

**MACEDONIA PLANNING COMMISSION
PUBLIC HEARING
JULY 18, 2022**

TIME: 5:15 p.m.

CALL TO ORDER:

ROLL CALL: Mr. Westbrook, Mr. Cox, Mr. Wallenhorst, Mr. Roberts, and Mr. Schiavone.

- 1) Mr. Perez with Studio Hoju LLC is proposing a Conditional Use Certificate for a tattoo parlor in a B-1 Convenience Business District located at 9838 Valley View Rd.

---CLOSE PUBLIC HEARING---

**MACEDONIA PLANNING COMMISSION
MEETING AGENDA
JULY 18, 2022**

Location: Macedonia City Hall
Council Chambers
9691 Valley View road
Macedonia, Ohio 44056

Time: 5:30 P.M.

Call to Order

Roll Call:

- Mr. Westbrooks
- Mr. Schiavone
- Mr. Cox
- Mr. Wallenhorst
- Mr. Roberts

Approval of the June 20, 2022 minutes

Agenda Items:

- 1) Mr. Perez is proposing a Conditional Use Certificate for Studio Hoju tattoo studio to be in a B-1 Business District located at 9838 Valley View Rd.

Joseph Perez
Studio Hoju
PO Box 217
Twinsburg, OH 44087
Josephpereztatto@gmail.com
843-670-7525

- 2) Mr. Zickafoose is proposing a pickup window, revised parking and dumpster relocation for Chipotle located at 8195 Golden Link Blvd.

Jordan Zickafoose
1495 Old Henderson Rd.
Columbus, Oh 43220
jordanz@sandsdecker.com
614-459-6992

- 3) Mr. Lindsley with Kimley-Horn is proposing the installation of electric charging stations at 8100 Macedonia Commons Blvd.

Logan Lindsley, P.E.
13455 Noel Rd.
Two Galleria Office Tower, Suite 700
Dallas, TX 75240
Logan.lindsley@kimley-horn.com
972-776-1716

Miscellaneous:

Adjournment

Continued Items:

Proposed monument sign for Industrial Pump & Equipment located at 384 Highland Rd.

Proposed addition to the Goddard School located at 2073 Alexandria Way.

Proposed storage units located at 8231 Bavaria Rd.

Tabled Items:

The next regularly scheduled meeting is set for August 15, 2022

All requests & documentation for the Planning Commission must be submitted by July 22, 2022

Tabled items will be removed after one (1) year of inactivity.

**MACEDONIA PLANNING COMMISSION
JUNE 20, 2022
MEETING MINUTES**

CALL TO ORDER: Mr. Westbrooks called the meeting to order at approximately 5:30 p.m.

MEMBERS PRESENT:

Planning Commission: Mr. Westbrooks, Mr. Schiavone, Mr. Roberts, Mr Wallenhorst. Mr. Cox was absent.

City Planner: Mr. Frantz

City Fire Inspector: Mr. Kalish

City Engineer: Mr. Gigliotti

Building Commissioner: Mr. Rodic

APPROVAL OF THE MAY 16, 2022 PLANNING COMMISSION MEETING MINUTES.

Mr. Roberts motioned to approve, Mr. Schiavone seconded, and all were in favor.

PROPOSED CHANGE TO THE EXISTING SIGNAGE AT KOHL'S LOCATED AT 8100 MACEDONIA COMMONS BLVD.

Mr. Detar with Sign Erectors Inc. was present. Mr. Frantz made his comments. Mr. Westbrooks motioned to approve the revised sign plan subject to administrative review, bronze returns, and the Height of 72 inches. Mr. Wallenhorst seconded, and all were in favor.

PROPOSED RELOCATION OF THE TRASH ENCLOSURE FOR I-HOP LOCATED AT 613 E. AURORA RD.

The applicant was present and made the relocation proposal. Mr. Frantz made his comments. The landscaping was discussed, and that a number of outstanding issues needed to be addressed. Mr. Gigliotti commented that the dumpster location could impact the interconnect driveway that runs across the back of the businesses. The location of the neighboring dumpsters was discussed. Mr. Westbrooks motioned to approve the proposal with the modification that the dumpster would be moved back enough to not impede past the curb line when the doors are open, contingent on the resolution of the landscaping and lighting issues, and that the City requires a performance guarantee to be worked out with the Building Department prior to work commencing. Mr. Roberts seconded, and all were in favor. Extra comments were added to the motion including that the landscaping plan be by a landscape architect, and the outstanding items from the previous plan approval are also addressed on a plan updated that is provided administratively.

PROPOSED MONUMENT SIGN FOR INDUSTRIAL PUMP AND EQUIPMENT LOCATED AT 384 HIGHLAND RD.

Mr. Petro with Cesco Imaging was present and gave an overview of the proposal. Mr. Frantz made his comments. Mr. Westbrooks motioned to continue to the July 18, 2022 meeting. Mr. Schiavone seconded, and all were in favor.

PROPOSED SITE PLAN REVISION FOR AN OVERSIZED DETACHED GARAGE LOCATED AT 10055 VALLEY VIEW RD.

Mr. Fike with Paul Fike Builders and Mr. Nyseth (owner) were present. Mr. Fike explained that the owner would like to revise the plans to make the garage larger. Mr. Frantz made his comments. Mr. Gigliotti commented on the downspouts and storm sewer connections tying into the existing piping toward the front of the yard and that a drawing should be submitted. Mr. Westbrooks motioned to

approve the revised plans conditional on the BZA height approval, with no business or rentals to be in the garage, and a deed restriction to be filed with the County. Mr. Roberts seconded, and all agreed. The landscaping was discussed.

PROPOSED ADDITION TO THE GODDARD SCHOOL LOCATED AT 2073 ALEXANDRIA WAY.

Mr. Lindley, the business owner was present and gave an overview of the project. Mr. Frantz made his comments. The parking was discussed. Mr. Gigliotti commented that with the sanitary sewer being relocated to the North, the mound would be impacted by the new sanitary sewer installation. The easement would need to be revised with summit county. A copy of the signed easement would need to be submitted to the Building Department. Mr. Gigliotti commented that the current vegetation needs to be called out on the landscaping plan that will be submitted. Mr. Westbrooks commented that he would like to see a more refined plan, and architectural views with the expansion. Mr. Schiavone commented that to move on with the project they will have to get parking approval from the BZA and a stamped architectural drawing from an architect will be required and is standard procedure and Mr. Gigliotti's comments must be itemized on the drawings. Mr. Westbrooks motioned to continue the proposal to the July 18, 2022, Planning Commission meeting, Mr. Wallenhorst seconded, and all were in favor.

PROPOSED PRELIMINARY SITE PLAN REVIEW FOR A SELF-STORAGE FACILITY TO BE LOCATED AT 8231 BAVARIA RD.

Mr. Kresse and Mr. Villanti were present and gave an overview of the project. Mr. Frantz made his comments. Mr. Gigliotti made his comments. Mr. Kalish commented on and discussed hydrant spacing, parking (min of 20 ft), Knox box, and Fire Department access to the buildings. The parking striping, screening, building set back, retaining wall and building slope was discussed. Mr. Villanti discussed the lighting. Mr. Rodic requested that the fire sprinkling standpipe location should be on the next plan. Mr. Gigliotti commented that he would like to see that comments 1 & 2 be achieved before the final plan approval, and that items 3, 4, and 5 would need to be seen on the next submittal with the elevations, retaining wall, grading plan, and storm sewer drainage. It was decided that the setback would be okay with screening. Mr. Westbrooks motioned to continue the proposal to the August 15, 2022 Planning Commission meeting based on the applicants need to address items in the code, Mr. Schiavone seconded and all were in favor.

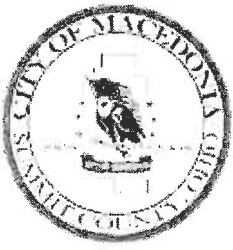
MISCELLANEOUS:

PROPOSED SITE PLAN MODIFICATION FOR DOMINION ENERGY LOCATED AT 9796 SHEPARD RD.

Mr. Rodic explained that there was a change to the site plan. Mr. Gigliotti commented that Dominion would like to use grass permeable pavers and less gravel for the access road. Thus, not needing storm water detention. Mr. Wallenhorst motioned to approve with the condition that the new permeable paver area be maintained throughout the life of the property amending the previous site plan approved. Mr. Roberts seconded and all were in favor.

ADJOURNMENT:

Mr. Westbrooks motioned to adjourn at approximately 7:34 p.m., Mr. Roberts seconded, and all were in favor.



City of Macedonia
 The Crossroads of Northeast Ohio
 9691 Valley View Road • Macedonia, Ohio 44056
 (330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

**APPLICATION FOR HEARING BEFORE THE
 MACEDONIA PLANNING COMMISSION**

All Plans for Submittal Must be **FOLDED**.
 No Rolled Plans will be Accepted.

DATE OF APPLICATION: 06/23/2022

LOCATION OF PROPERTY INVOLVED: 9838 Valley View Rd, Macedonia, OH 44056

NATURE OF REQUEST: Conditional Use for a Tattoo Studio

APPLICANT NAME: Joseph Perez of Studio Hoju LLC PHONE: (843) 670-7525

APPLICANT ADDRESS: PO Box 217, Twinsburg, OH 44087

APPLICANT EMAIL ADDRESS: josephpereztattoo@gmail.com

APPLICANT SIGNATURE: *Joseph Perez* DATE: 06/23/2022

NOTES: Please see attached application letter, reference letter, floor plan and exterior
 mock-ups

MEETING DATE: 7/18/22 FILING FEE: 50.00 ESCROW REQUIRED:

Deadline for submitting applications is **21 DAYS** prior to the meeting date. When applying for a hearing, please furnish **TWO** sets of sketches, maps, drawings, descriptions, or photographs of the property in question. **TWO** copies of the site plan are required. **PLANS MUST BE FOLDED, NOT ROLLED**. No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, the landscape and lighting plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commissioner's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE, ADDITIONAL FEES MAY BE REQUIRED.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
 City of Macedonia

Please submit plans to:
 Macedonia Building Department
 9691 Valley View Road
 Macedonia, Ohio 44056

Joseph Perez
Studio Hoju LLC
PO Box 217
Twinsburg, OH 44087
843-670-7525

June 23, 2022

Macedonia Planning Commission
City of Macedonia
9691 Valley View Road
Macedonia, OH 44056

To Whom It May Concern:

My name is Joseph Perez, and I have been tattooing for fifteen years. Art has always been my passion, but my interest in tattooing developed when I was stationed in Okinawa, Japan while serving in the United States Marine Corps. After leaving the Marines in 2007, I moved back to Charleston, SC to start my apprenticeship and have been tattooing professionally ever since.

In 2021, after many years of discussion and planning, my wife and I decided to move our family to the Cleveland area to be closer to my mother, sister, and brother. My wife's parents followed, and we are now all here in the area. We could not be happier with our decision to move as this is a wonderful place to raise our three children who are thriving here in Northeast Ohio.

Now that we've settled into our new home, it's time to establish a business to help support my family. I want to open a tattoo parlor, Studio Hōju, located at 9838 Valley View Road, Macedonia, OH 44056. A Hōju in Japanese culture is a wishing gem or a wish fulfilling jewel that is believed to bring wealth. It is a popular image in Japanese art and architecture.

I know that in years past, tattooing has had a stigma attached to it, but it is truly a form of art. I am not a lawyer and am not qualified to practice law; however, per the public information contained in *Anderson v. Hermosa Beach*, it is my understanding that the 9th U.S. Circuit Court of Appeals ruled that, "tattooing is purely expressive activity fully protected by the First Amendment." It goes on further to state that:

Tattooing is a process like writing words down or drawing a picture except that it is performed on a person's skin. As with putting a pen to paper, the process of tattooing is not intended to "symbolize" anything. Rather, the entire purpose of tattooing is to produce the tattoo, and the tattoo cannot be created without the tattooing process any more than the Declaration of Independence could have been created without a goose quill, foolscap, and ink. Thus, as with writing

or painting, the tattooing process is inextricably intertwined with the purely expressive product (the tattoo), and is itself entitled to full First Amendment protection.

We are further persuaded by the fact that the process of tattooing is more akin to traditional modes of expression (like writing) than the process involved in producing a parade, which the Supreme Court has held cannot be meaningfully separated from the parade's expressive product in terms of the constitutional protection afforded. *See Hurley*, 515 U.S. at 568 (holding that "[p]arades are . . . a form of expression, not just motion," and noting "the inherent expressiveness of marching"). Thus, we have no difficulty holding that the tattooing process is entitled to the same First Amendment protection as the process of parading.

Moreover, it makes no difference whether or not, as the district court determined, "the customer has [the] ultimate control over which design she wants tattooed on her skin." The fact that both the tattooist and the person receiving the tattoo contribute to the creative process or that the tattooist, as Anderson put it, "provide[s] a service," does not make the tattooing process any less expressive activity, because there is no dispute that the tattooist applies his creative talents as well. Under the district court's logic, the First Amendment would not protect the process of writing most newspaper articles—after all, writers of such articles are usually assigned particular stories by their editors, and the editors generally have the last word on what content will appear in the newspaper. Nor would the First Amendment protect painting by commission, such as Michelangelo's painting of the Sistine Chapel. As with all collaborative creative processes, both the tattooist and the person receiving the tattoo are engaged in expressive activity.

If this understanding is correct, tattooing skin is a form of art and expression – for both the tattoo artist and the person receiving the tattoo – protected under the First Amendment, and it cannot be separated from the first permitted use in the B-1 Convenience Business District Ordinance Section 1167.02(b) which is, "Art, photo, stationary, notion, toy and gift sales and antique shops."

Operationally, a tattoo studio functions almost identically to a beauty salon or barber shop which is the third listed permitted use in Ordinance Section 1167.02(b). Tattoo artists are employed either by commission or booth rental and are required to maintain certifications as determined by the state (for tattooing, these include but are not limited to: blood borne pathogen, cross contamination, and first aid certifications). Beauty salons often delve into the world of tattooing with microblading. Microblading is a form of tattooing, and this service has already been allowed and established in Macedonia. In fact, Suburban Lash and Beauty located at 901 E Aurora Road, Macedonia, OH 44056, advertises for and performs microblading today. This location is 0.20 miles from our desired location of 9838 Valley View Road.

Like a salon, each artist develops a clientele and gathers a large portion of their business through referrals. While Studio Hōju will accept walk ins – as any beauty salon would – most of the business is typically appointment based. My preference is to work on larger-scale pieces that require several appointments to complete. I have worked with doctors, lawyers, police officers, and teachers. Grandmothers and granddaughters. Fathers and sons. The list goes on and on. And each time, I have done so in a clean and safe environment.

My goal with opening this studio is not only to provide for my family but also to benefit the community of Macedonia and pursue my passion of art and tattooing. I will always strive to provide quality art and bring a service to the area that is not currently available. I have included a reference letter written by Jason Eisenberg, owner of Holy City Tattooing Collective in Charleston, SC, speaking to my dedication and professionalism. Jason is widely known and respected in the tattooing community, and his endorsement means a great deal.

In addition to the reference letter described above, I have included an 11 x 17 floorplan along with exterior mock-ups demonstrating how Studio Hōju will look and fit in with surrounding businesses. These renderings are for demonstrative purposes only but will convey my overall vision for the business.

Lastly, we have spoken with Joe Migliorini, the landlord of this property, who supports us in opening a tattoo studio in his building and has submitted a letter of his approval which I have also attached for your reference.

Thank you, and I appreciate your time and consideration in this matter.

A handwritten signature in black ink, appearing to read 'Joseph Perez', with a stylized, flowing script.

Joseph Perez
Studio Hoju LLC

From the desk of
Jason R. Eisenberg
Holy Mountain Llc
jasonreisenberghctc2@gmail.com

June 11, 2022

Re: Professional artist reference for Joseph Perez

To whom it may concern,

I hope this letter finds you well.

I have known Mr. Perez for many years. I have watched his career as an artist grow from one who lacked a devotion to a singular style into a seasoned and learned student of Asian art, specifically Japanese wood block and painting styles.

As a professional artist for over three decades, I am more than adept at recognizing not only natural talent, but an emulation of studies through an artists work. For example, Japanese art has many rules that must not only be strictly followed for aesthetics, but dictate whether a piece conveys information regarding seasons, historical time periods, emotion etc. To a lay person, these details may seem insignificant or trivial. To a student of Japanese art, these are a guide book for producing imagery that for a non-Japanese artist are essential to do the medium justice. This example illustrates what, in my opinion, Mr. Perez has learned and uses in his art to lend a degree of authenticity or honor to his work.

In my previous paragraph, I identified myself as a working artist. I shall now speak from the standpoint of a collector of Japanese art. I greatly respect Mr. Perez as an artist. I own and display several pieces of his work not only in my studio, but in my home. His work hangs next to 18th and 19th century Japanese masters. His ability to create the imagery I own allows it to flow seamlessly with the artists who pioneered and perfected the style in which he(Mr. Perez) has chosen to work. This alone, in my opinion, validates Mr. Perez as not only a professional artist, but an asset to whichever community he chooses to call home for his studio.

My goal of writing this is to bring another facet to Mr. Perez professionally and as more than simply a tattoo artist. His studio will undoubtedly be a place of growth, culture and light. If you have any questions regarding my reference or an elaboration on Mr. Perez as an artist or examples of his work, please do not hesitate to contact me.

Thank you for your time and consideration for this man of whom I hold in high regard.

Respectfully,

A handwritten signature in black ink, consisting of several overlapping loops and a long horizontal stroke extending to the right.

Jason R. Eisenberg
Holy Mountain Llc
Holy City Tattooing Collective

Macedonia Property Management, LLC.

8536 Crow Drive Suite 210

Macedonia, Ohio 44056

Bus.330-656-1448 Fax 330-467-1757

E-mail: macproperty@roadrunner.com

E-mail: jmigliorini@att.net

June 23, 2022

Macedonia Planning Commission Members
9699 Valley View Road
Macedonia, Ohio 44056

Dear Macedonia Planning Commission Members;

I have in the past resisted tattoo parlors in all of my retail buildings, but have come to realize that it is now, if you will, more of an acceptable type of service.

Therefore, please accept this letter as my approval to Joseph & Amy Perez's application for approval of a tattoo Parlor at Center Pointe Plaza -- 9838 Valley View Road.

Should you have any questions, please contact me at 216-409-0234.

Thank you for your consideration in this matter.

