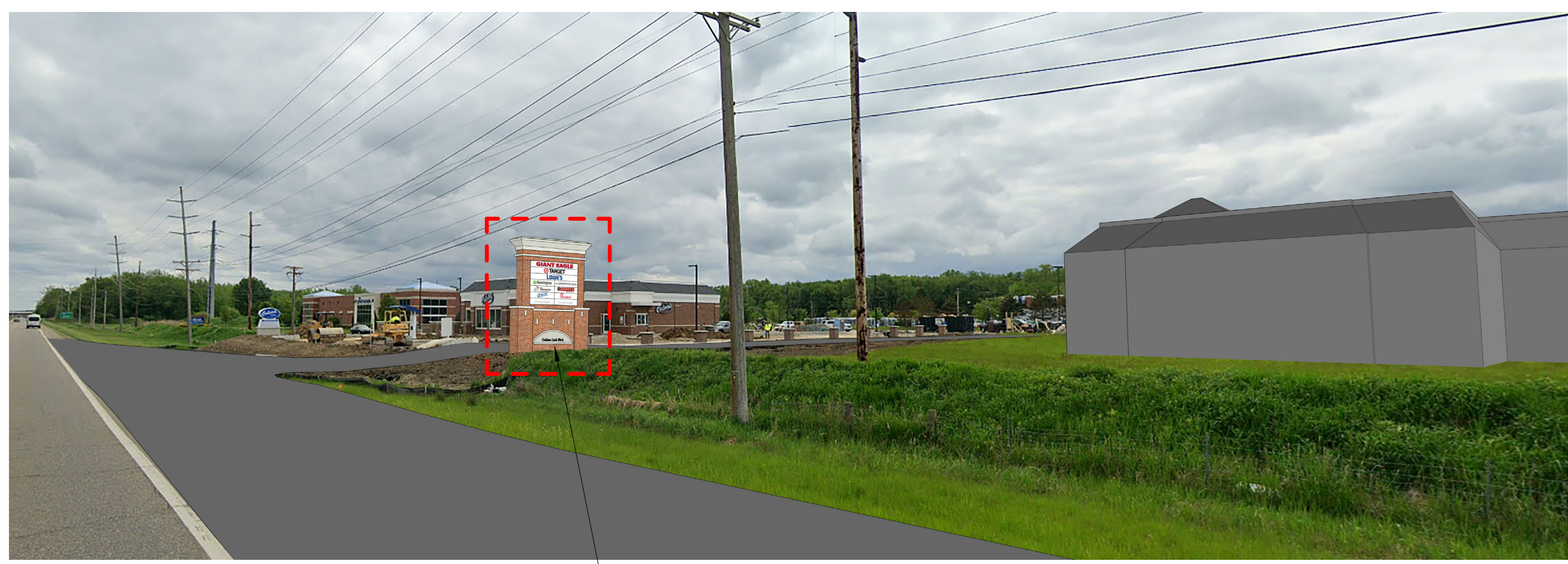


OPTION 1
NORTH PERSPECTIVE MODEL VIEW
OH-8

OPTION 1 - LOCATION OF
NEW MONUMENTAL SIGN

OPTION 2
NORTH PERSPECTIVE MODEL VIEW
OH-8

OPTION 2 - LOCATION OF
NEW MONUMENTAL SIGN



OPTION 1
NORTH PERSPECTIVE STREET VIEW
OH-8

OPTION 1 - LOCATION OF
NEW MONUMENTAL SIGN