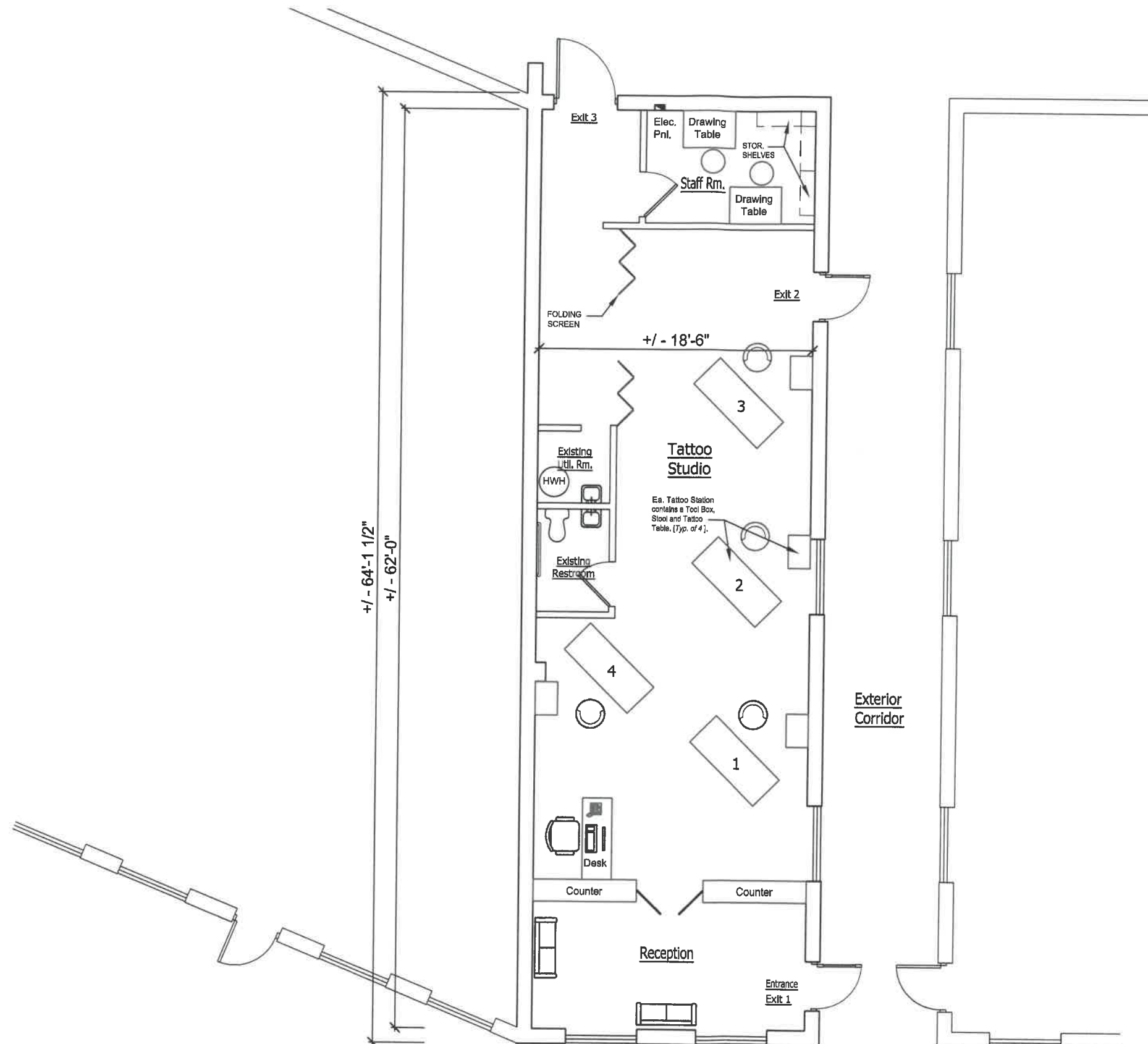
Sincerely



Joseph Migliorini

Cc:



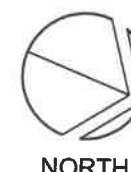


- Notes:**
1. Area shown is based on field measurements and information provided.
 2. Dimensions are measured from the outside of exterior walls and to the centerline of common demising walls.

**Proposed
PARTIAL FLOOR PLAN**

Scale 1/8" = 1'-0"

0 8 FT. 16 FT.



| | |
|-----------------------------------|--|
| Stamp | |
| PLANNING COMMISSION 06/24/2022 | |
| Revision/Issue /Date | |

NEIL A. SAFRAN License #11380
Expiration Date 12/31/2023

Not For Construction

Note:
Area shown is based on field measurements.

Planning Comm. Drawing
FOR:
Studio Hōju
9838 Valley View Road
Macedonia, Ohio

Safran Studio
ARCHITECTURE

NEIL A. SAFRAN - ARCHITECT
10489 KERWICK COURT, REMINDERVILLE, OHIO 44202
Ph. (330) 998-6367 SAFRANSTUDIO@aol.com

| | |
|---|----------------|
| Safran Studio Job # 2022 - 23 | Sheet |
| Sheet Contents Partial Plan Sketch | Pl. Sk. |
| Scale Scale 1/8" = 1'-0" | |

Memorandum

TO: Nicholas Molnar, Mayor
and Macedonia Planning Commission

FROM: Brian M. Frantz, AICP

SUBJECT: Studio Hojo - Similar Use Determination

DATE: July 3, 2022

The applicant is requesting occupancy of a suite (~1,100 sq.ft.) in the multi-tenant building located at 9838 Valley View Road. The property is zoned B-1 Convenience Business District. I have reviewed an application dated June 23, 2022, as well as an architectural floor plan and other applicable information, in connection with this request and offer the Planning Commission the following comments for their consideration:

Analysis

The B-1 Zoning District does not specifically permit tattoo parlors. A search of the Planning and Zoning Code finds that this use is not permitted or conditionally permitted in any other Zoning District. Within the B-1 District, the Planning Commission does have authority to make a similar use determination to permit uses not listed, but which are comparable in character to other uses ordinarily found in the District. This authority and procedure for the Planning Commission to make a similar use determination is found in Code Section 1167.02 (b) (17).

Tattoo parlors typically are considered a personal service and the B-1 District does permit other personal service businesses. Most closely related to the tattoo parlor is a “barber or beauty shop,” which is permitted in the District. From a similar use perspective, the tattoo parlor use has similar characteristics as a beauty salon with regard to hours of operation, traffic and impacts to the surrounding neighborhood. Considering these factors, I believe it's reasonable for the Planning Commission to make the similar use determination and permit a tattoo parlor in the B-1 District. Please note: This request has been advertised as a conditionally permitted use, which requires the applicant to follow the process outlined in Section 1137.04 of the Code. However, I don't readily see any conditionally permitted uses in the B-1 District that align with the proposed tattoo parlor use. This is not to say that the Commission can't make a similar use determination requiring tattoo parlors to be conditionally permitted, but that is an action needed by the Commission.

Finally, a site plan was not provided with the application and without one I am not able to determine if the existing off-street parking lot can accommodate the demand from this use. The Planning Commission should consider requiring a parking analysis of all the existing uses in the plaza based on their applicable floor area to determine if enough off-street parking exists. This exercise will also provide the City with some base-line data about the plaza for future requests.

Conclusion

The total number of off-street parking spaces must be documented on a site plan so the Commission can make an informed decision. The use can be acceptable for this site if adequate off-street parking

is being provided. If the applicant can demonstrate that off-street parking is being met according to the Code for the entire retail complex (taking Studio Hojo into consideration), then I believe the Commission can make this similar use determination and approve the applicant's request.

If you have any questions or need additional information, please feel free to contact me.



City of Macedonia
Building, Engineering, Zoning & Planning Dept.
The Crossroads of Northeast Ohio

9691 Valley View Road °Macedonia, Ohio 44056

330 / 468-8360 ° Fax: 330 / 468-8396

**APPLICATION FOR HEARING BEFORE THE
MACEDONIA PLANNING COMMISSION**

ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.

DATE OF APPLICATION: 06/08/2022

LOCATION OF PROPERTY INVOLVED: 8915 Golden Link Blvd, Macedonia, OH

NATURE OF REQUEST: Addition of pickup window & revised parking

APPLICANT NAME & PHONE: Jordan Zickafoose 614-306-4111

APPLICANT ADDRESS: 1495 Old Henderson Rd, Columbus, OH 43220

APPLICANT EMAIL ADDRESS: jordanz@sandsdecker.com

APPLICANT SIGNATURE: 

NOTES:

MEETING DATE: _____ **FILING FEE** _____ **ESCROW REQUIRED** _____

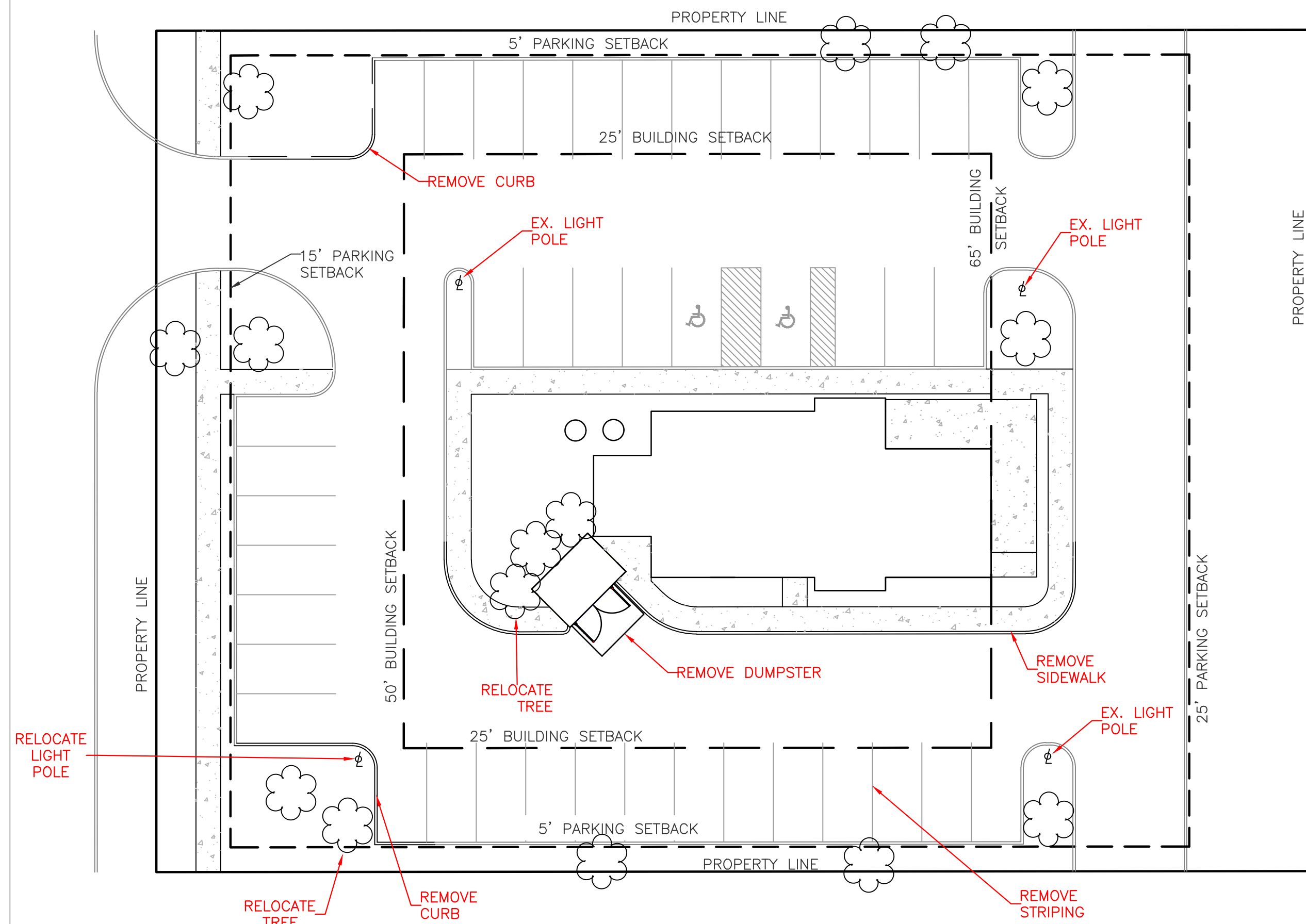
Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish TWO sets of sketches, maps, drawings, descriptions, or photographs of the property in question. TWO copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE. ADDITIONAL FEES MAY BE REQUIRED.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
City of Macedonia

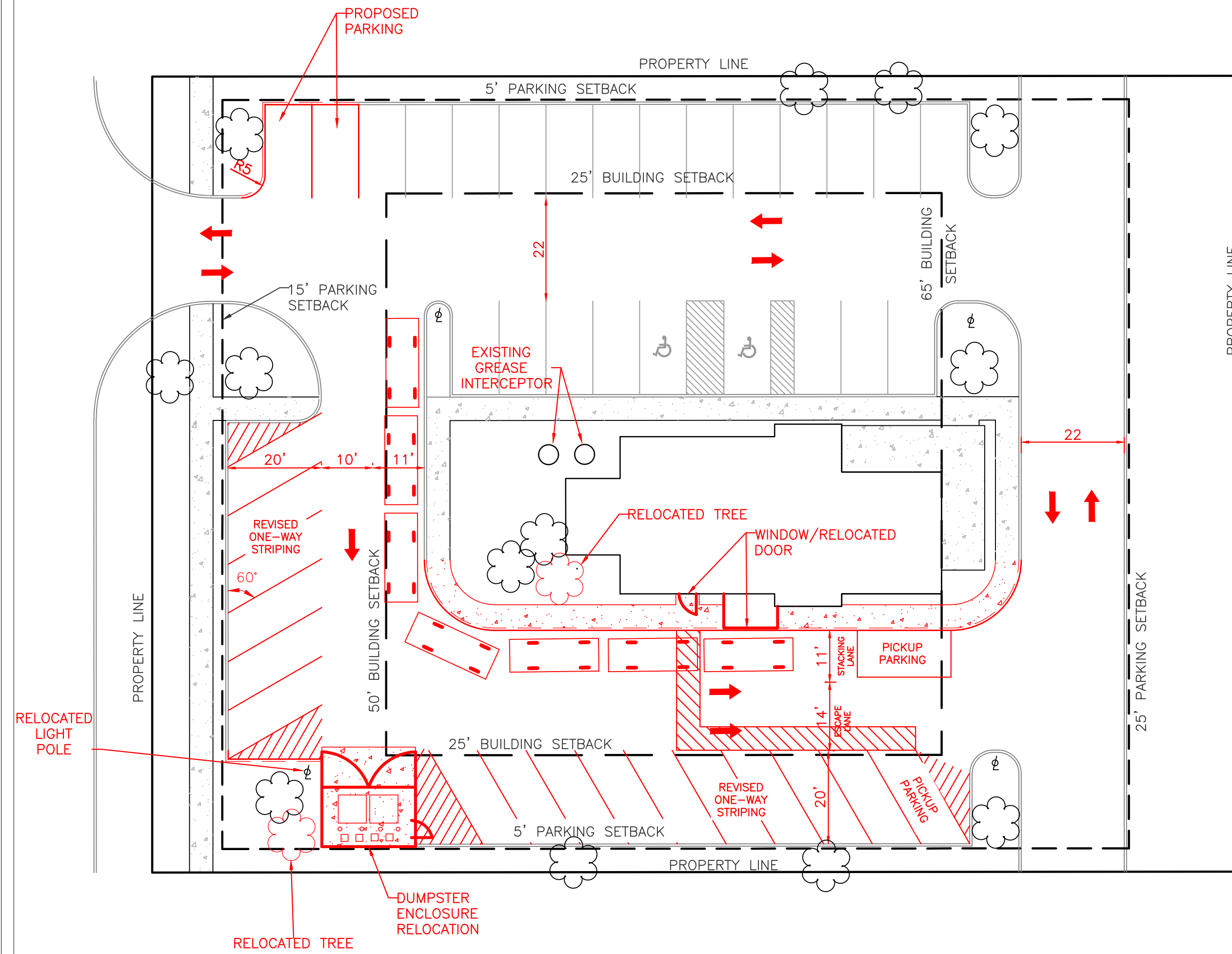
Please submit plans to:
Macedonia Building Department
9691 Valley View Rd.
Macedonia, OH 44056



EXISTING SITE LAYOUT

1"=20'

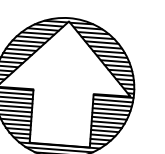
①



PROPOSED SITE LAYOUT

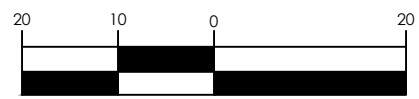
1"=20'

②



NORTH

GRAPHIC SCALE



1" = 20'

**CHIPOTLANE
STORE #0559**
8195 GOLDEN LINK BLVD.

ZONING REQUIREMENTS

| | | |
|-----------------------|-------|----|
| REQ. PARKING SPACES | ---- | 40 |
| EX. PARKING SPACES | ---- | 42 |
| PROP. PARKING SPACES | ---- | 40 |
| STACKING REQUIREMENTS | ---- | 6 |
| PROP. STACKING | ----- | 7 |

05-24-2022 PLANNING COMMISSION

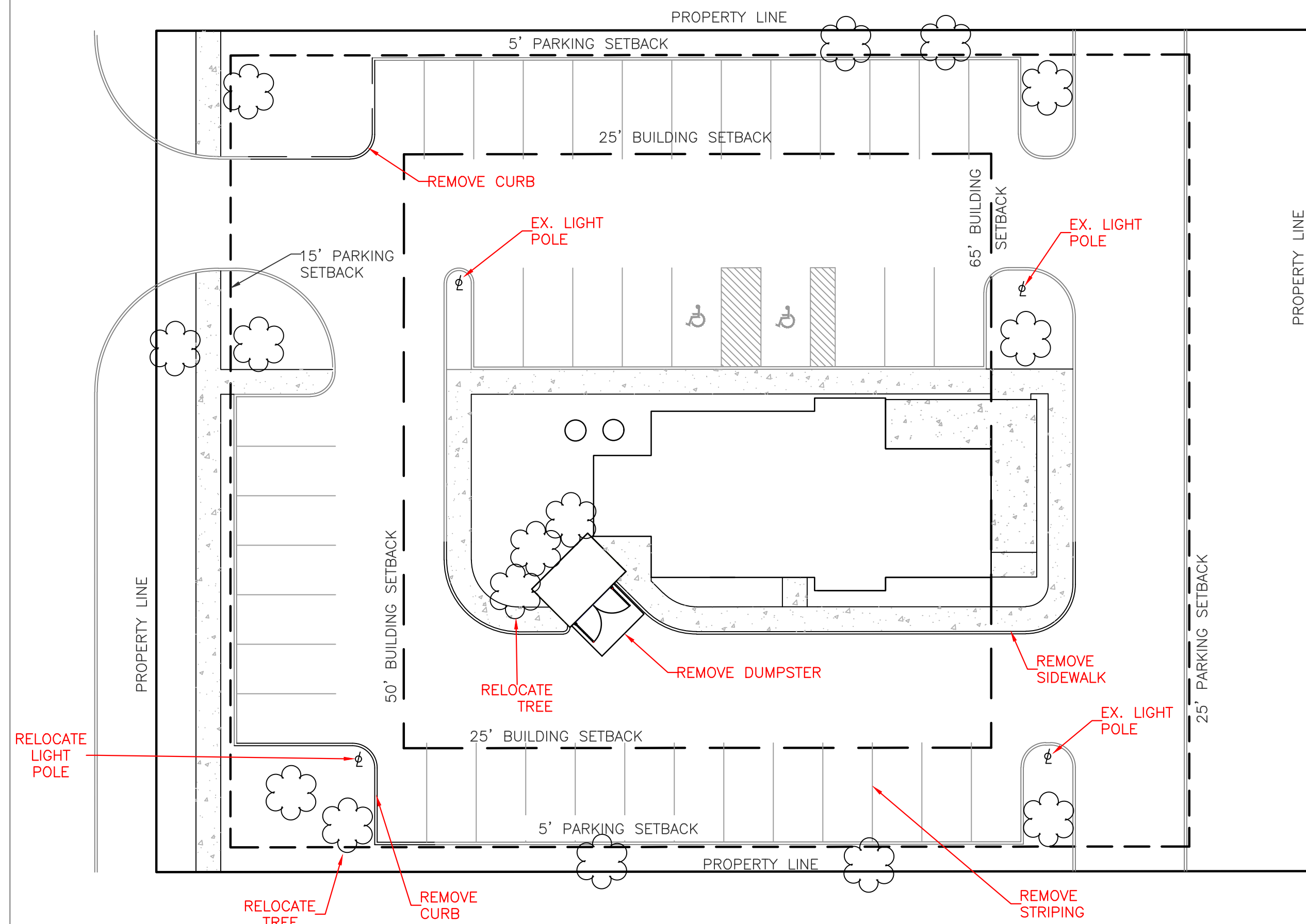
To: Planning Commission
From: Joe Gigliotti, City Engineer
Date: 07-05-22
Re: Planning Commission Review Comments: Chipotle

We have reviewed the submittal for the above named project (submitted on 06-29-22).

- Signage directing vehicles to the Chiptole exit should be installed in the location shown on the attached mark up. This will prevent unnecessary cross traffic from entering the Chick-fil-A property. Additionally, during peak times, the Chick-fil-A drive thru stacking will block traffic from leaving the Chipotle property via the inter-connect driveway.
- The turning radius in the location shown on the attached mark up should be called out, and should be as large as possible, to prevent vehicles from making a wide turn and then blocking the adjacent thru aisle.