OPTION 2
NORTH PERSPECTIVE STREET VIEW
OH-8

OPTION 2 - LOCATION OF
NEW MONUMENTAL SIGN

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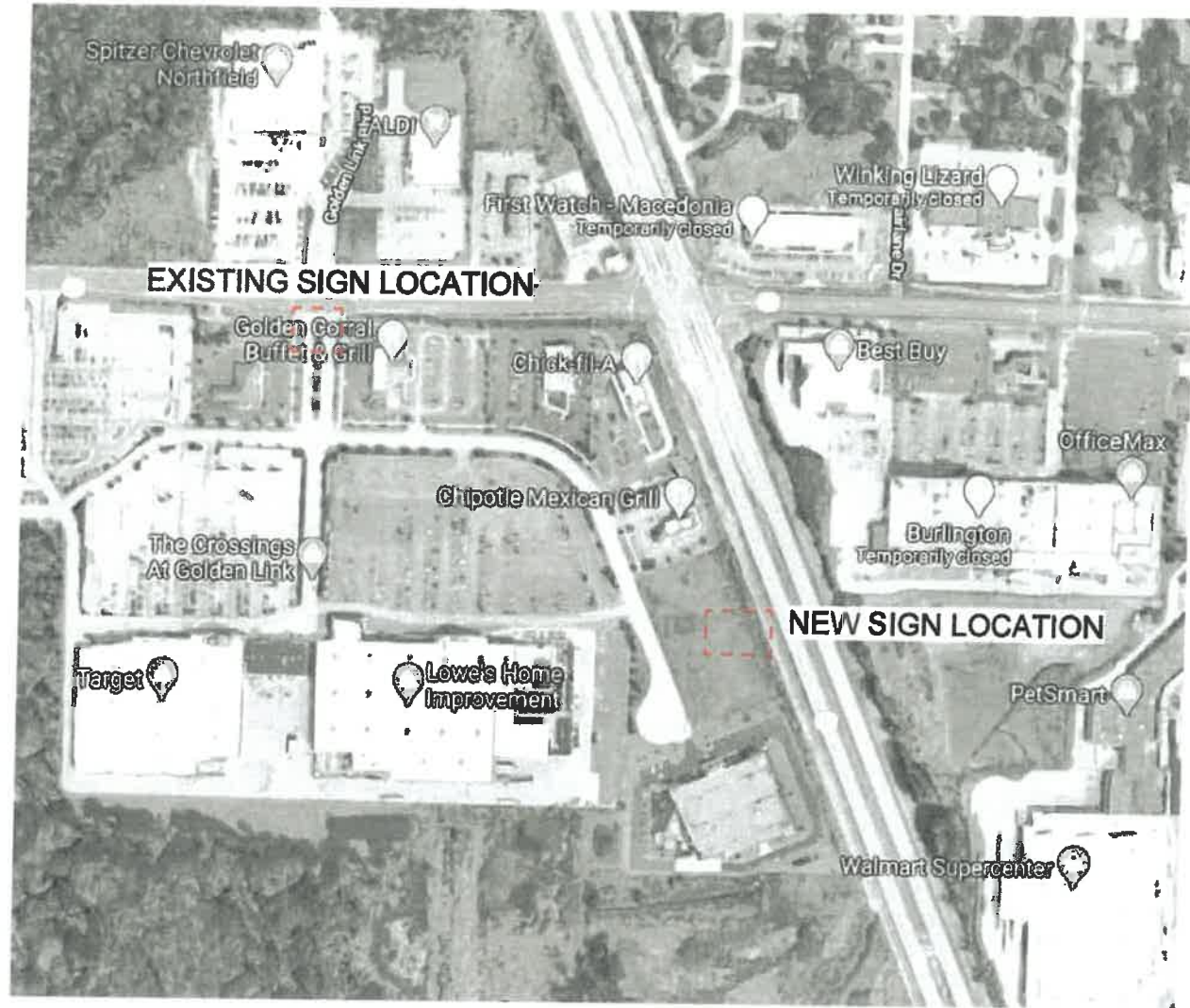


Golden Link Blvd. Signage

City of Macedonia
Golden Link Blvd and State Route 8
Northfield, OH 44067
Meld project number: 20007

Sheet Name:
PERSPECTIVES

Sheet Number:
A004



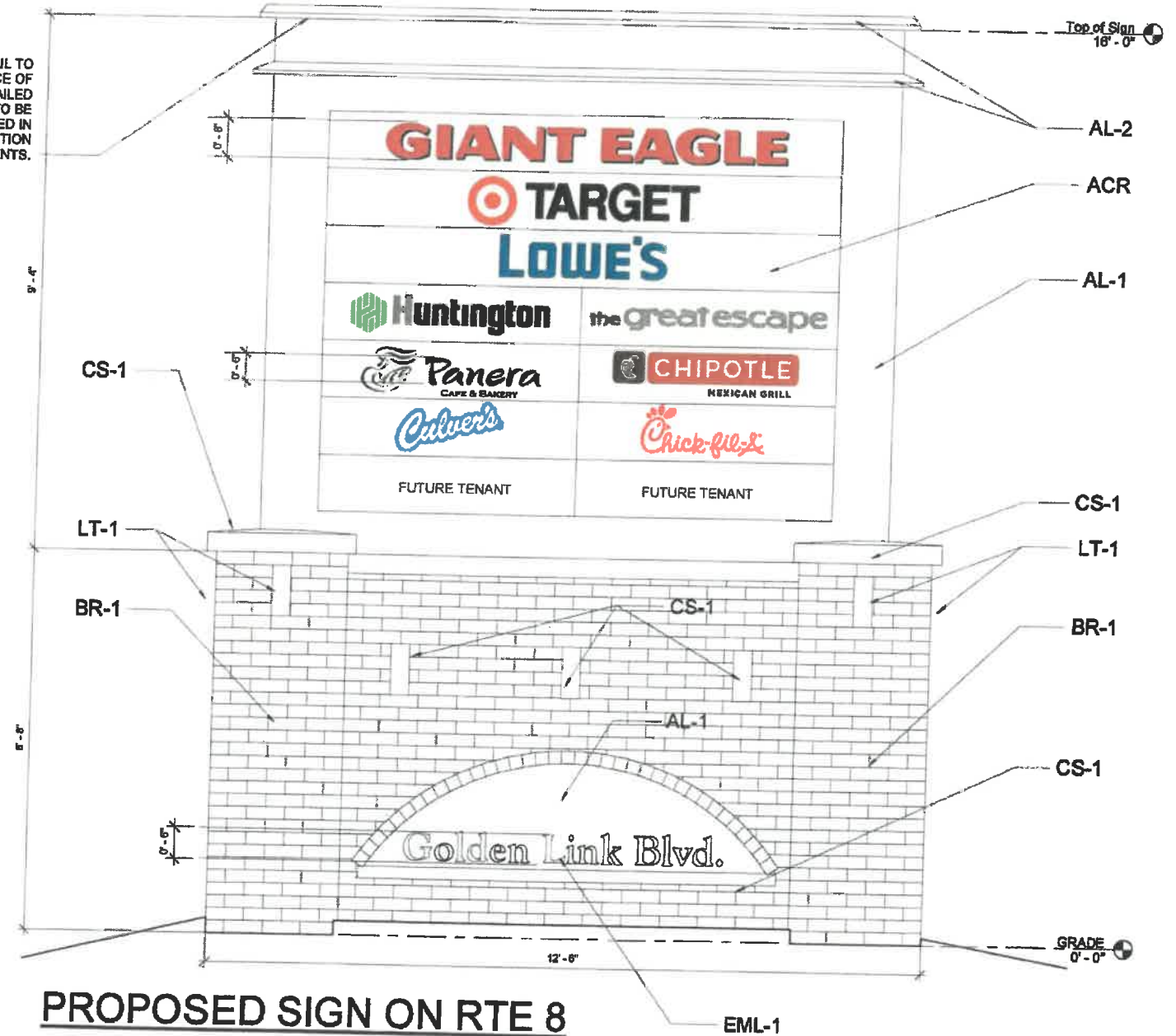
N
AERIAL SITE PLAN



EXISTING SIGN ON RTE 82

NOTE: ALL LOGOS ARE TO BE OBTAINED BY THE SIGNAGE CONTRACTOR AND COORDINATE WITH SHOP DRAWINGS FOR THE CITY AND ARCHITECTS FINAL APPROVAL.

FINAL CORNICE DETAIL TO MATCH CORNICE OF EXISTING SIGN. DETAILED DRAWINGS TO BE PROVIDED IN CONSTRUCTION DOCUMENTS.