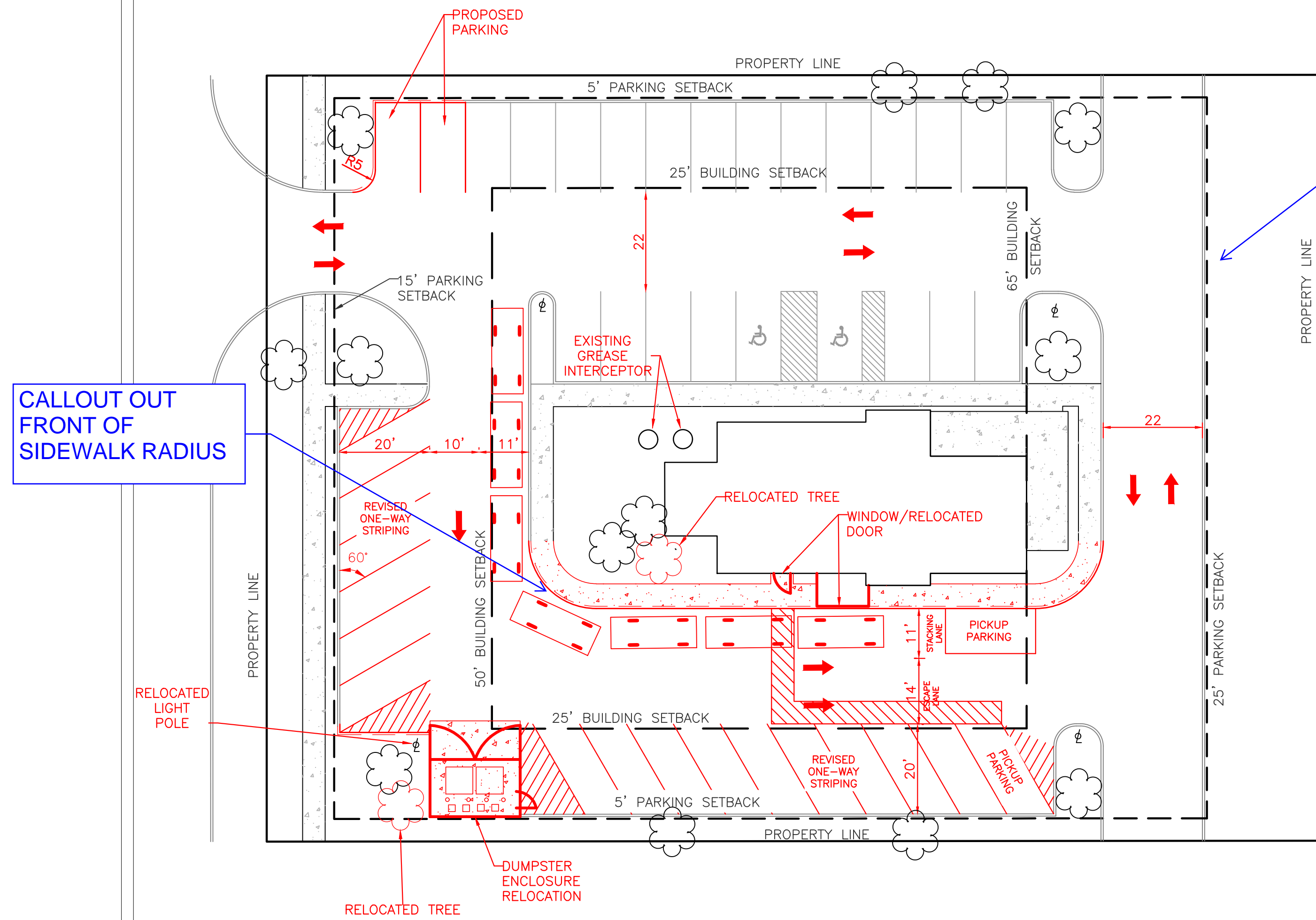
Conclusion:

From an Engineering perspective, it is recommended that the Commission grant preliminary site plan approval.



EXISTING SITE LAYOUT

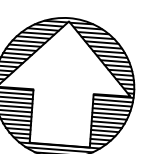
①



PROPOSED SITE LAYOUT

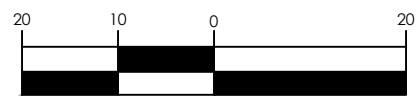
②

WAYFINDING SIGN
"CHIPOTLE EXIT"
←



NORTH

GRAPHIC SCALE



1" = 20'

**CHIPOTLANE
STORE #0559**
8195 GOLDEN LINK BLVD.

ZONING REQUIREMENTS

| | |
|-----------------------|--------|
| REQ. PARKING SPACES | ----40 |
| EX. PARKING SPACES | ----42 |
| PROP. PARKING SPACES | ----40 |
| STACKING REQUIREMENTS | ---6 |
| PROP. STACKING | -----7 |

05-24-2022 PLANNING COMMISSION

MEMORANDUM

To: Mr. Nicholas Molnar, Mayor
Mr. Bob Rodic, Building Commissioner

From: Pam Schultz, Architectural Review Consultant

Subject: Chipotle
8915 Golden Link Blvd.
Macedonia, OH

Date: July 5, 2022

I have reviewed the submitted plans for Chipotle.

The proposed plans are for an addition to an existing Chipotle restaurant. This building is located in the Town Center area which is covered by the Architectural Design Standards of Macedonia, OH along with specifically, 1172.03 of the Applicable Town Center Standards. With those standards in mind, I offer the following for your consideration:

1. Verify all materials brick, roof and trim match existing materials.
2. Trash enclosure location requires verification. Materials (brick and doors) to match existing. Verify all materials are maintenance free. In addition, please advise new location doesn't impede access to existing transformer/electrical.
3. Landscaping/large pine trees blocks the view of building. Exterior elevation at service drive doesn't have signage or visibility to direct patrons to new drive-thru area.
4. New door color to match brick. Suggest a beige/buff to blend with the brick color and not a terra cotta color. (similar to gate color of trash enclosure).
5. Canopy material of drive-thru needs to match white trim.
6. Material at gable area of drive-thru façade needs to match the existing brick material as close as possible. The soldier course should also align to the existing soldier course.
7. The rear portion of the new drive-thru gable should "hip back" at the rear peak to meet the existing roofline (at the mansard roof).
8. Visibility from Route 8 is impeded by landscaping. Adding brick columns and fencing similar to Culver's and Chick-fil-A would add both interest and visibility.

Recommendation:

Chipotle remains consistent with the drive thru addition in their design proposals and can be approved with making the requested modifications and clarifications of materials addressed. In addition, I believe adding columns and fencing to the most critical Route 8 elevation will add visibility and make a cohesive look along Route 8.

Please feel free to contact me with any questions or comments.

Thank you!

Pam Schultz

Memorandum

TO: Nicholas Molnar, Mayor
and Macedonia Planning Commission

FROM: Brian M. Frantz, AICP

SUBJECT: Chipotle Drive-thru Addition – 8195 Golden Link Blvd.

DATE: July 3, 2022

The applicant is proposing to alter their site layout and façade by adding a drive-thru on the south building elevation. The building is located in the Crossings at Golden Link retail development.

I have reviewed an application (and site plan) dated June 22, 2022 in connection with this request and offer the Planning Commission with the following comments for their consideration:

Analysis

- 1) The south building elevation will receive a new drive-thru lane and associated pick-up window. To accomplish this, the existing two-way traffic (and 90-degree parking) will be reconfigured. Entering the site, drivers will be directed to the south into a reconfigured 10-foot-wide one-way drive-isle with 60-degree parking along the western edge of the drive-isle. The 10-foot-wide separation is proposed between the side face of cars in the drive-thru stacking lane. Pursuant to Section 1171.11 (b) (6), the minimum drive-isle width for one way traffic is 19 feet. **ACTION ITEM: Normally I would say a variance is needed from the Board of Zoning Appeals (BZA) for the drive-isle width, but in this instance, I don't believe 10 feet is safe. In my opinion, the only way the drive-thru can work is by eliminating parking along the entire west and south side of the site. This will provide enough spacing for cars to safely maneuver the drive-thru area. However, this will require a fairly significant variance for the number of off-street parking spaces from the BZA.**
- 2) The traffic adjacent the drive-thru lane (and in the drive-thru lane) will intersect two-way traffic traveling north/south along the east side of the site. This intersection is a “pinch-point” for potential traffic conflicts. To avoid this, appropriate signage must be installed on the site to help avoid accidents. **ACTION ITEM: A stop bar/painting (similar to the Chick-Fil-A and Panera Bread drive-thru markings) should be added at the drive-thru on the east elevation to control the traffic exiting onto the driveway located between the neighboring restaurants.**
- 3) The existing dumpster is proposed to be relocated from the southwest corner of the building to southern edge of the site. Parking spaces are being eliminated to accomplish this move, but two new parking spaces are being created in the northwest corner of the site by reducing the overall size of an existing landscape island. I don't necessarily have an issue with this approach, but the location of the relocated dumpster enclosure is within the required building setback. Moreover, as illustrated, a mere 10 feet is being provided for garbage trucks to access this area. **ACTION ITEM: A variance from the BZA is needed for the dumpster enclosure to be located in the required setback. Unless parking is eliminated as noted in item #1 above, 10 feet is not enough width for a garbage truck to access the enclosure. If the**

variance is granted, Planning Commission should confirm the materials for the dumpster enclosure and the gate materials for the doors.

- 4) If this plan advances beyond BZA approval, I suggest that the applicant be required to include a black decorative fence (with brick columns and lights) along the Route 8 frontage to match the fencing created along the frontage of neighbor's property to the north and south.
ACTION ITEM: Add the black decorative fence along Route 8 to match the existing neighbors to the north and south.

Conclusion

In general, the proposal over builds the site and is not appropriate given the parcel size. The only method I see to bring this project to fruition is by eliminating the parking along the western and southern side of the site. Variances from the BZA will be needed. I question whether this site should provide drive-thru accommodations given the overall size of the property. The Planning Commission should continue this matter until the applicant secures variances from the BZA.

JUN 24 2022

CITY OF MACEDONIA
BUILDING DEPARTMENT



City of Macedonia
Building, Engineering, Zoning & Planning Dept.
The Crossroads of Northeast Ohio

9691 Valley View Road ° Macedonia, Ohio 44056
330 / 468-8360 ° Fax: 330 / 468-8396

**APPLICATION FOR HEARING BEFORE THE
MACEDONIA PLANNING COMMISSION**

ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.

DATE OF APPLICATION: 06/22/2022

LOCATION OF PROPERTY INVOLVED: 8100 Macedonia Commons Blvd. Macedonia, OH 44056

NATURE OF REQUEST: Approval for Installation of four electric vehicle charging stations.

APPLICANT NAME & PHONE: Logan Lindsley, P.E. (972)-776-1716

APPLICANT ADDRESS: 13455 Noel Road Two Galleria Office Tower, Suite 700 Dallas, TX 75240

APPLICANT EMAIL ADDRESS: Logan.Lindsley@kimley-horn.com

APPLICANT SIGNATURE: *Logan Lindsley*

NOTES:

- Four electric vehicle charging stations are to be installed in the existing Kohl's parking lot.
- Charging stations will be installed in landscape islands and occupy four parking stalls.
- Parking in these four stalls will not to be limited to only EV, though EV charging will be available.

MEETING DATE: 7/18/22 **FILING FEE** 50.00 **ESCROW REQUIRED** 2000.00

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish TWO sets of sketches, maps, drawings, descriptions, or photographs of the property in question. TWO copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE. ADDITIONAL FEES MAY BE REQUIRED.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
City of Macedonia

Please submit plans to:
Macedonia Building Department
9691 Valley View Rd.
Macedonia, OH 44056

PRELIMINARY DESIGN DRAWINGS

volta

KOHL'S MACEDONIA

8100 MACEDONIA COMMONS BLVD.
MACEDONIA, OH 44056
CITY OF MACEDONIA

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

| ITEM | TASK | YES | NO | N/A |
|------|--|-----|----|-----|
| 1 | CONTACT 811 UTILITY PRIOR TO EXCAVATION WORK. | | | |
| 2 | NOTIFY VOLTA & KIMLEY-HORN OF ANY DISCREPANCIES W/ PLANS OR POTENTIAL CONFLICTS. | | | |
| 3 | VERIFY ALL FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION IN ACCORDANCE WITH THESE PLANS. | | | |
| 4 | INSTALL WORK AREA PROTECTION MEASURES. | | | |
| 5 | FIELD LOCATE EXISTING UTILITIES AND CROSSINGS & VERIFY NO CONFLICTS W/PROPOSED INFRASTRUCTURE. | | | |
| 6 | FIELD VERIFY ALL STALL DIMENSIONS AND EQUIPMENT LOCATIONS. | | | |
| 7 | CONFIRM ALL ADA AND LOCAL REQUIREMENTS ARE MET. | | | |
| 8 | ESTABLISH TEMPORARY CONSTRUCTION ACCESS(ES). | | | |
| 9 | IMPLEMENT AND MAINTAIN EPSC CONTROL MEASURES PER LOCAL REQUIREMENTS. | | | |
| 10 | LOCATE VERTICAL AND HORIZONTAL UTILITIES PRIOR TO BORING. | | | |
| 11 | PROVIDE PROPOSED LIMITS OF ASPHALT OVERLAY SKETCH TO KIMLEY-HORN & VOLTA (IF NEEDED). | | | |
| 12 | SEED & STABILIZE ALL DISTURBED AREAS AFTER FINAL GRADING. | | | |

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BUILDING/ DWELLING, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE/LIFE SAFETY CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THE LOCAL GOVERNING AUTHORITIES CODES.

VOLTA PROPOSES:

- 4 STANDARD PARKING STALLS ARE TO BE CONVERTED INTO 4 STANDARD ELECTRIC VEHICLE (EV) PARKING STALLS. 4 ELECTRIC VEHICLE CHARGING STATIONS ARE TO BE INSTALLED IN LANDSCAPE ISLANDS ADJACENT TO THE EV PARKING STALLS. ELECTRICAL CONDUITS WILL BE EXTENDED FROM THE PROPOSED ELECTRICAL EQUIPMENT AREA TO THE ELECTRIC VEHICLE CHARGING STATIONS. VOLTA WILL ALSO PAINT AND MARK ALL EV CHARGING PARKING STALLS AND INSTALL NECESSARY PARKING SIGNS.

APPLICANT:

KIMLEY-HORN & ASSOCIATES, INC.
3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
CONTACT: LOGAN LINDSLEY, P.E.
PHONE: (972) 776-1716
EMAIL: LOGAN.LINDSLEY@KIMLEY-HORN.COM

VOLTA REPRESENTATIVE:

VOLTA
155 DE HARO STREET
SAN FRANCISCO, CA 94103
CONTACT: RICHARD SCHNIPKE
PHONE: (740) 965-1342
EMAIL: RICHARD.SCHNIPKE@VOLTACHARGING.COM

SITE PARTNER:

KOHL'S DEPARTMENT STORES
8100 MACEDONIA COMMONS BLVD.
MACEDONIA, OH 44056

PROGRAM MANAGER:

KIMLEY-HORN & ASSOCIATES, INC.
CONTACT: RYAN GRAM, P.E.
PHONE: (615) 564-2865
EMAIL: RYAN.GRAM@KIMLEY-HORN.COM

CIVIL ENGINEER:

KIMLEY-HORN & ASSOCIATES, INC.
CONTACT: DERIK LEARY, P.E.
PHONE: (614) 454-6697
EMAIL: DERIK.LEARY@KIMLEY-HORN.COM

ELECTRICAL ENGINEER:

KIMLEY-HORN & ASSOCIATES, INC.
CONTACT: DUSTIN COLWELL, P.E.
PHONE: (708) 485-9298
EMAIL: DUSTIN.COLWELL@KIMLEY-HORN.COM

| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

ISSUE DATE

06/01/2022

ISSUED FOR

PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**KOHL'S
MACEDONIA**

**8100 MACEDONIA
COMMONS BLVD.
MACEDONIA, OH 44056**

SHEET TITLE

COVER SHEET

SHEET NUMBER

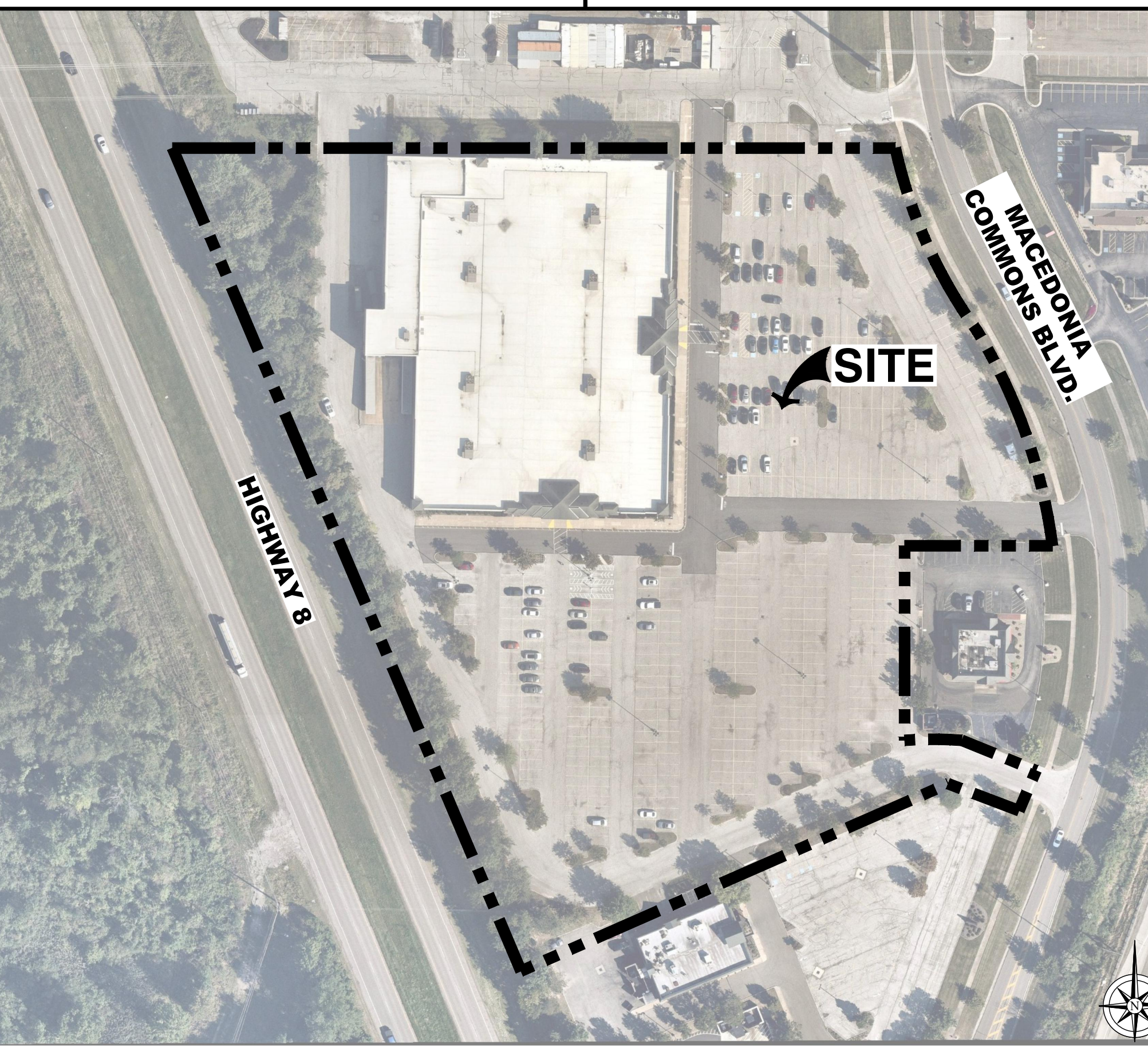
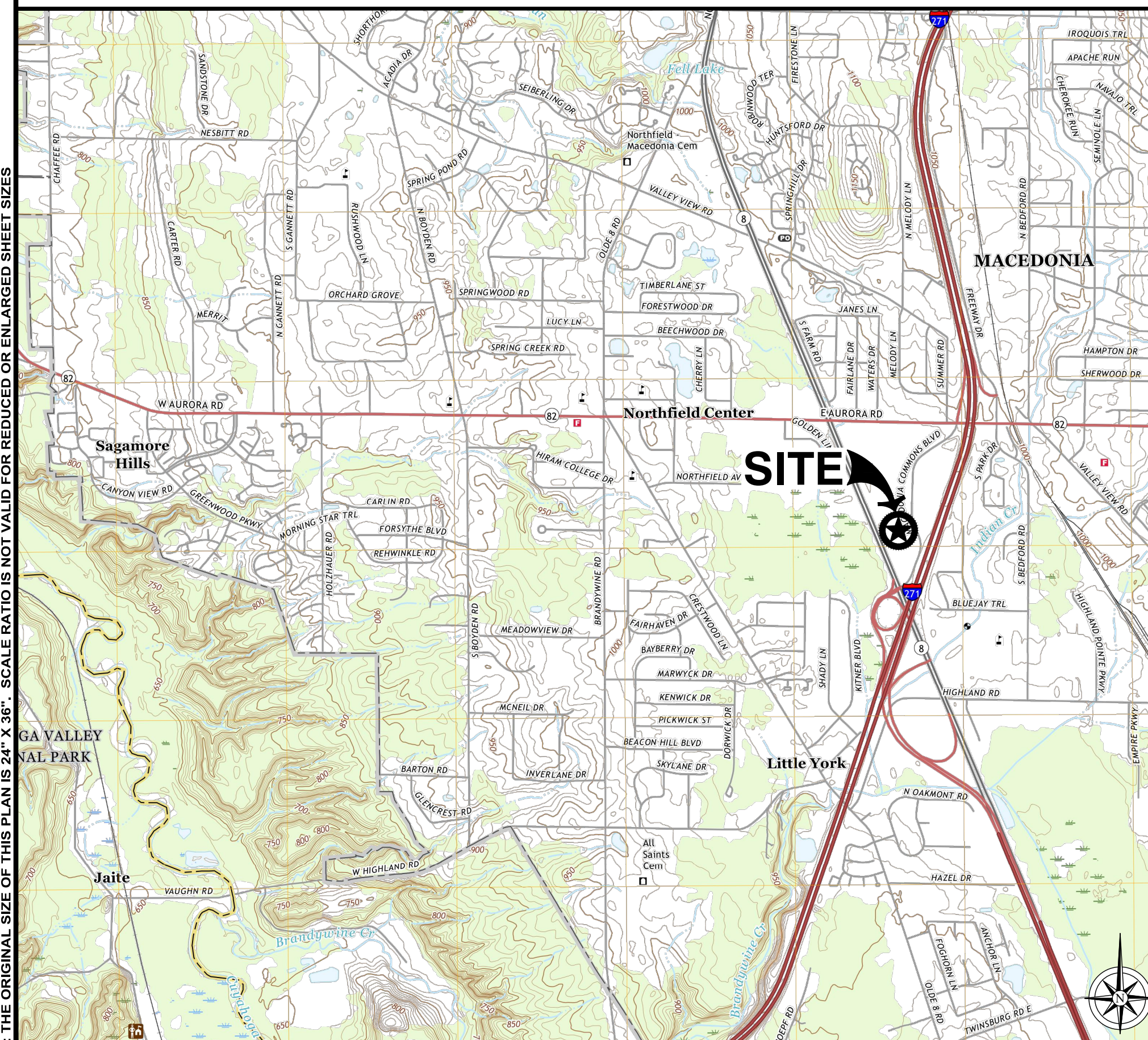
C0-00