PROPOSED SIGN ON RTE 8

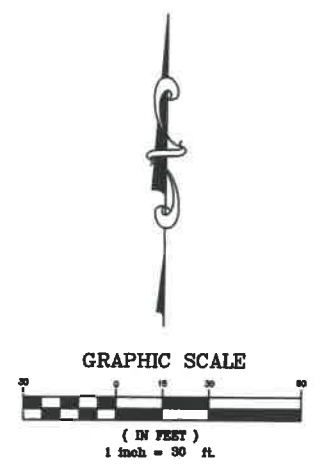
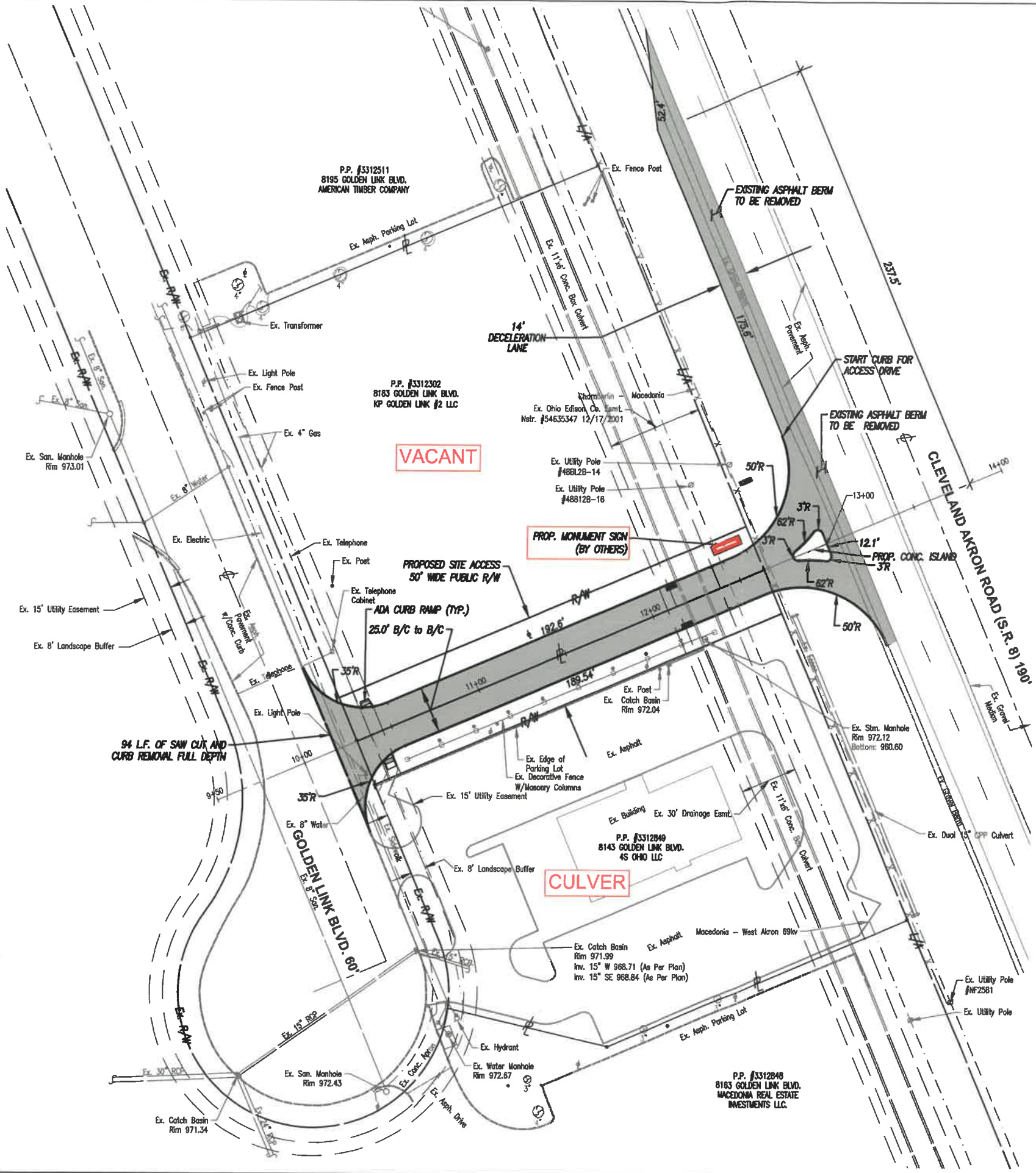
EXTERIOR FINISH SCHEDULE		THESE LOCATIONS ARE TYPICAL OF ENTIRE PROJECT		
SYMBOL	MATERIAL	MANUFACTURER	STYLE	COLOR
BR-1	BRICK MASONRY	-	-	RED BRICK TO MATCH EXISTING
CS-1	CAST STONE	-	-	CAST STONE TO MATCH EXISTING
AL-1	.080 ALUMINUM CABINET SIGNAGE	-	-	FIELD - COLOR TO BE SELECTED BY ARCHITECT
AL-2	.080 ALUMINUM CABINET SIGNAGE	-	-	ACCENT - COLOR TO BE SELECTED BY ARCHITECT
ACR	ACRYLIC PANEL	-	-	TRANSLUCENT WHITE WITH LOGO PROVIDED BY BUSINESS
EML	BACK-LIT EXTRUDED METAL LETTERING	-	-	"DARK BRONZE" - COLOR TO BE SELECTED BY ARCHITECT
LT-1	RECTANGULAR WALL SCONCE	-	-	TRANSLUCENT ACRYLIC

NOTE: ALL PRODUCTS AND MATERIALS SHOWN ABOVE ARE TO BE CONSIDERED BASIS OF DESIGN. ALL SUBSTITUTIONS NEED TO BE SUBMITTED DURING THE BIDDING PROCESS FOR APPROVAL.