CONTRACTOR VERIFICATION CHECKLIST

CODE BLOCK

PROJECT DESCRIPTION

PROJECT TEAM



LOCATION MAP

VICINITY MAP

| SHEET NUMBER | SHEET TITLE |
|--------------|-----------------------------|
| C0-00 | COVER SHEET |
| C0-01 | GENERAL NOTES |
| C0-02 | VOLTA STATION OVERVIEW |
| C1-00 | OVERALL SITE PLAN |
| C2-00 | ENLARGED SITE PLAN |
| C3-00 | SITE DETAILS |
| C3-01 | SITE DETAILS |
| C3-02 | SITE DETAILS |
| C3-03 | SITE DETAILS |
| C3-04 | SITE DETAILS |
| C3-05 | SITE DETAILS |
| E1-00 | ELECTRICAL ONE LINE DIAGRAM |
| E2-00 | ELECTRICAL NOTES & DETAILS |

SHEET INDEX



DIG ALERT

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING LOCATIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

Know what's BELOW.
CALL before you dig.

CALL AT LEAST TWO WORKING
DAYS BEFORE YOU DIG

CALL BEFORE YOU DIG

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

GENERAL NOTES:

- VOLTA WILL PROVIDE AN INSTALLATION GUIDE AND OTHER SUPPORTING DOCUMENTS AT TIME OF CONSTRUCTION.
- ALL EXISTING CONDITIONS SHOWN ARE APPROXIMATE. EXISTING UTILITY LOCATIONS AND CROSSINGS ARE TO BE LOCATED IN THE FIELD. CONTRACTOR IS TO CONTACT 811 UTILITY PRIOR TO BEGINNING ANY EXCAVATION WORK.
- ALL PAVEMENT, LANDSCAPING, UTILITIES, AND OWNER PROPERTY THAT IS DAMAGED OR AFFECTED BY CONSTRUCTION SHALL BE RETURNED TO EXISTING CONDITIONS OR BETTER AT THE CONTRACTOR'S EXPENSE.
- PROPOSED PAVEMENT STRIPING SHALL LINE UP WITH EXISTING STRIPING WHEREVER POSSIBLE. ADDITIONAL PAVEMENT STRIPE IS NOT NECESSARILY PARALLEL TO THE CONSTRUCTED CHARGING ISLAND.
- THIS ACCESSIBILITY REVIEW WAS UNDERTAKEN TO IDENTIFY DESIGN FEATURES OF THE PROJECT THAT MAY BE CONSIDERED BY GOVERNMENTAL AGENCIES OR DEPARTMENTS, OR NON-GOVERNMENTAL GROUPS TO BE NON-COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, REVISED 2010 ADA REGULATIONS AND STANDARDS. THE AMERICANS WITH DISABILITIES ACT OF 1990 IS A FEDERAL CIVIL RIGHTS LAW, THERE IS NO FEDERAL REVIEW PROCESS TO ENSURE FULL COMPLIANCE WITH THE GUIDELINES, EXCEPT THROUGH THE FEDERAL COURT SYSTEM. THE DEPICTIONS, NOTES, AND RECOMMENDATIONS, EXPRESSED ON THIS PLAN ARE BASED ON PROFESSIONAL JUDGEMENT GAINED FROM PAST EXPERIENCE WITH ACCESSIBILITY LAWS, CODES, AND STANDARDS AND THE WORKING INVOLVEMENT TO DEVELOP ACCESSIBILITY STANDARDS THAT WILL MEET OR EXCEED THE APPLICABLE FEDERAL GUIDELINES. ACCORDINGLY, NO CLAIMS OR WARRANTIES, EXPRESSED OR IMPLIED, ARE MADE THAT IN PREPARING THIS PLAN AND PROPOSING RECOMMENDATIONS, THAT ALL POSSIBLE BARRIERS TO ALL PEOPLE HAVE BEEN IDENTIFIED.
- CONTRACTOR SHALL ACHIEVE A MINIMUM OF 1% BUT NO MORE THAN A 2% SLOPE IN ANY DIRECTION WITHIN ADJACENT ACCESSIBLE SPACE AND BLEND ASPHALT OVERLAY TO EXISTING GRADES AS REQUIRED. CONTRACTOR SHALL PROVIDE A SKETCH TO VOLTA OF PROPOSED LIMITS OF ASPHALT OVERLAY TO ACHIEVE THIS REQUIREMENT PRIOR TO BEGINNING PAVEMENT WORK.
- ACCESSIBLE EV STALLS WERE DESIGNED BASED ON EXISTING CONDITIONS AND WITHOUT THE BENEFIT OF SURVEY DATA. ALL ADA AND LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO SLOPE AND SPACING SHALL BE CONFIRMED BY THE CONTRACTOR AND MET AT THE TIME OF CONSTRUCTION.
- CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN ACCESSIBILITY PRIOR TO CONSTRUCTION.
- UNDER NO CIRCUMSTANCE IS THE CONTRACTOR TO DISRUPT ANY OPERATIONS AT THE SITE HOST LOCATION, INCLUDING BUT NOT LIMITED TO CUSTOMER DISRUPTION, UTILITIES, AND INFRASTRUCTURE.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT WORK AREAS WITH CONES AND/OR BARRICADES AT ALL TIMES.

EROSION CONTROL & GRADING NOTES:

- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
- DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION, MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN. THE CONTRACTOR IS TO NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.
- STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.
- CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
- MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
- PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
- DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
- SEQUENCE OF CONSTRUCTION INCLUDED ABOVE IS A GENERAL OVERVIEW, AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION IF ANY ADDITIONAL DETAIL IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE AHJ REQUIREMENTS.

ADA COMPLIANCE:

- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH AND FULL DEPTH OF THE CURB RAMP, NOT INCLUDING FLARES.
- ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

SITE NOTES:

- HORIZONTAL DIRECTIONAL DRILLING (HDD) OR OTHER TRENCHLESS METHODS AS APPROVED BY SITE HOST ARE THE PREFERRED METHOD TO INSTALL CONDUIT BENEATH EXISTING PARKING LOTS AND PAVED AREAS.
 - CONDUIT SHALL BE INSTALLED AT A MINIMUM DEPTH OF TWO AND ONE-HALF FEET (2.5') OR BELOW THE FREEZE LINE, WHICHEVER IS DEEPER. CONDUIT TYPE AND DESIGN TO BE SPECIFIED BY EV CHARGING STATION VENDOR AND MEET ALL LOCAL REQUIREMENTS. CONDUIT DIAMETER SHALL BE NO LARGER THAN TWO (2) INCHES.
 - THE RECEIVING PIT SHALL BE LOCATED AS CLOSE AS REASONABLY POSSIBLE TO THE PROPOSED WALL PENETRATION TO LIMIT THE LENGTH OF BUILDING-MOUNTED CONDUIT. LOCATE RECEIVING PIT WITHIN ASPHALT PAVED AREA OR CONCRETE SIDEWALK AREA. RECEIVING PIT SHALL NOT BE LOCATED WITHIN THE UNLOADING PAD [SIX TO TEN INCH (6-10") REINFORCED CONCRETE SLAB AT THE REAR OF THE STORE]. RECEIVING PIT LOCATION AND WORK AREA SHALL NOT AFFECT SITE HOST CUSTOMER OR DELIVERY TRAFFIC. SEE SUPPLEMENTAL DOCUMENTS, RECEIVING AREA DIAGRAM. THE RECEIVING PIT SIZE SHALL BE LIMITED TO THREE FEET (3') BY THREE FEET (3') AND SHALL NOT UNDERMINE THE BUILDING FOUNDATION, ENCLOSURES OR CONCRETE UNLOADING PAD. BACKFILL EXCAVATIONS AND REPAIR PAVEMENT PER SPECIFICATIONS BELOW.
 - WHERE CONCRETE PAVEMENT, SIDEWALK, ASPHALT PAVEMENT, CURBING, OR CURBING GUTTER IS REMOVED, THE WIDTH OF THE REMOVAL SHALL EXCEED THE ACTUAL WIDTH AT THE TOP OF THE TRENCH BY TWELVE INCHES (12") ON EACH SIDE OF THE TRENCH, OR A TOTAL OF TWO FEET (2') WIDER THAN THE TRENCH.
 - TRENCHING THROUGH THE CONCRETE RECEIVING PAD AT THE REAR OF THE STORE OR THE DRIVE-THRU SLAB IS NOT ALLOWED. ONLY TRENCHING THROUGH MINOR CONCRETE INSTALLATIONS SUCH AS SIDEWALKS WILL BE PERMITTED.
 - EXCAVATE TRENCHES TO A DEPTH FOUR INCHES (4") DEEPER THAN BOTTOM OF FINISHED PIPE ELEVATION.
 - THE BOTTOM WIDTH OF THE TRENCH SHALL BE AS REQUIRED TO PERMIT CONDUIT TO BE PROPERLY LAIN AND BACKFILL TO BE PLACED AND PROPERLY COMPACTED.
 - REMOVED PAVEMENT, CONCRETE AND EXCAVATED MATERIALS UNSUITABLE FOR USE AS BACKFILL SHALL BE DISPOSED OFFSITE.
 - BEDDING AND BACKFILL MAY BE MATERIAL EXCAVATED FROM THE TRENCH PROVIDED THAT IT IS FREE FROM DEBRIS AND ROCKS LARGER THAN ONE AND ONE-HALF INCHES (1-1/2").
 - OVER THE PIPE, IN LAYERS NOT EXCEEDING FOUR INCHES (4"), PLACE AND COMPACT SUITABLE FILL MATERIAL TO NINETY-FIVE PERCENT (95%) DRY DENSITY AS DETERMINED BY ASTM D698.
 - COMPACTING EQUIPMENT SHALL BE OF SUCH DESIGN, WEIGHT, AND QUALITY AS IS REQUIRED TO OBTAIN THE DENSITIES SPECIFIED HEREIN OR INDICATED ON THE DESIGN DRAWINGS. AREAS INACCESSIBLE TO SELF-PROPELLED COMPACTING EQUIPMENT SHALL BE COMPACTED OR CONSOLIDATED BY HAND-OPERATED MECHANICAL TAMPERS OR VIBRATORS.
 - RESTORE GRASS, LANDSCAPING, IRRIGATION AND ALL FEATURES TO THEIR PRECONSTRUCTION CONDITION.
- ANY UTILITIES, PAVEMENT, IRRIGATION, LANDSCAPING OR OTHER SITE FEATURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY EV CHARGING STATION VENDOR TO SITE HOST SPECIFICATION.
 - WHERE LANDSCAPING IS IMPACTED, IT IS THE RESPONSIBILITY OF EV CHARGING STATION VENDOR TO REPOSITION OR PROVIDE NEW LANDSCAPING WITHIN THE SITE HOST PROPERTY TO ENSURE COMPLIANCE WITH ANY CODE REQUIREMENTS.
 - WHERE PARKING LOT, SIDEWALK OR OTHER PAVED AREAS ARE IMPACTED OR DAMAGED, IT IS THE RESPONSIBILITY OF THE EV CHARGING STATION VENDOR TO REPAIR THE AREA TO LIKE NEW CONDITION. REPAIR SHOULD EXTEND BEYOND DAMAGED AREA TO NEAREST CLEAN BREAK THAT ALIGNS WITH ARCHITECTURAL BREAKS, MATERIAL JOINTS, PAVEMENT MARKINGS, ETC.
- WHERE APPLICABLE, UTILITY SERVICE PROVIDER TO USE SITE HOST APPROVED ROE (RIGHT OF ENTRY) AGREEMENT. SITE HOST PROGRAM MANAGER WILL PROVIDE TEMPLATE WHEN NECESSARY.
- ASPHALT PAVEMENT REMOVAL AND REPLACEMENT
 - SAW CUT THE PAVEMENT TO NEAT, STRAIGHT LINES TO THE FULL DEPTH OF THE PAVEMENT. PAVEMENT REMOVAL SHALL EXTEND A MINIMUM OF TWELVE INCHES (12") BEYOND THE EDGES OF THE REMOVAL AREA. ANY OTHER PAVEMENT AREAS DAMAGED DURING REMOVAL SHALL ALSO BE REPAIRED OR REPLACED AS NECESSARY.
 - REMOVE THE PAVEMENT WITHOUT DAMAGING THE PAVEMENT THAT IS TO REMAIN IN-PLACE.
 - IF BASE REPLACEMENT IS REQUIRED, COMPACT THE IN-SITU SOILS TO NINETY-FIVE PERCENT (95%) ASTM D698 AND PLUS OR MINUS TWO PERCENT (2%) OF OPTIMUM MOISTURE CONTENT. REMOVE AND REPLACE ANY UNSUITABLE IN-SITU SOILS.
 - PLACE AND COMPACT BASE MATERIAL TO NINETY-FIVE PERCENT (95%) OF ASTM D698.
 - APPLY PRIME COAT TO AGGREGATE BASE IN COMPLIANCE WITH THE DOT SPEC. PRIME COAT SHALL NOT BE APPLIED MORE THAN TWENTY-FOUR (24) HOURS BEFORE ASPHALT PAVEMENT IS PLACED. APPLICATION RATE TO BE PER THE DOT SPEC.
 - CLEAN AND APPLY TACK COAT TO THE ENDS OF CURBS, EDGES OF CONCRETE SURFACES, EDGES OF MANHOLES AND INLETS AND EDGES OF SAW CUT PAVEMENT THAT WILL REMAIN IN-PLACE.
 - PLACE AND COMPACT HOT-MIX ASPHALT. HOT-MIX ASPHALT THICKNESS SHALL BE THE GREATER OF THE IN-PLACE ASPHALT OR THREE AND ONE-HALF INCHES (3.5"), ASPHALT MIX DESIGN SHALL BE BY THE CONTRACTOR.
 - PLANT MIXED ASPHALT BASE/BINDER COURSE: PROVIDE ONE COURSE LAID TO A MINIMUM COMPACTED THICKNESS OF TWO INCHES (2").
 - PLANT MIXED ASPHALT SURFACE COURSE: PROVIDE ONE COURSE LAID TO A MINIMUM COMPACTED THICKNESS OF ONE AND ONE-HALF INCHES (1-1/2").
 - FOR SMALLER JOBS, IT MAY NOT BE FEASIBLE TO INSTALL BINDER AND SURFACE COURSES, IN WHICH CASE SURFACE COURSE, PLACED AND COMPACTED IN TWO LIFTS, WILL BE ACCEPTED.
 - IF PLACING HOT MIX ASPHALT WITH A SHOVEL, BEGIN PLACING HMA AGAINST THE EDGES OF THE PATCH AND WORKING INWARD. HMA SHOULD NOT BE PLACED IN THE CENTER OF THE PATCH AND RAKED TOWARDS THE EDGES.
 - THE FIRST PASS OF THE ROLLER OR COMPACTION EQUIPMENT SHOULD BE ALONG THE EDGES OF THE PATCH TO PROPERLY FORM THE JOINT. THE ROLLER WHEEL OR COMPACTION EQUIPMENT SHOULD OVERHANG THE EXISTING PAVEMENT ONTO THE PATCH BY SIX INCHES (6"). AFTER THE PERIMETER OF THE PATCH HAS BEEN COMPACTED BEGIN TO WORK TOWARDS THE CENTER OF THE PATCH WITH SUCCESSIVE PASSES OFFSET BY SIX INCHES (6").
 - THE CONTRACTOR SHALL UTILIZE THE APPROPRIATE HEAVY COMPACTION EQUIPMENT TO ACHIEVE THE REQUIRED COMPACTION OF THE ASPHALT.
 - SEAL THE AREA AROUND THE EDGES WITH AN ELASTOMERIC LIQUID ASPHALT SEALER TO PROTECT AGAINST WATER INFILTRATION, INCLUDING ANY INADVERTENT OVERCUTS DURING THE SAW CUTTING PROCEDURE.

PROJECT LEGEND:
(SCALE VARIES PER SHEET)

| | |
|--|---|
| | DETAIL NO. C3-01 |
| | PROPERTY LINE |
| | BREAK LINE |
| | EXISTING CURB AND GUTTER |
| | EXISTING PARKING STRIPE |
| | EXISTING FENCE |
| | EXISTING OVERHEAD POWER LINE |
| | EXISTING CONCRETE |
| | EXISTING GRAVEL AREA |
| | EXISTING LANDSCAPED AREA |
| | EXISTING TREE |
| | EXISTING SHRUB |
| | EXISTING ROCK |
| | EXISTING FIRE HYDRANT |
| | EXISTING CATCH BASIN / MANHOLE |
| | EXISTING POWER POLE |
| | EXISTING LIGHT POLE |
| | EXISTING SIGN POST |
| | EXISTING UTILITY / STRUCTURE |
| | EXISTING ELECTRICAL ROOM / PANEL / EQUIPMENT AREA |
| | PROPOSED ELECTRICAL CONDUIT |
| | PROPOSED ELECTRICAL JUNCTION BOX |
| | PROPOSED COMMUNICATIONS CONDUIT |
| | PROPOSED COMMUNICATIONS JUNCTION BOX |
| | PROPOSED CURB AND GUTTER |
| | PROPOSED PARKING STRIPE |
| | PROPOSED CONCRETE WHEEL STOP |
| | PROPOSED CONCRETE PAD |
| | PROPOSED TREE PROTECTION |
| | PROPOSED TREX FENCING |
| | PROPOSED VOLTA L2 CHARGING STATION |
| | PROPOSED VOLTA L2 POST-INSTALLED CHARGING STATION |
| | PROPOSED VOLTA L2 EVCS W/ 4" PIPE BOLLARDS |
| | PROPOSED VOLTA L3 DCFC CHARGING STATION |
| | PROPOSED PCS FOUNDATION |
| | PROPOSED PCS FOUNDATION W/ 4" BOLLARDS |
| | PROPOSED L2 REMOTE CHARGING UNIT / CHARGING PEDESTAL FOUNDATION |
| | PROPOSED eBOX & eCLICK |
| | PROPOSED SIGN POST |
| | PROPOSED SIGN POST W/ BOLLARD |
| | PROPOSED POST INSTALLED SIGN POST |
| | PROPOSED POST INSTALLED SIGN POST W/ BOLLARD |
| | PROPOSED WALL MOUNTED SIGN |
| | PROPOSED 4" ISOLATED PIPE BOLLARD |

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

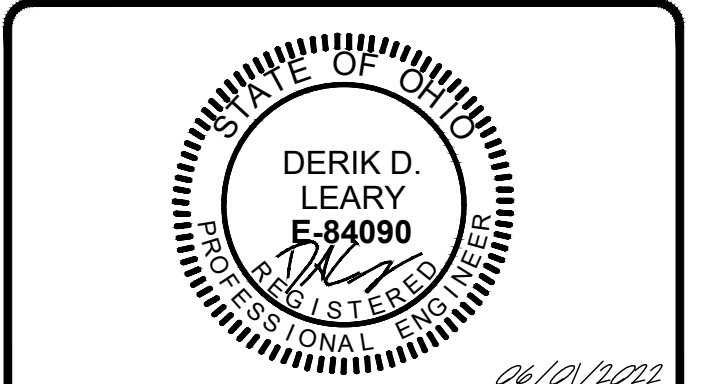
Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

ISSUE DATE
06/01/2022

ISSUED FOR
PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

KOHL'S MACEDONIA
8100 MACEDONIA COMMONS BLVD.
MACEDONIA, OH 44056

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
C0-01



180 kW DC Fast Media Station

Future-proof your property with DC Fast. Charging Designed For You™

Volta Charging is driving the transition to clean electric transportation by transforming properties with electric vehicle charging. No longer will people drive to fuel, but fuel where they go.



Volta's specialized software customizes charging speed to match your property needs

Volta's turn-key electric vehicle charging is tailored to each location's needs and desired customer experience to increase traffic and customer engagement. Our fully integrated EV chargers include high-impact digital media screens that provide properties with branding and messaging as well as additional revenue opportunities.

Key features

- Turn-Key Solution, White Glove Service**
 - All installation costs covered by Volta (chargers, engineering, permitting, construction services)
 - Ongoing networking, maintenance & monitoring
 - Over-the-air station software updates
 - 24/7 customer support

- Volta Media Advantage**
 - Dual 55" digital displays with dynamic media content
 - Curated brand & community messaging opportunities
 - Engagement opportunities & QR capabilities

- Cloud-Based Partner Portal**
 - Real-time station status
 - Accessible partner portal reporting utilization insights, data & ESG analytics

- Fast Charging Capability**
 - Charges up to 180 kW (100-700 mph)
 - Dwell times of 20 minutes - 2 hours
 - CCS connector

- Dedicated Mobile App**
 - Real-time station availability
 - Check-in & charging session details
 - Supports Apple Pay, Google Pay & credit card

- Flexible Payment Options (in development)**
 - Tap or Call
 - Volta app, Apple Pay, Google Wallet & credit card

- Patented & Award-Winning Station Design**
 - Weather-resistant enclosure
 - ETL listed and UL recognized
 - Designed for ADA compliance

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

ISSUE DATE
06/01/2022

ISSUED FOR
PERMIT

**FOR REFERENCE ONLY
DESIGNED AND PROVIDED BY OTHERS**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

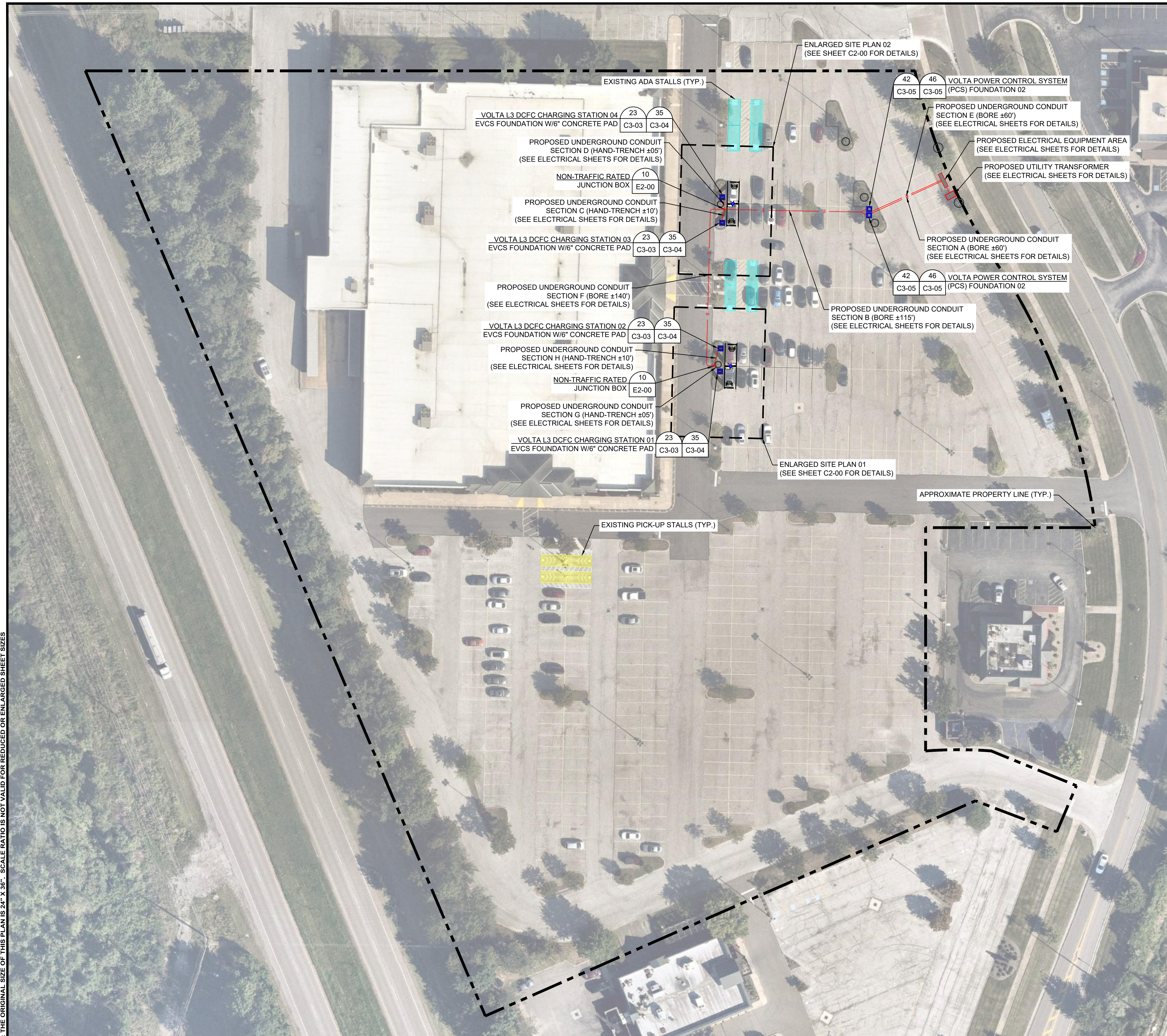
**KOHL'S
MACEDONIA**
**8100 MACEDONIA
COMMONS BLVD.
MACEDONIA, OH 44056**

SHEET TITLE
**VOLTA STATION
OVERVIEW**

SHEET NUMBER
C0-02

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



OVERALL SITE PLAN

DISCLAIMER

THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. KIMLEY-HORN AND VOLTA DO NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND IS TO ALERT THE ENGINEER AND VOLTA OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH VOLTA PM FOR ALL FINAL PLACEMENTS OF INFRASTRUCTURE.

CONSTRUCTION NOTES:

- CONTRACTOR RESPONSIBILITIES CONSISTS OF, BUT NOT LIMITED TO, CHARGING STATION MOUNTING, FOUNDATION CONSTRUCTION, CONDUIT INSTALLATION, AND WIRING.
- CONTRACTOR TO PAINT PROPOSED EV PARKING STALLS PER JURISDICTIONAL REQUIREMENTS.
- CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY CONSTRUCTION ACTIVITY. SEE SHEET C3-00 FOR DETAILS.
- EXACT STATION PLACEMENT AND ROTATION ANGLE MAY VARY SLIGHTLY UPON INSTALLATION DEPENDING ON SITE CONDITIONS.
- CONTRACTOR TO FIELD VERIFY ALL STALL DIMENSIONS AND ALL EQUIPMENT LOCATIONS TO ENSURE SUFFICIENT SPACE IS AVAILABLE.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS WHEN DRILLING INTO EXISTING CIP SLAB AND CIP DROP PANELS TO AVOID DAMAGE TO ANY REINFORCING AND EXISTING STRUCTURAL COMPONENTS.
- USE APPROVED ASTM METHOD (X-RAY, PACOMETER, GPR, ETC.) TO LOCATE MILD STEEL AND PRE-STRESSING TENDONS PRIOR TO DRILLING. DO NOT CUT OR DRILL THROUGH ANY EXISTING REINFORCING. ENSURE 1" GAP MIN. BETWEEN REBAR AND ANCHORAGE.
- CONDUIT RUN TO HANG FROM CEILING THROUGH PARKING GARAGE AND PENETRATE FLOOR/WALL ONLY AS NEEDED.
- VOLTA WILL MAKE EVERY EFFORT TO FOLLOW, WITH THEIR PROPOSED CONDUIT, AN EXISTING CONDUIT ROUTE FROM ELECTRICAL ROOM TO PROPOSED STATION PLACEMENTS. WHEN AN EXISTING ROUTE IS NOT AVAILABLE, VOLTA WILL MAKE EVERY EFFORT TO CONCEAL/HIDE, PAINT AND MINIMIZE VISUAL IMPACT OF CONDUITS ANYWHERE THEY MAY BE VISIBLE TO THE PUBLIC.
- CONTRACTOR IS RESPONSIBLE TO LOCATE ALL VERTICAL AND HORIZONTAL UTILITIES PRIOR TO DIRECTIONAL BORING. ANY ALTERATIONS TO THE PROPOSED CONDUIT ROUTE ARE TO BE COORDINATED WITH THE PROFESSIONAL ENGINEER(S) PRIOR TO CONSTRUCTION.
- ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO LOCATE JUNCTION BOX OR APPROVED ALTERNATIVE FOR SITE SPECIFIC RUN LENGTHS AND BENDS.
- DEVIATION FROM PLAN ON THE PROPOSED CONDUIT METHOD IS AT THE CONTRACTOR'S DISCRETION AND SHOULD BE DETERMINED BASED ON EXISTING UNDERGROUND FIELD CONDITIONS. ANY DEVIATIONS SHALL BE APPROVED BY VOLTA AND THE SITE HOST. CONTRACTOR TO ENSURE ALL CONDUIT INSTALLATION METHODS ARE APPROVED BY LOCAL JURISDICTION AND INSPECTOR.

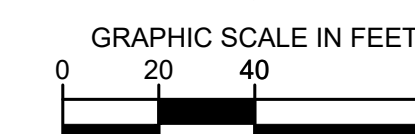
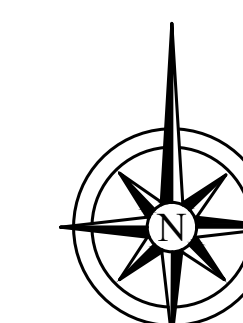
PARKING NOTE:

- THIS PROJECT PROPOSES TO UPGRADE (4) STANDARD PARKING STALLS TO (4) EV PARKING STALLS FOR EV READINESS. NO PARKING REDUCTION IS PROPOSED.

REFERENCE NOTE:

- SEE PROJECT LEGEND ON SHEET C0-01 FOR SYMBOLS AND LINE TYPE DESCRIPTIONS.