Golden Link Blvd. Signage
City of Macedonia

Planning Submission 11.09.2020





█ = PROPOSED ACCESS DRIVE

INDEX OF SYMBOLS

⊕ Utility Pole	○ Water Service Valve
⊕ Light Pole	⊕ Water Valve Box
— Guy Wire	○ Sewer Manhole
— Sign	⊕ Inlet Basin
⊕ Metal Post	— Headwall
⊕ Chain Link Fence	⊕ Electrical Box
⊕ Water Meter	⊕ Gas Valve
⊕ Fire Hydrant	Stm. — Ex. Storm Service
⊕ Gas Manhole	San. — Ex. Sanitary Service
⊕ Telephone Box	⊕ Telephone Manhole
— Tree or Bush Row	█ PROP. HEADWALL

- NOTE:**
- 1.) ALL DIMENSIONS ARE TO FACE OF CURB
 - 2.) CONCRETE ISLAND SHALL HAVE ODOT TYPE 3 MOUNTABLE CURB
 - 3.) ODOT SCD BP-5.1 SHALL BE A PART OF THESE DRAWINGS.

CVE CHAGRIN VALLEY ENGINEERING, LTD.
 Creative Engineers. Intelligent Solutions.
 22999 Forbes Road, Suite B, Cleveland, Ohio 44146-6667
 Phone • 440.439.1999 Fax • 440.439.1999
 www.cve-engineering.com

REVISIONS
 LIBRARY SET - 4/23/2018
 ASSESSMENT SET - 4/21/2018
 BID SET - 4/16/2020

SITE PLAN
GOLDEN LINK BLVD. ACCESS DRIVE
 CITY OF MACEDONIA
 COUNTY OF SUMMIT
 STATE OF OHIO

DESIGNED BY:	PAZ
DRAWN BY:	BJN
CHECKED BY:	JLG
DATE:	APRIL 2020
SCALE:	1"=30'
PROJECT NUMBER	16120
Drawing Name	16120 - MASTER
SHEET:	3
TOTAL SHEETS:	14





City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

MEMO

To: Rachael Gambatese
Bob Rodic

From: Chris Hall

Subject: BZA: Raising Cane's Chicken Fingers, 597 East Aurora Road
Applicant: Drew Gatliff, OLIO Development Group

Date: January 6, 2021

I. 1171.11 OFF-STREET PARKING.

(b) Measurement Standards

(6) "Parking access aisle" shall be that portion of the parking lot providing direct access for vehicles to the adjacent off-street parking spaces.
Minimum parking access aisle widths are as follows:

<u>Parking Space Angle from Parking Access Aisle</u>	<u>Access Aisle Width</u>
45° - 60° (one way aisle)	19 feet
45° - 60° (two way aisle)	22 feet
61° - 90° (one way aisle)	22 feet
61° - 90° (two way aisle)	22 feet

Variance Requested: Applicant is requesting a variance to 1171.11(b)(6) reducing the required access drive aisle width from 19 feet to 15 feet.

II. 1171.11 OFF-STREET PARKING.

(c) Schedule of Required Off-Street Parking.

Eating places, bars, taverns and drive-through 1 space per 50 sq. ft. floor area

Variance Requested: Applicant is requesting a variance to 1171.11(c) reducing parking from 87 required spaces to 36 spaces.

RECEIVED

JAN 22 2021

CITY OF MACEDONIA
BUILDING DEPARTMENT

**CITY OF MACEDONIA
REQUEST TO APPEAR BEFORE THE
ZONING BOARD OF APPEALS**

SEE INSTRUCTION PAGE FOR MORE INFORMATION. APPELLANT IS TO PROVIDE NINE (9) COPIES OF SITE PLANS, PICTURES, ETC AND A WRITTEN STATEMENT. RESIDENTIAL- \$100.00; COMMERCIAL- \$200.00.