IMAGE REFERENCE:
AERIAL IMAGE(S) PROVIDED BY NEARMAP
IMAGERY ©2021 Nearmap, HERE



volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

ISSUE DATE

06/01/2022

ISSUED FOR

PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**KOHL'S
MACEDONIA**

**8100 MACEDONIA
COMMONS BLVD.
MACEDONIA, OH 44056**

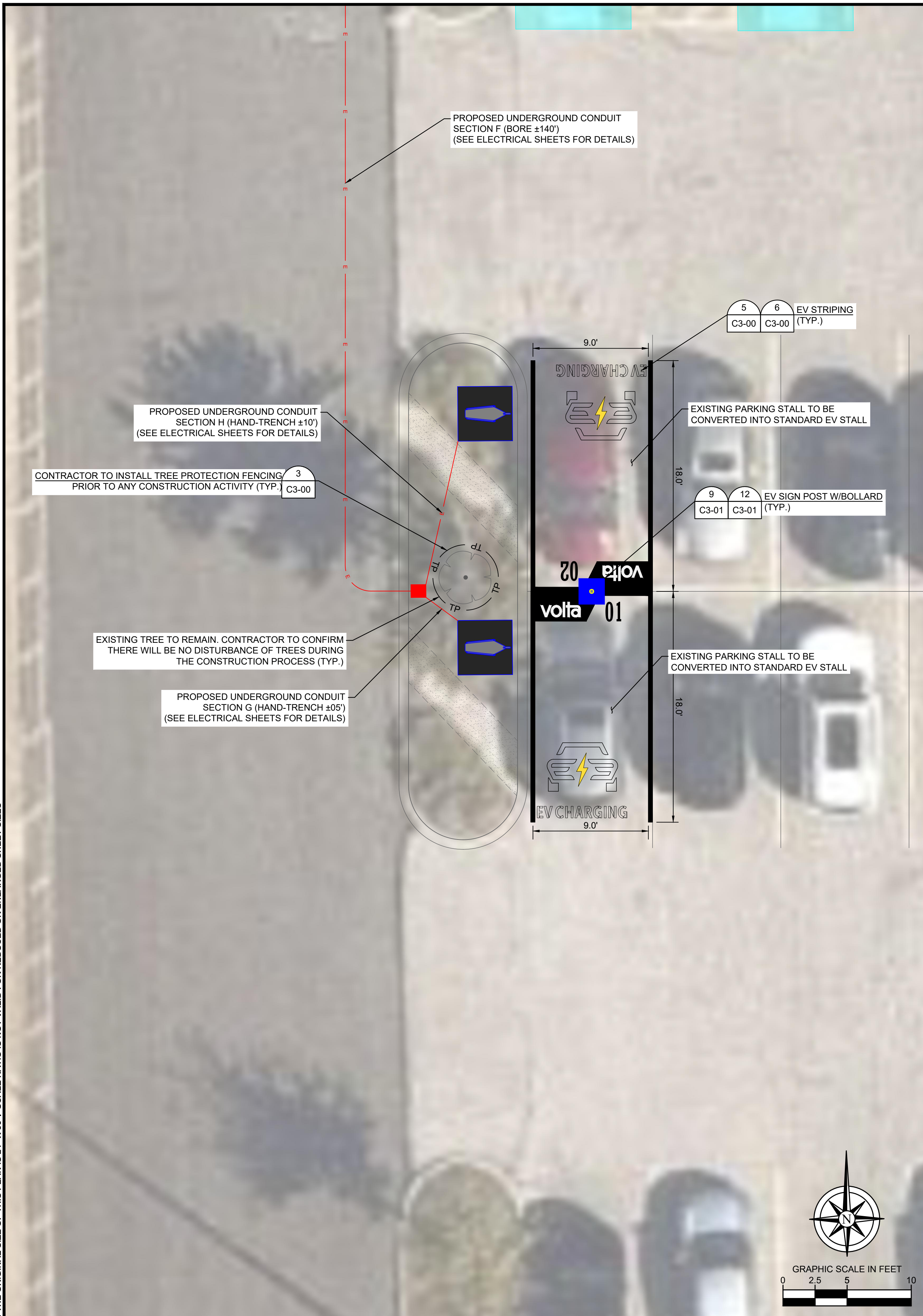
SHEET TITLE

**OVERALL SITE
PLAN**

SHEET NUMBER

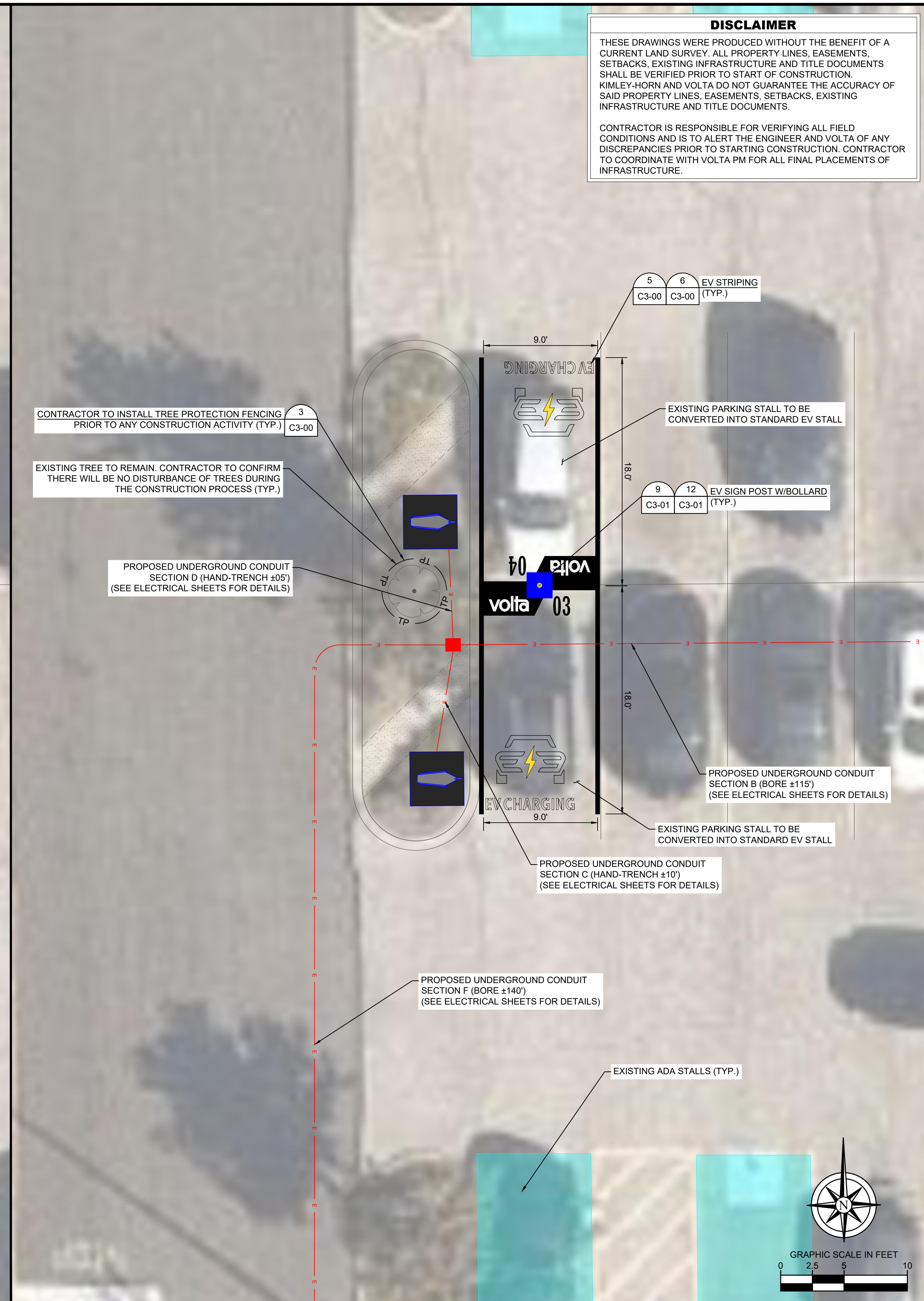
C1-00

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



ENLARGED SITE PLAN

1



ENLARGED SITE PLAN

2

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

ISSUE DATE
06/01/2022

ISSUED FOR
PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

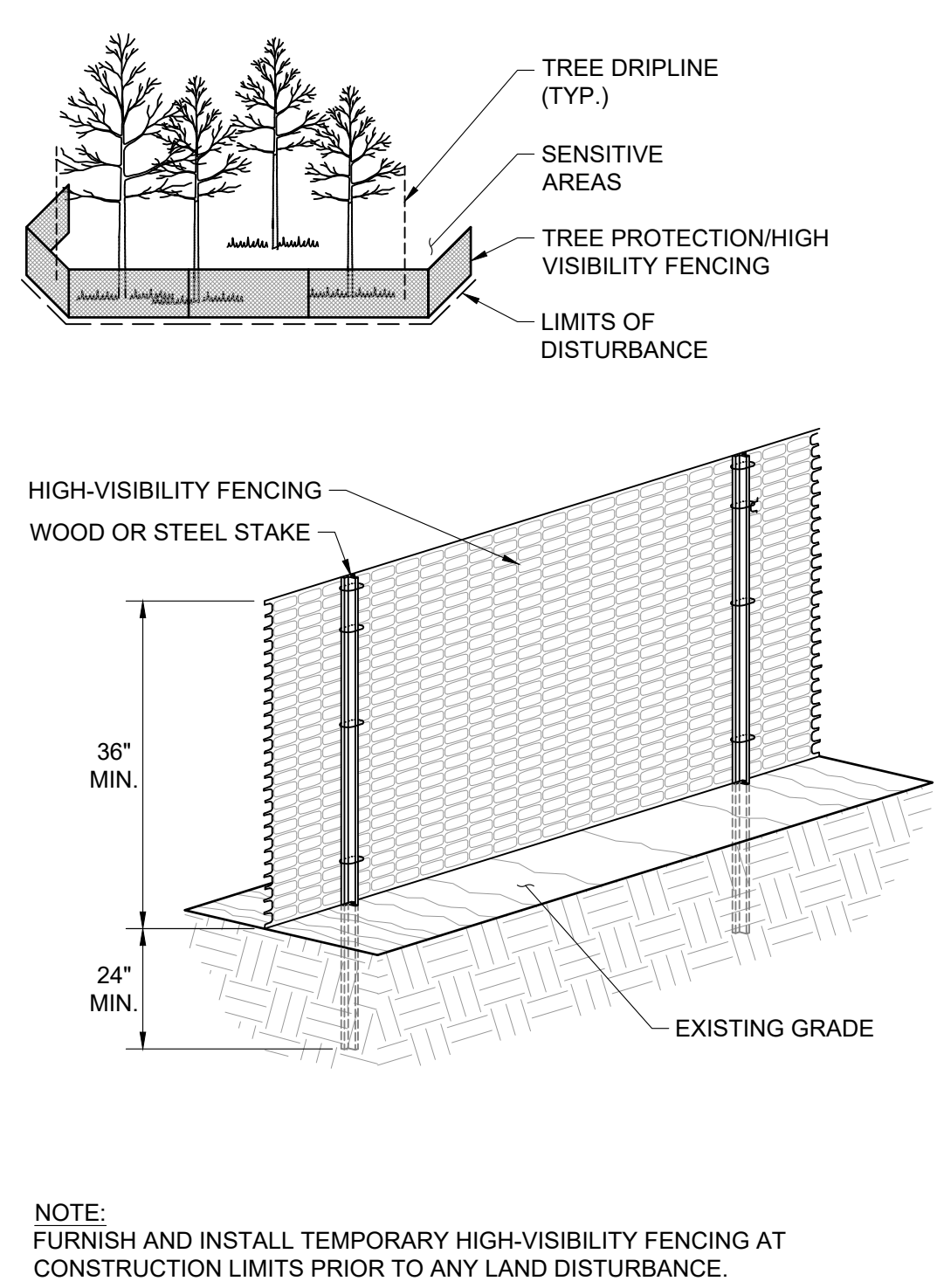
KOHL'S MACEDONIA

8100 MACEDONIA COMMONS BLVD. MACEDONIA, OH 44056

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
C2-00

1. UNLESS NOTED OTHERWISE, THE FOLLOWING NOTES RELATING TO THE "SITE DETAILS" SHEETS SHALL GOVERN.
2. COMPRESSIVE STRENGTH OF CONCRETE FOUNDATION SHALL BE A MINIMUM OF 4,500 PSI AT 28 DAYS WITH MAXIMUM W/C RATIO OF 0.45 AND AIR-CONTENT OF 5% +/- 1.5%.
3. MINIMUM YIELD STRENGTH OF REINFORCEMENT TO BE 60,000 PSI (ASTM-A615).
4. REFERENCE CIVIL AND ELEC. DRAWING FOR EQUIPMENT LAYOUT, LOCATION OF CONDUIT, ETC.
5. FINAL ANCHOR BOLT AND POLE DESIGN INCLUDING SIZE AND CONFIGURATION ARE BY MFR.
6. BEFORE STARTING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
7. NO GEOTECHNICAL ENGINEERING REPORT WAS PROVIDED BY THE OWNER. FOUNDATION DESIGN IS BASED ON A MINIMUM OF 1,500 PSF NET ALLOWABLE BEARING PRESSURE ON UNDISTURBED NATURAL SOIL OR COMPACTED FILL UNLESS OTHERWISE NOTED.
8. UNLESS OTHERWISE DIRECTED BY THE OWNER, ALL FOUNDATION WORK RELATED TO INSTALLATION OF REBAR SHALL BE INSPECTED BY OTHERS.
9. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE DESIGN OF THE EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. MANUFACTURER SHALL SUBMIT LOADS TO ENGINEER FOR RECORD KEEPING PURPOSES ONLY.
10. DESIGN IS BASED ON THE SPECIFIC EQUIPMENT SHOWN IN THESE DRAWINGS AND ILLUSTRATED ON THE VOLTA CUT SHEETS.
11. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LOCAL DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
12. ALL FOUNDATIONS ARE TO INCLUDE COMPACTED SUBGRADE AND MINIMUM 6" COMPACTED STONE BASE UNLESS OTHERWISE SPECIFIED.
13. BUILDING CODE: IBC 2018
DESIGN PARAMETERS (PER ASCE 7-16):
WIND SPEED: #28 MPH
EXPOSURE CATEGORY: C
TOPOGRAPHY CATEGORY: 1
RISK CATEGORY: II
SEISMIC PARAMETERS: Ss = #29g
S1 = #30g
SITE CLASS: D
FROST DEPTH: #31"
FEMA FLOOD ZONE: X
NOTE: BOLLARDS ARE NOT DESIGNED FOR FULL 6 KIP IMPACT LOADS UNLESS OTHERWISE NOTED AS "VEHICULAR RATED".



volta
155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn
3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

GENERAL NOTES
SCALE N.T.S. 1

NOT USED
SCALE N.T.S. 2

TREE PROTECTION
SCALE N.T.S. 3

NOT USED
SCALE N.T.S. 3

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS

Volta Charging STRIPING GUIDELINES

PRODUCTS
Cement & Asphalt Background: Latex-ite 4.75 Gal. Ultra Shield Driveaway Filler Sealer
Traffic Paint: Sherwin Williams TP2153 LF Yellow TTP-19520, TP2152 White TTP-19620

SURFACE PREP
Backgrounds are to only be painted for marquee locations or any location where the existing space has conflicting designations or is poor shape. For all other instances please proceed to branded striping.

CEMENT & ASPHALT BACKGROUND:
All backgrounds must run edge-to-edge across the entire parking space. Asphalt should be resealed with sealcoat.

BRANDED STRIPING

VOLTA LOGO:
Should match the overall background color of the parking stall (unless you are omitting the container shape according to other specs, if so paint it white).

LINES & STENCILS:
Use traffic grade yellow for the lightning bolt stencil. Use traffic grade white for all other lines and stencils.

- SHAPE (White)** Place flush with the top left corner.
- VOLTA LOGO** Center within the shape.
- NUMBERS (white)** The right number lines up flush right to the "Q" in "CHARGING" and flush top with the volta logo. There should be 3 inches in-between the left and right numbers. If stall is less than 8 feet, align numbers with the middle of the "Q". (See page 2).
- LETTERS (White)** Place centered, 4 inches from the bottom of the stall.
- CAR** Place centered 14 inches from the top of the letters.

*Mock up to scale 9'x18' stall.

1 of 3

volta
Founded in 2010. Designed in San Francisco, built to last in the USA.
info@voltacharging.com

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS

Volta Charging STRIPING GUIDELINES

ABSOLUTELY DO NOT

- Paint only a portion of the background (edge-to-edge or not at all)
- Paint the lightning bolt, any color but yellow or white
- Break EV CHARGING into 2 lines
- Only put a number in top right corner
- Paint the volta logo any color other than white or Battleship Blue/Sealcoat

ACCESORIES

- WHEEL STOPS** Place 8 inches above the volta logo, centered within the stall. Wheel Blocks should be painted white.
- ACCESS AISLE** Should be painted white.

CURBS No need to paint the curbs unless curbs are damaged and repaired. If repaired, paint the curb(s) to match existing conditions.

*Mock up to scale 9'x18' stall.
*Striping is subject to change per jurisdiction.

2 of 3

volta
Founded in 2010. Designed in San Francisco, built to last in the USA.
info@voltacharging.com

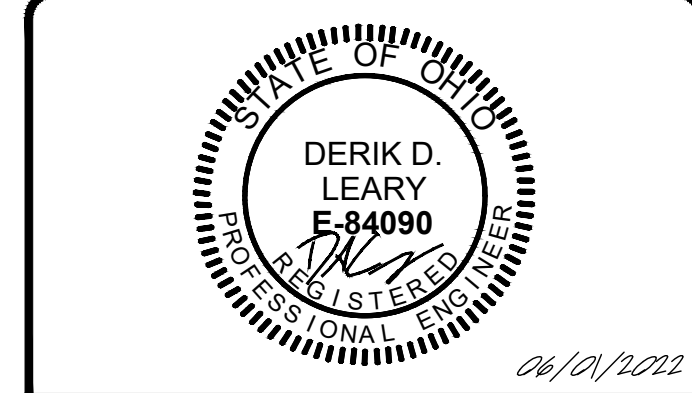
EV STRIPING GUIDELINES
SCALE N.T.S. 5

EV STRIPING GUIDELINES
SCALE N.T.S. 6

NOT USED
SCALE N.T.S. 7

ISSUE DATE
06/01/2022

ISSUED FOR
PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

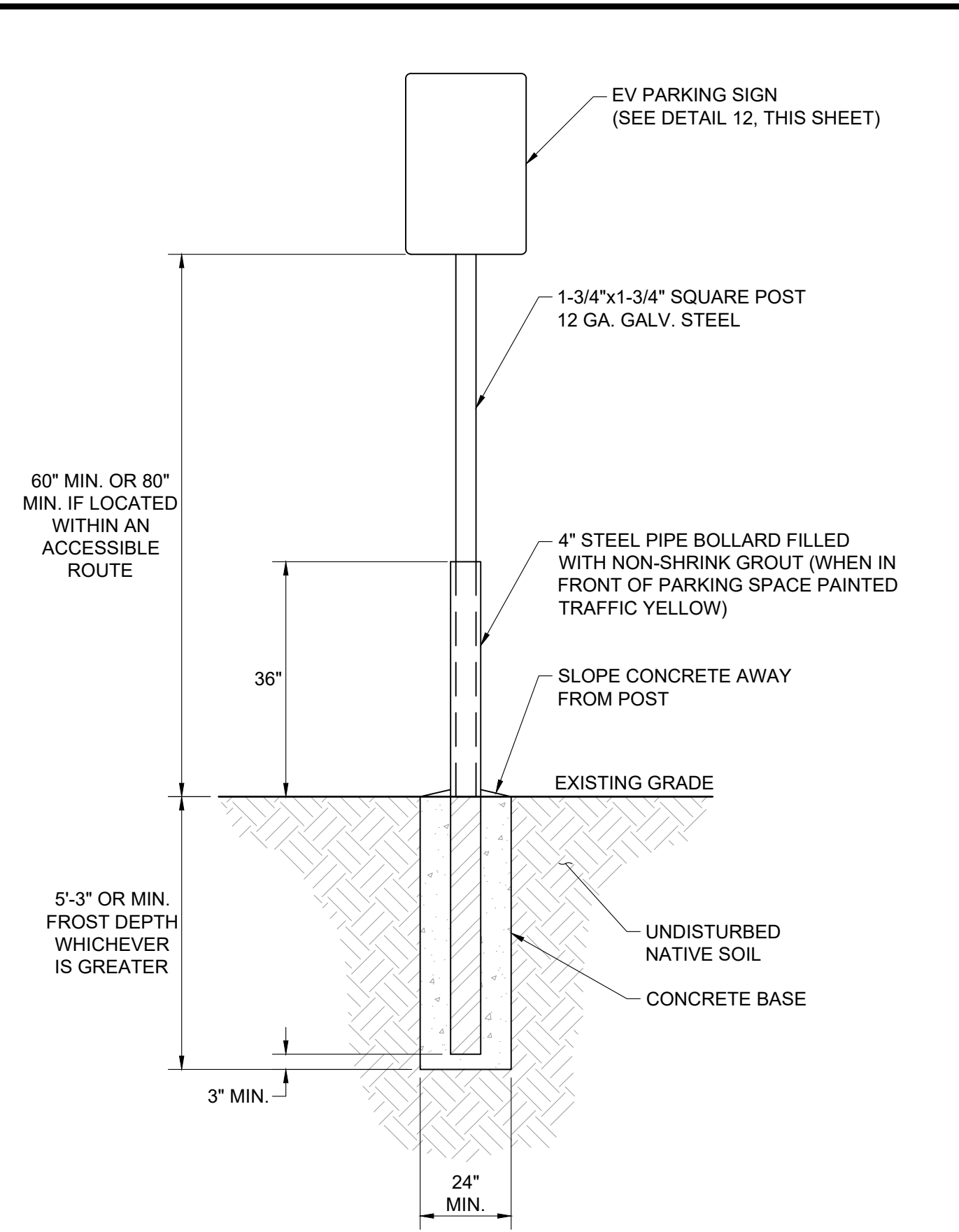
KOHL'S MACEDONIA
8100 MACEDONIA COMMONS BLVD.
MACEDONIA, OH 44056

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-00

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



- NOTES:
1. SIGN TO BE GREEN (PANTONE 355C) WITH WHITE LETTERING AND MUST BE REFLECTIVE LETTERING.
 2. TO BE PLACED AT HEAD OF PARKING STALL.
 3. POST MOUNTED OBJECTS PER ADA CODE SECTION 11B-307.3.
 4. THIS DETAIL SHALL BE USED WHEN SIGN POST IS LOCATED IN PARKING LOT PAVEMENT, OR WITHIN 2' CAR OVERHAND ZONE.
 5. REFER TO NOTES FOR ASSUMED GEOTECHNICAL 164 PARAMETERS. THIS SIGN DESIGN ASSUMES ASCE 7-10 WIND SPEED AND AN EXPOSURE CATEGORY B. IF EITHER OF THESE GEOTECHNICAL PROPERTIES OR ASCE 7-10 WIND PARAMETERS DIFFER BASED ON LOCATION THE DESIGN MUST BE UPDATED BY A STRUCTURAL ENGINEER.

NOT USED

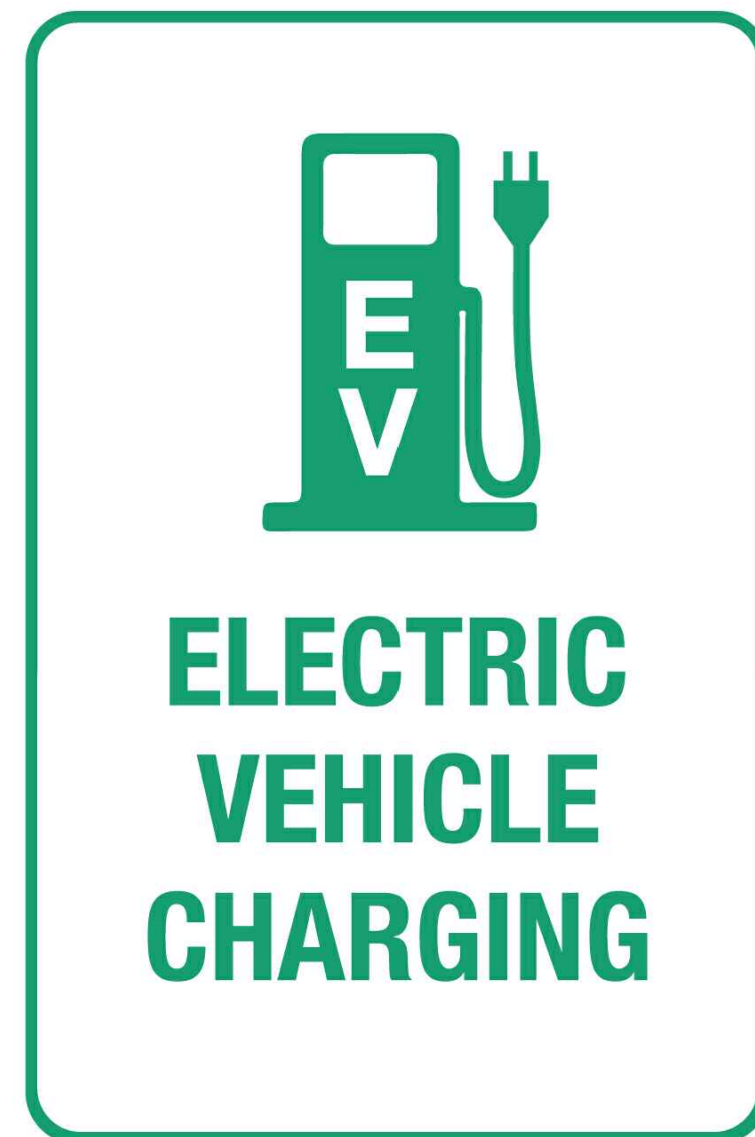
SCALE
N.T.S.

8

SIGN POST W/BOLLARD

SCALE
N.T.S.

9



SIGN INSTALLATION TYPE:
CONTRACTOR SHALL COORDINATE WITH VOLTA TO DETERMINE EVCS SIGN TYPE PRIOR TO INSTALLATION.

SIGN INSTALLATION HEIGHT:
ALL SIGNS TO BE INSTALLED AT 60" ABOVE FINISH FLOOR. IF SIGNS ARE LOCATED WITHIN AN ACCESSIBLE ROUTE, THEY WILL BE INSTALLED AT 80" ABOVE FINISHED FLOOR. MEASUREMENTS ARE TAKEN FROM BOTTOM OF LOWEST SIGN.

SCALE
N.T.S.

12

NOT USED

SCALE
N.T.S.

13

NOT USED

SCALE
N.T.S.