Address of property involved: 597 E Aurora Road

Nature of Request: Variance request for reduced parking and reduced drive aisle width

Applicant or Agent Therefore: Drew Gatliff - OLIO Development Group

Address: 1062 Ridge Street | Columbus, Ohio 43215

Phone: _____ **Email:** dgatliff@oliodevgrp.com

Property Owner (if different from applicant): J&V Investment Property LLC

Address: 152 Burwick Road | Cleveland, OH 44143

Phone: _____ **Email:** _____

SIGNATURE OF APPELLANT. (AUTHORIZATION OF PROPERTY OWNER REQUIRED IF DIFFERENT FROM APPLICANT).



By my signature, I attest to the accuracy of all statements on this form.

01/21/21
Date

OFFICIAL USE ONLY

Received Date: _____ **Case Number:** _____

Variance being requested: _____

THE ZONING BOARD OF APPEALS MEETS AT 6:30PM ON THE THIRD WEDNESDAY OF EACH MONTH IN THE COUNCIL CHAMBERS AT MACEDONIA CITY HALL LOCATED AT 9691 VALLEY VIEW ROAD. MEETING DATES ARE SUBJECT TO CHANGE. CONTACT THE BUILDING DEPARTMENT AT 330-468-8364.



DEVELOPMENT GROUP

www.oliodevgrp.com

January 21, 2020

City of Macedonia
Planning & Zoning
9691 Valley View Road
Macedonia, OH 44056

RE: BZA Application, Raising Cane's, 597 Aurora Road

To Whom It May Concern,

We, OLIO Development Group, are the applicant and developer for a proposed Raising Cane's Chicken Fingers restaurant at 597 Aurora Road. The proposal is to renovate the former Steak N' Shake building with additions for a second drive-thru window, side vestibule, and rear enclosure.

We are seeking variances for the following:

- Reduction in drive aisle width from 19' required to 15' proposed (Section 1171.11.b.6)
- Reduction in parking from 87 required spaces to 36 proposed parking spaces (Section 1171.11.c)

The reduced drive aisle width is in regard to the western drive aisle adjacent to the drive-thru lanes and will allow additional landscaping along the property line rather than a wider drive aisle. The drive aisle in question does not have parking adjacent to it.

The reduced parking is requested to account for the nature of Raising Cane's business being primarily drive-thru heavy. On average 60% of sales, prior to the pandemic, was through the drive-thru. Because of this the proposed renovation includes significant changes to the site to provide better flow through the drive-thru and adding a second drive-thru lane to efficiently serve our customers.

The Codified Ordinances do not differentiate the parking requirements between a drive-thru and sit-down restaurant and require 1 parking space per 50 square feet. Because of this the requested variance is substantial, but is appropriate given the nature of the business.

The variance requested will not have a negative impact on the neighboring properties and neighborhood, because sufficient parking will be provided even with the variance requested. The variance will also not adversely affect the delivery of governmental services.

There are many Raising Cane's locations in the Northeast Ohio area with similar parking counts including Strongsville and Kent along with many others throughout Ohio and the country. With the largest shift of 12 employees this leaves at least 24 parking spaces for customers. There are 98 seats inside allowing nearly 1 space for every 4 seats. This is a standard parking space requirement for dine-in restaurants we have found in other municipalities and see this being sufficient for our use.



DEVELOPMENT GROUP

www.oliodevgrp.com

The spirit and intent behind the parking requirement in the Codified Ordinances is to ensure sufficient parking for each use and granting this variance for a restaurant with a drive-thru heavy business will maintain this for Raising Cane's.

Thank you,

A handwritten signature in blue ink, appearing to read "Drew Gatliff", with a long horizontal line extending to the right.

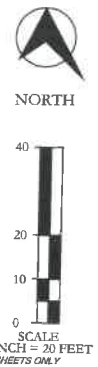
Drew Gatliff

Development Manager

OLIO Development Group

J:\LAND DEVELOPMENT\Proj\14100-011 Raising Cane's - Macedonia\SubCAD\14100-011-C.dwg, Mon Jan 4 12:13:31 2021, gwelitch

RESIDENTIAL ZONING



ZONING INFORMATION

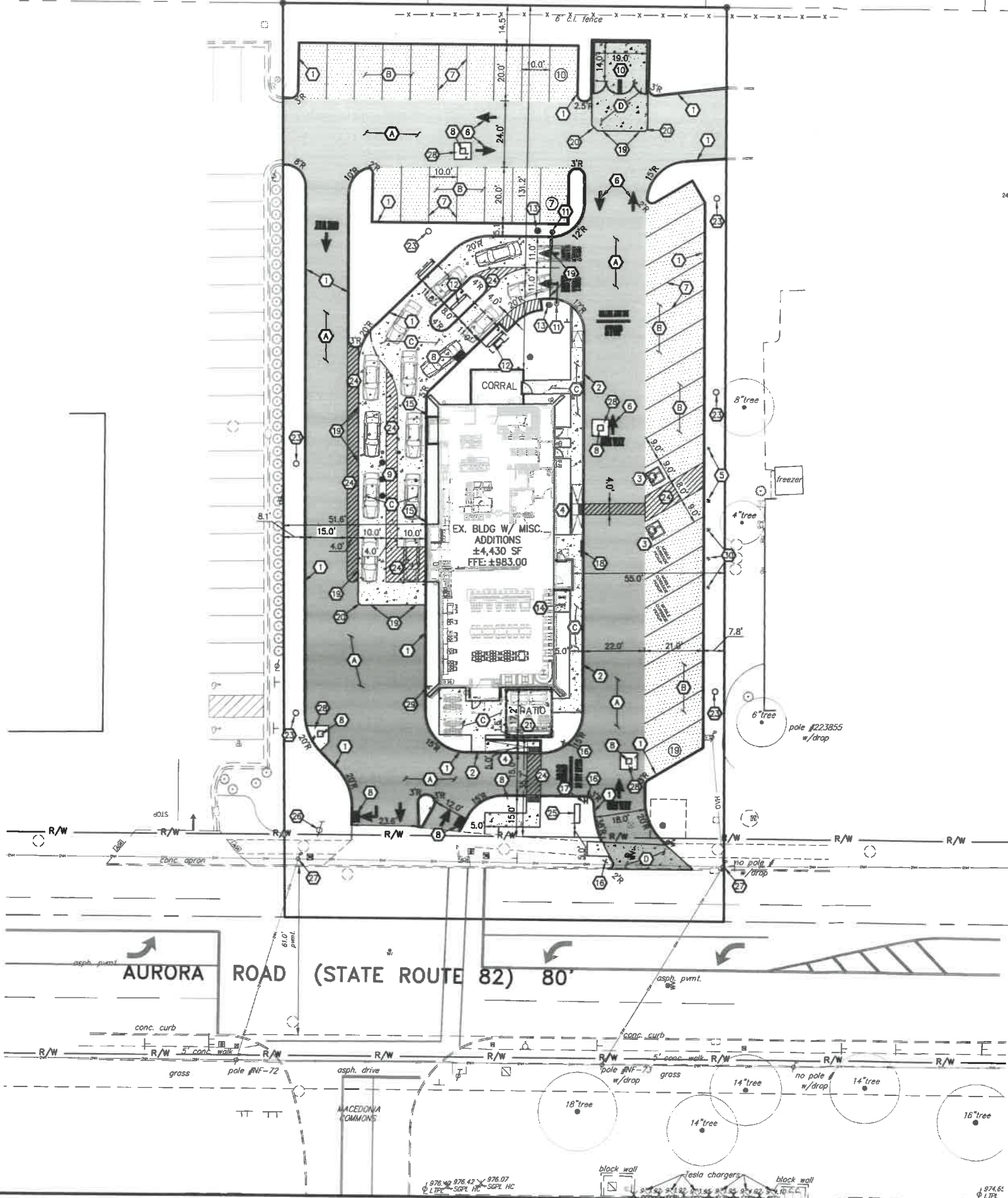
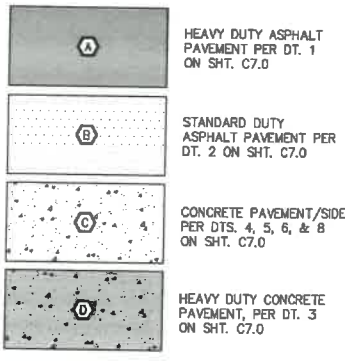
CURRENT ZONING - CONVENIENCE BUSINESS DISTRICT "B-1"