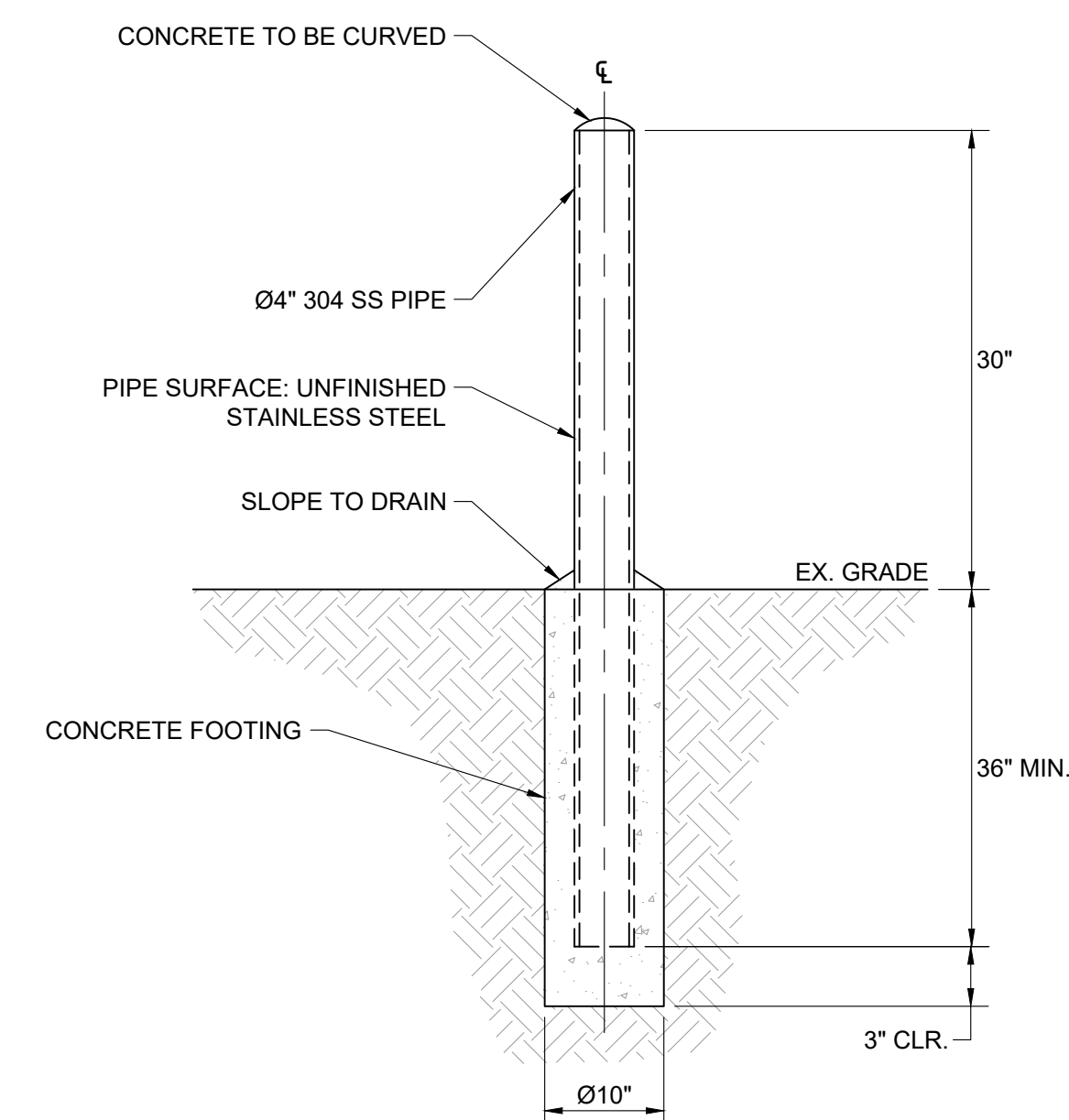
14

IMPACT DETERRENT BOLLARD

SCALE
N.T.S.

15

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS.



- NOTES:
1. CONTRACTOR TO ENSURE PLACEMENT OF BOLLARD DOES NOT IMPACT VISIBILITY OF STATION SCREEN.
 2. CONTRACTOR TO ENSURE BOLLARD PLACEMENT DOES NOT OBSTRUCT 3' DOOR SWING ON BOTH SIDES OF MEDIA STATION.
 4. THIS BOLLARD IS NOT RATED FOR VEHICULAR IMPACT.

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

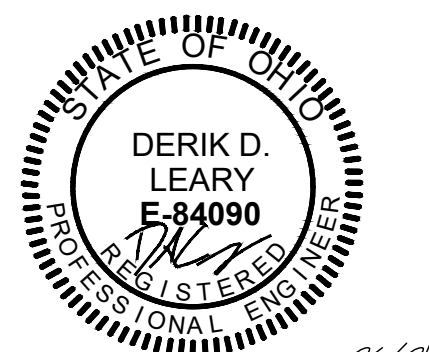
| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

ISSUE DATE

06/01/2022

ISSUED FOR

PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

KOHL'S MACEDONIA

8100 MACEDONIA COMMONS BLVD.
MACEDONIA, OH 44056

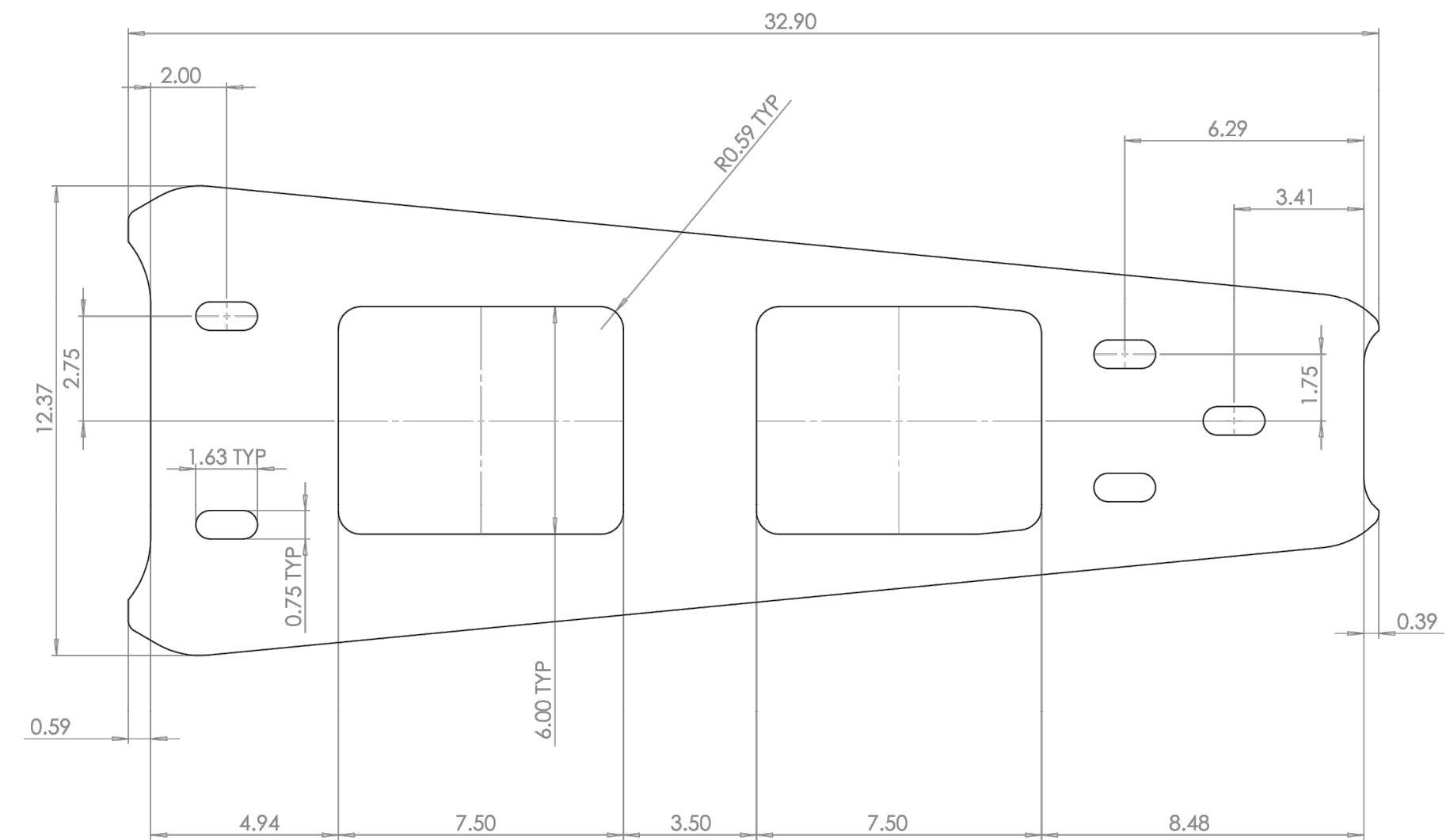
SHEET TITLE

SITE DETAILS

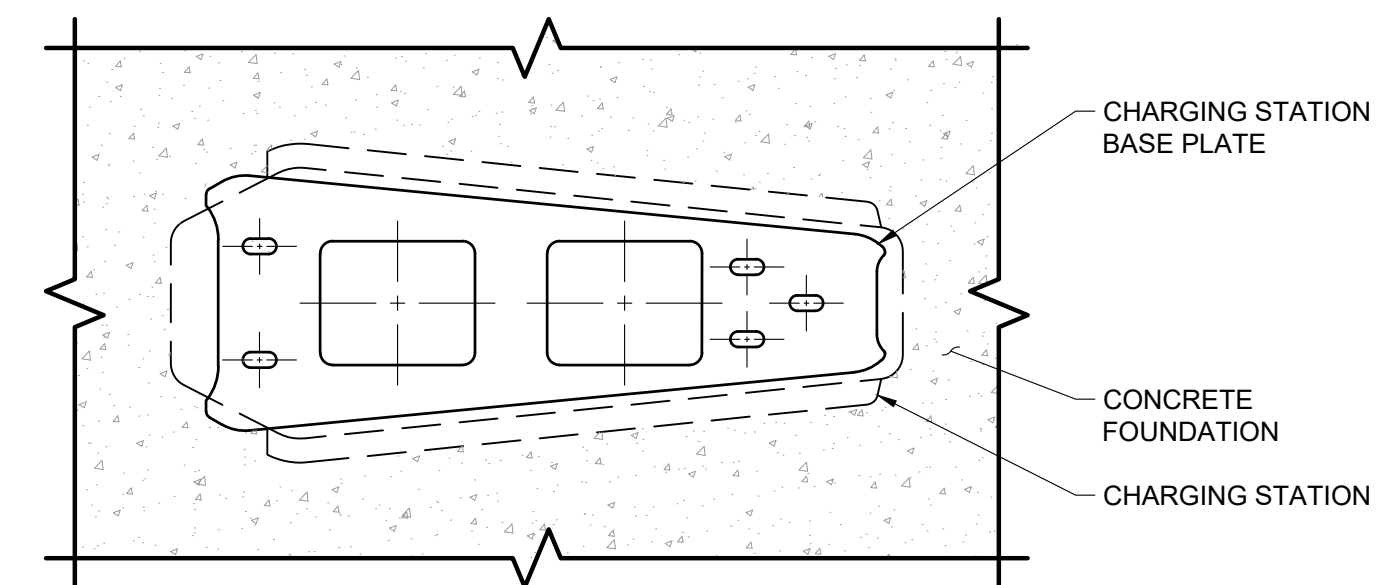
SHEET NUMBER

C3-01

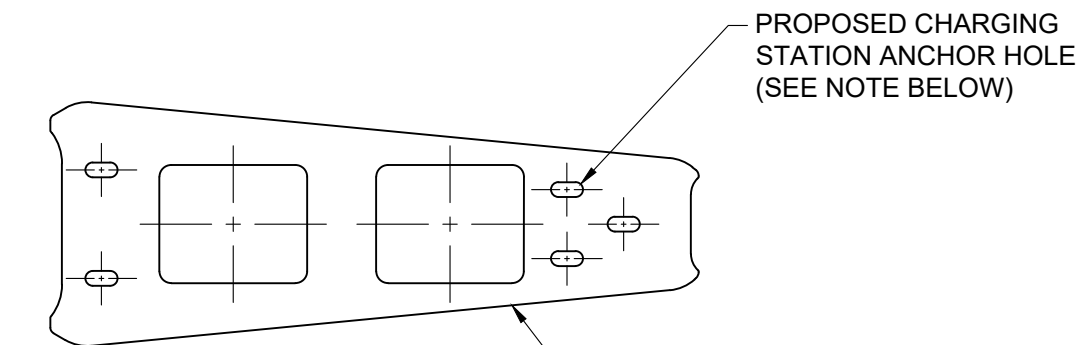
FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS.



NOTE:
1. REFER TO DETAIL 18 FOR BASE PLATE ANCHORAGE.



CHARGING STATION BASE PLAN VIEW



CHARGING STATION BASE PLATE PLAN VIEW

NOTES:
1. CONTRACTOR TO VERIFY POST INSTALLATION OR CAST IN PLACE ANCHOR AS LISTED BELOW BASED ON FIELD MEASUREMENTS AND JURISDICTIONAL REQUIREMENTS.
2. CONTRACTOR TO VERIFY EXISTING CONCRETE SLAB THICKNESS AND MAINTAIN 2" MINIMUM COVER OF CONCRETE BELOW EMBEDDED ANCHORS.
3. REFER TO DETAIL 17 FOR BASE PLATE DIMENSIONS.

CAST IN PLACE ANCHOR:
MINIMUM EFFECTIVE EMBEDMENT OF 2" OR ENGINEER APPROVED EQUAL.

POST INSTALLATION MECHANICAL ANCHOR:
(4) 5/8" DIAMETER HILTI KWIK BOLT TZ-SS304 ANCHOR ROD WITH MINIMUM EFFECTIVE EMBEDMENT OF 3-1/4" OR ENGINEERING APPROVED EQUAL.

NOT USED

SCALE
N.T.S.

16

VOLTA V4 BASE PLATE

SCALE
N.T.S.

17

VOLTA BASE PLATE ANCHORAGE

SCALE
N.T.S.

18

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

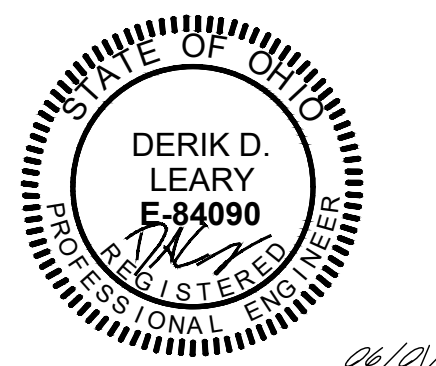
| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

ISSUE DATE

06/01/2022

ISSUED FOR

PERMIT



06/01/2022

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**KOHL'S
MACEDONIA**

**8100 MACEDONIA
COMMONS BLVD.
MACEDONIA, OH 44056**

SHEET TITLE

SITE DETAILS

SHEET NUMBER

C3-02

NOT USED

SCALE
N.T.S.

19

NOT USED

SCALE
N.T.S.

20

NOT USED

SCALE
N.T.S.

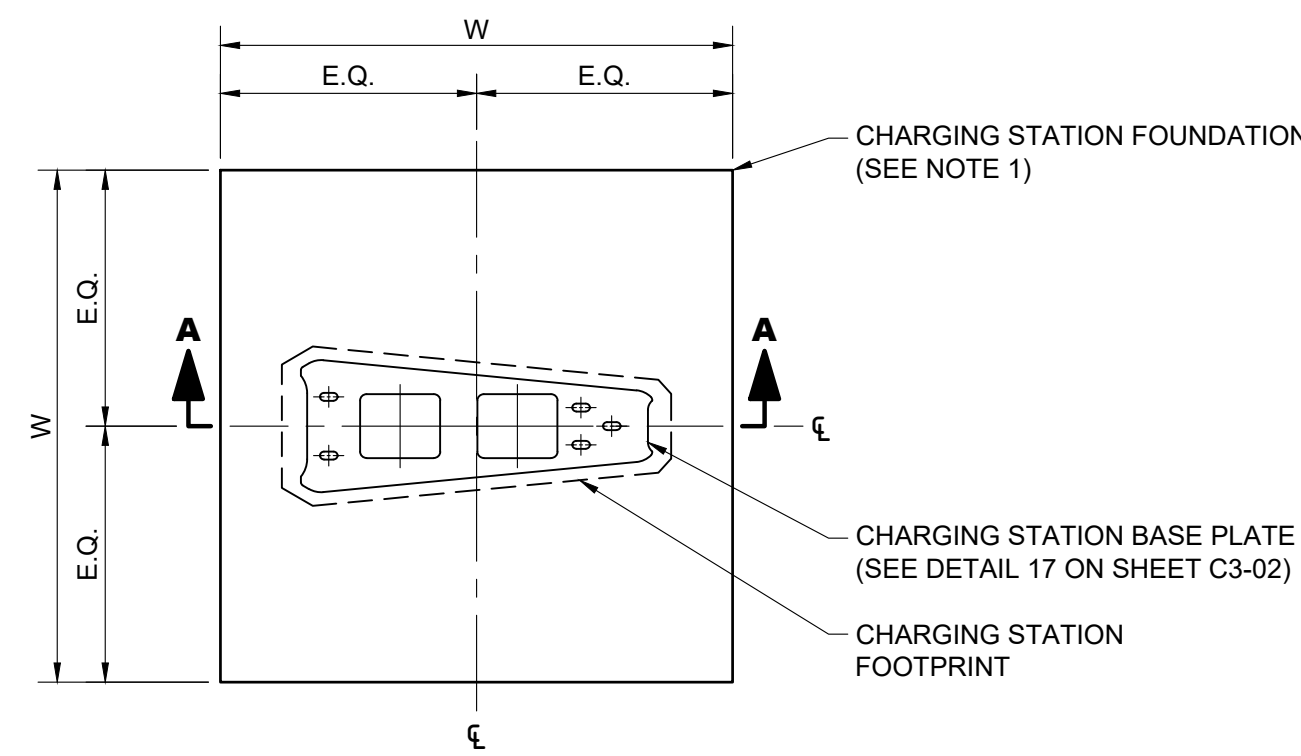
21

NOT USED

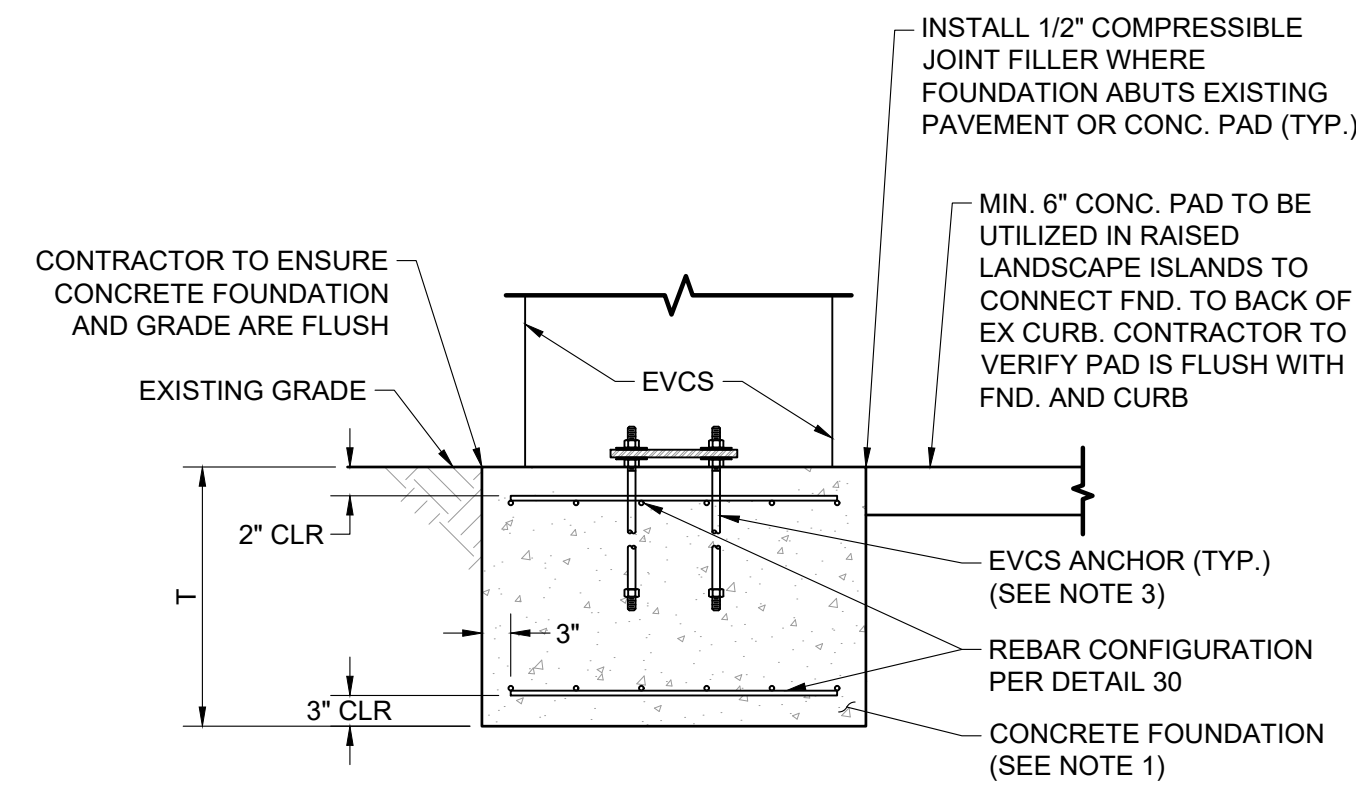
SCALE
N.T.S.