CODE SECTION	SUBJECT	REQUIRED BY ZONING CODE	PROVIDED
1167.02(g)	MAX. HT. OF BLDG	45 ft	TBD
1167.02(j)	MIN LOT FRONTAGE	100 ft	156.6 ft
1167.02(i)	MIN LOT AREA	20,000 sq ft	52,503 sq ft
1167.02(e)	FRONT YARD SETBACK - BLDG (FROM R/W)	35 ft	35.7 ft
1171.11(e)(2)A	FRONT YARD SETBACK - PARKING (FROM R/W)	20 ft	21.4 ft
1167.02(f)(1)	SIDE SETBACK - BLDG	10 ft	51.0 ft
1171.11(e)(2)	SIDE SETBACK - PARKING	0 ft	6.8 ft
1167.02(f)(1)	REAR SETBACK - BLDG	90 ft	131.2 ft
1171.11(e)(2)B	REAR SETBACK - PARKING	15 ft	14.5 ft*
1171.11 (6)	PARKING REQUIREMENT	1 space per 50 sq ft floor area (4430sf - 20% storage red.)/50 71 SPACE REQ.	36 SPACES**
1171.11 (6)	MIN. # OF STACKING SPACES (DRIVE-THRU)	6 (25 ft from R district)	15

* Rear Parking Setback Variance needed for 0.5 ft, from required 15 ft. to 14.5 ft.
 ** Parking Space Requirement Variance needed for 35 spaces, from required 71 spaces to 36 spaces.

KEY NOTES

- 1) 6" VERTICAL CONCRETE CURB PER DT. 9 ON SHT. C7.0
- 2) CURB AND WALK PER DT. 8 ON SHT. C7.0
- 3) ADA ACCESSIBLE PARKING SYMBOL PER DT. 3 ON SHT. C7.2
- 4) ADA ACCESSIBLE RAMP, PER DT. 1 ON SHT. C7.2
- 5) ACCESSIBLE PARKING SIGN PER DT. 8 ON SHT. C7.0
- 6) LOT TRAFFIC FLOW ARROW (SOLID) PER DT. 3 ON SHT. C7.2
- 7) PARKING STRIPE (1) 4"WD. SOLID WHITE
- 8) UTILITY STRUCTURE (SEE UTILITY PLAN, SHT. C4.0)
- 9) GREASE INTERCEPTOR (SEE UTILITY PLAN, SHT. C4.0)
- 10) DUMPSTER LOCATION, SEE ARCH. DRAWINGS FOR DETAILS.
- 11) HEIGHT DELINEATOR BAR (SEE ARCH. DRAWINGS)
- 12) ORDER BOARD (SEE ARCH. DRAWINGS)
- 13) PREVIEW BOARD (SEE ARCH. DRAWINGS)
- 14) BIKE RACK PER DT. 4 ON SHT. C7.2
- 15) BOLLARD (SEE ARCH. DRAWINGS)
- 16) "DO NOT ENTER" SIGN
- 17) "STOP" SIGN
- 18) SIDEWALK GUARD RAIL, PER DT. 5 ON SHT. C7.1.
- 19) FLUSH CONCRETE PAVEMENT AT ASPHALT EDGE, PER DT. 4 ON SHT. C7.0. PROVIDE TOOLED EDGE AT CONCRETE SLAB
- 20) CHAMFER CONCRETE CORNER
- 21) PATIO AREA W/ THICKENED SLAB. SEE ARCH. PLANS FOR SLAB, SAWCUTTING, & STAINED CONC. DETAILS.
- 22) CONCRETE MOUNTABLE CURB, PER DET. X, SHT. C.X.X.
- 23) LIGHT POLE FOUNDATION, SEE STRUCTURAL & ELECTRICAL PLANS
- 24) TRANSVERSE STRIPING- 4"WD. SOLID WHITE STRIPES @ 45°
- 25) MONUMENT SIGN, SEE ARCH. PLANS.
- 26) EXISTING TRAFFIC SIGNAL POLE, TO REMAIN.
- 27) EXISTING POWER UTILITY POLE, TO REMAIN.
- 28) MIN. 2' CONCRETE COLLAR AROUND EX. STORM STRUCTURE.
- 29) "WATCH FOR PEDESTRIANS" SIGN
- 30) "MOBILE CURBSIDE PICKUP" SIGN



STORE:
RAISING CANE'S RESTAURANT
 597 AURORA ROAD
 MACEDONIA, OH 44056
 PROTOTYPE P4E - V - AV
 SCHEME: STANDARD - B
 STORE #RC051
 VERSION 2020-2.0



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PERMIT SET



SHEET REVISIONS

#	DATE	TYPE
1	12/1/20	REVISION #1
2		
3		
4		
5		
6		
7		
8		
9		
10		

SITE LAYOUT PLAN

PERMIT DATE 11/04/20
 JOB NO. 20196
C5.0
 SHEET NO.