22

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



- NOTES:
- SEE DETAIL 30 - FOR FOUNDATION VARIABLES.
 - SEE DETAIL 24 - FOR PARKING LOT INSTALLATIONS.
 - SEE DETAIL 29 - FOR PARKING GARAGE INSTALLATIONS.
 - CHARGING STATION FOUNDATION TO EXTEND FROM BACK OF CURB TO BACK OF CURB WHEN PLACED IN LANDSCAPE ISLAND.



- NOTES:
- SEE DETAIL 30 - FOR FOUNDATION VARIABLES.
 - EXISTING GRADE AROUND EVCS'S INSTALLED IN ISLANDS CAN BE GRASS OR FILLED WITH REINFORCED CONCRETE AT #4 @ 12" O.C. PROVIDE 1/2" COMPRESSIBLE JOINT FILLER AND POURED SEPARATELY.
 - KHA IS NOT RESPONSIBLE FOR THE DESIGN OF EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. ANCHORAGE SHALL BE PROVIDED BY THE EQUIPMENT MANUFACTURER AND ARE ASSUMED TO BE CAST-IN-PLACE PER MANUFACTURER RECOMMENDATIONS. IF REQUIRED, POST-INSTALLED ANCHORAGE MAY BE IMPLEMENTED PER DETAIL 29.

V4 EVCS FOUNDATION SCALE N.T.S. **23**

V4 EVCS FOUNDATION SECTION A-A SCALE N.T.S. **24**

NOT USED SCALE N.T.S. **25**

NOT USED SCALE N.T.S. **26**

| EVCS PAD FOUNDATIONS | | | | | |
|----------------------|-----------|---------------|--------------|------------|------------------------|
| CONFIGURATION | WIDTH (W) | THICKNESS (T) | REBAR LAYERS | REBAR SIZE | REBAR QTY. (PER LAYER) |
| 1 | 4.25 | 3.00 | 2 | #5 | 5 |

| EVCS DRILLED SHAFT FOUNDATIONS | | | | | | |
|--------------------------------|----------|-----------|---------------------|---------------------|----------------|-------------------|
| CONFIGURATION | DIA. (Ø) | DEPTH (D) | VERTICAL REBAR SIZE | VERTICAL REBAR QTY. | TIE REBAR SIZE | TIE REBAR SPACING |
| 1 | 3.00 | 6.00 | #7 | 9 | #3 | 12 |

- NOTES:
- FOUNDATION WAS DESIGNED IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE (IBC), ASCE 7-16, AND ACI 318-14.
 - PRESUMPTIVE SOILS WERE ASSUMED PER 2018 IBC TABLE 1806.2.
 - FOUNDATION SHALL BE INSTALLED ON COMPACTED SUBGRADE WITH BASE WITH 1FT MINIMUM DEPTH OF FREE DRAINING AGGREGATE FILL (UNLESS OTHERWISE SPECIFIED).
 - VOLTA V4 ELECTRIC VEHICLE CHARGING STATION (EVCS) MAY BE ROTATED AS NEEDED ON PROPOSED FOUNDATION BLOCK.
 - ALL EQUIPMENT ANCHORAGE MAY BE CAST-IN-PLACE OR POST-INSTALLED. ANCHORAGE SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

NOT USED SCALE N.T.S. **27**

NOT USED SCALE N.T.S. **28**

NOT USED SCALE N.T.S. **29**

EVCS VARIABLE FOUNDATIONS TABLE SCALE N.T.S. **30**

NOT USED SCALE N.T.S. **31**

NOT USED SCALE N.T.S. **32**

NOT USED SCALE N.T.S. **33**

NOT USED SCALE N.T.S. **34**

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

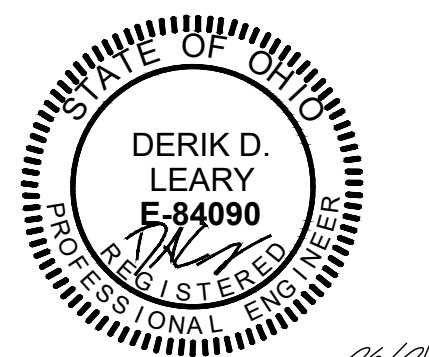
| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |

ISSUE DATE

06/01/2022

ISSUED FOR

PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**KOHL'S
MACEDONIA**

**8100 MACEDONIA
COMMONS BLVD.
MACEDONIA, OH 44056**

SHEET TITLE

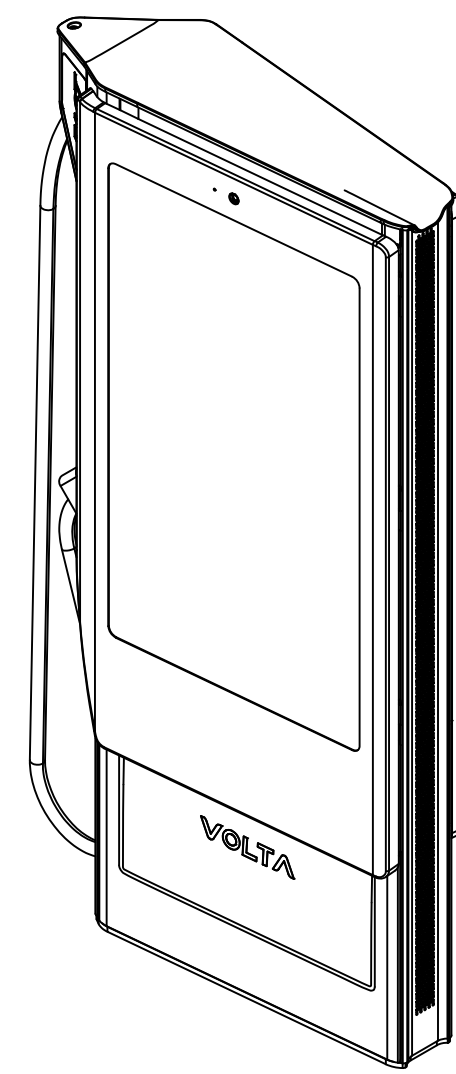
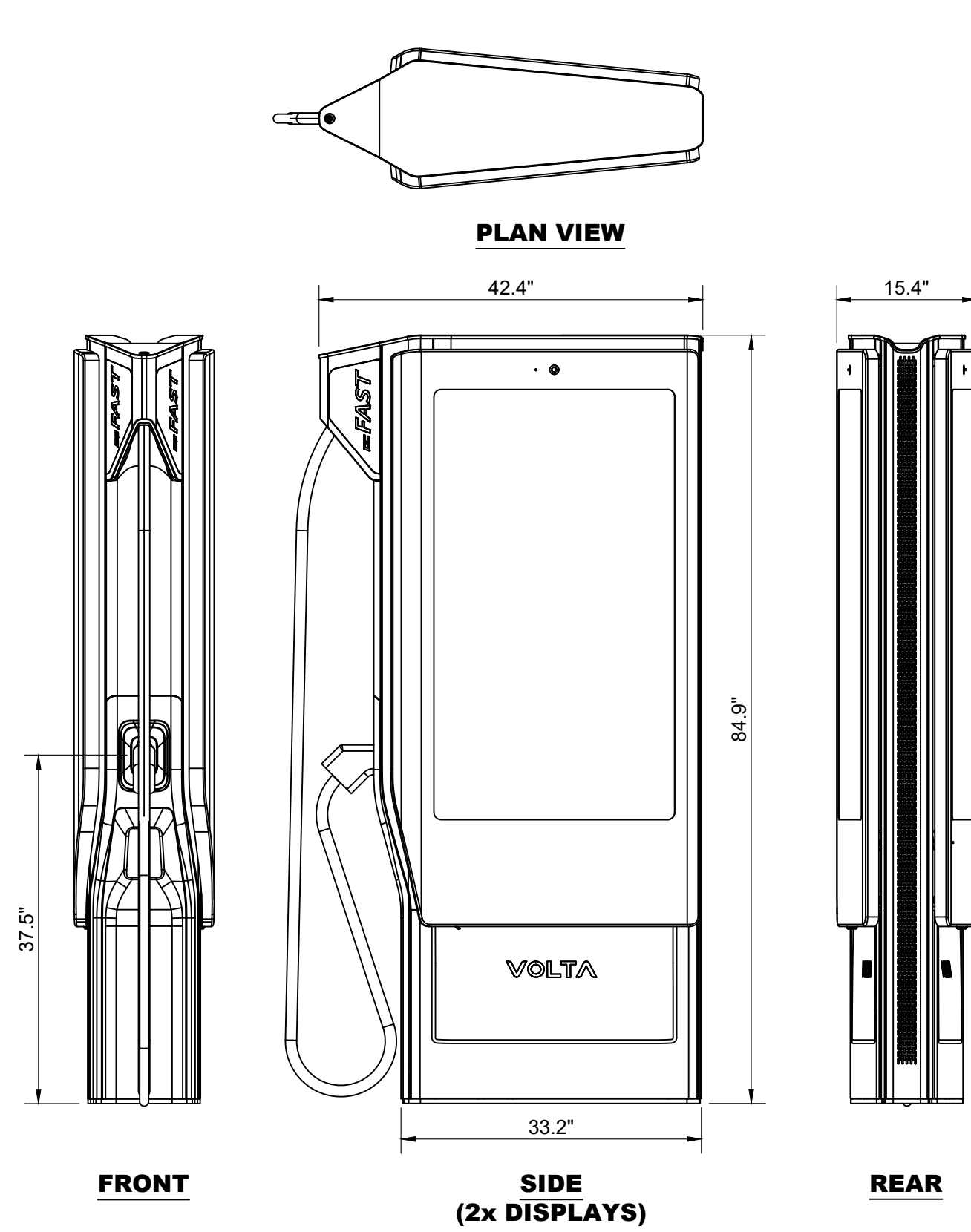
SITE DETAILS

SHEET NUMBER

C3-03

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS.



ISOMETRIC

CHARGER SPECIFICATIONS:
 SIZE: H 85.0" x W 42.5" x D 15.5"
 CORD LENGTH: 12.5'
 POWER TYPE: 270-840VDC, 200A (MAX), 50 kW MAX.
 PLUG: CCS1 COMPLIANT CONNECTOR
 LISTINGS: UL 1741

POWER REQUIREMENTS:
 CHARGING UNIT: 90A/3P 480Y/277V BREAKER
 STATION AUX POWER: 20A/1P 120V BREAKER

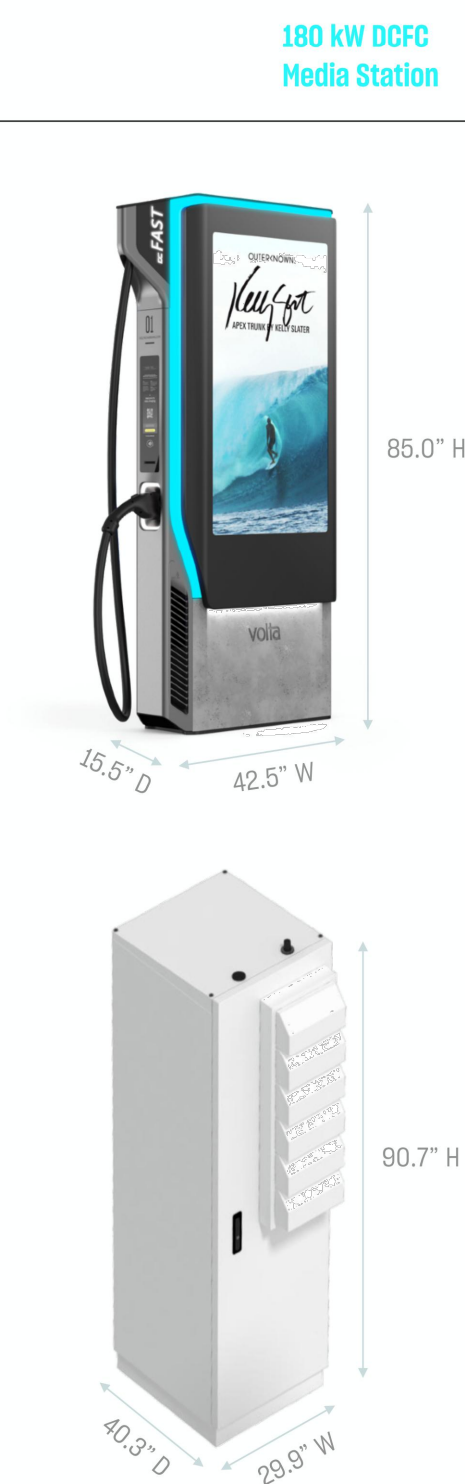
NOTE:
 THE GRIP RANGE FOR THE CHARGE CABLE BEGINS AT 37.5" ABOVE PARKING SURFACE.

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS.



Tech specs

| | |
|---------------------------------|--|
| Station Rating | 180 kW (6a.) |
| Cabinet Rating | 350 kW |
| AC Input | |
| Input Voltage | 480 VAC, 3-phase |
| Input Current | 466 A |
| Input Wiring | 4-wire (L1, L2, L3, GND) |
| Input Frequency Range | 47-63Hz |
| Circuit Breaker | 600 A, 3-pole |
| Power Factor | >0.99 Full Load |
| Total Harmonic Distortion | <5% |
| Efficiency | > 94% |
| SCDR | 65 kA |
| DC Output | |
| Output Voltage | 200 - 850 VDC |
| Output Current | Up to 200 A |
| Output Power | Up to 180 kW |
| AC Input (Auxiliary) | |
| Input Voltage | 120 VAC, 1-phase |
| Input Current | 6 A |
| Input Wiring | 3-wire (L1, L2, GND) |
| Circuit Breaker | 20 A |
| Protection | |
| Ground Fault Protection | Yes |
| Ground Monitor | Yes |
| Protection | Over-Voltage, Over-Current, Over-Temperature, Short-Circuit |
| CAN Communication Loss | Yes |
| Environmental Conditions | |
| Operating Temperature | -30°C to +50°C |
| Operating Altitude | 6000 ft. |
| Humidity | 95% Non-Condensing |
| Physical Characteristics | |
| Station Dimension | 42.5" W x 15.5" D x 85" H |
| Station Weight | 700 lbs |
| Power Cabinet Dimension | 29.8" W x 40.3" D x 90.7" H |
| Power Cabinet Weight | 395 lbs |
| Enclosure Rating | 1K, 10, NEMA 3R |
| Compliance | |
| Safety | ETL, UL 50E, 2202 2231/2, & 840, NEC Article 625, CSA C22.2 NO 107.1 |
| ADA | Yes |
| Features | |
| Connector Type | CCS |
| Cable Length | 12 feet |
| Contactless Reader | Yes, NFC |
| Display | 55-inch w/ Ambient Light Sensor |
| Network Interface | CCPP, LoS |
| Network Connectivity | Cellular |
| Demand Response | Yes, OpenADR 2.0b |



voltcharging.com

Product specifications intended for guidance only and are subject to change with minimal prior notice. 02/2022

V4 DC FAST CHARGING STATION

SCALE N.T.S. 35

DCFC STATION CUT SHEET

SCALE N.T.S. 36

NOT USED

SCALE N.T.S. 37

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

NOT USED

SCALE N.T.S. 38

NOT USED

SCALE N.T.S. 39

NOT USED

SCALE N.T.S. 40

NOT USED

SCALE N.T.S. 41

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

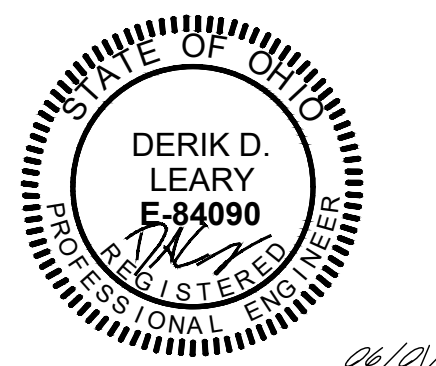
| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

ISSUE DATE

06/01/2022

ISSUED FOR

PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

KOHL'S MACEDONIA

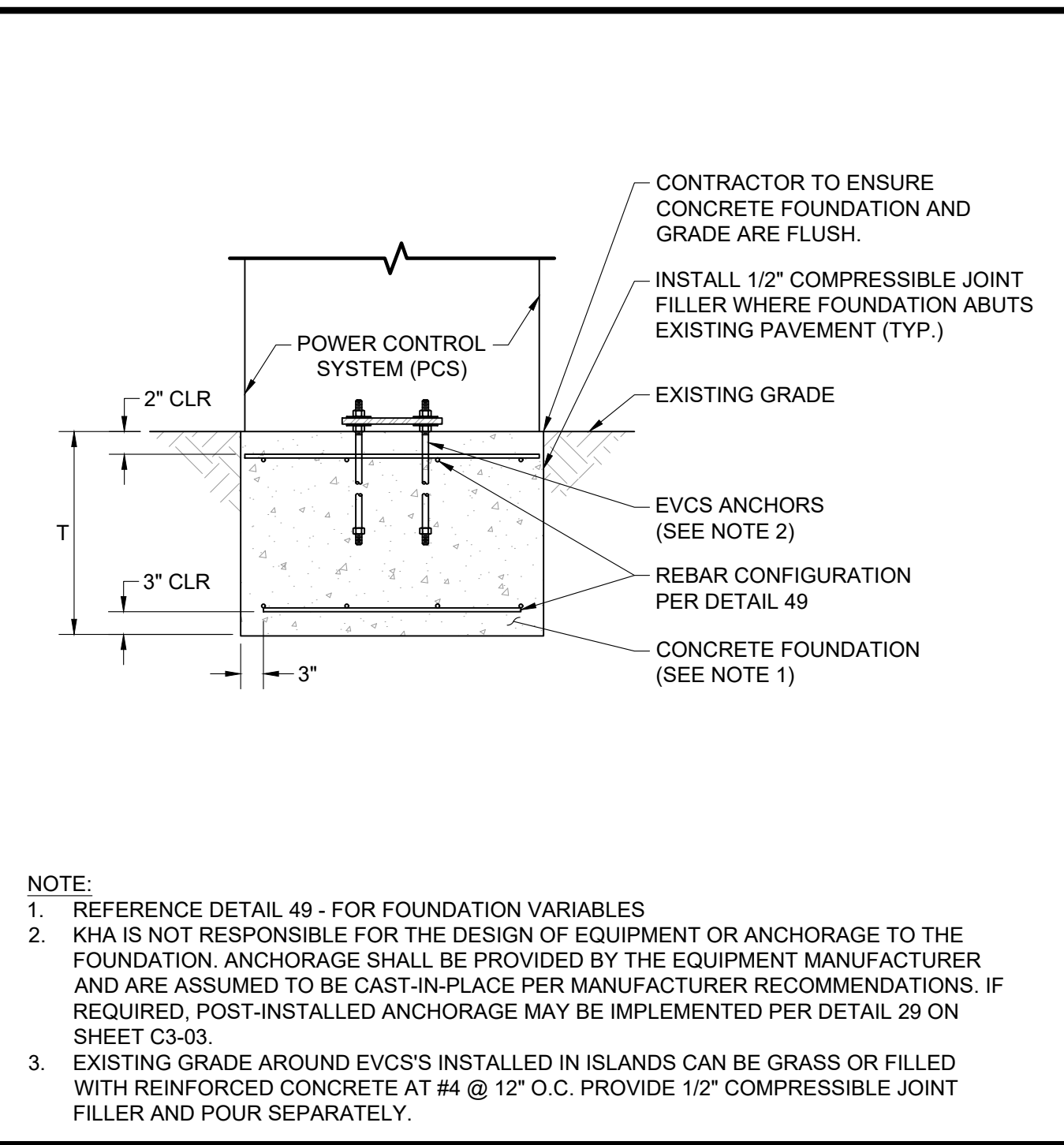
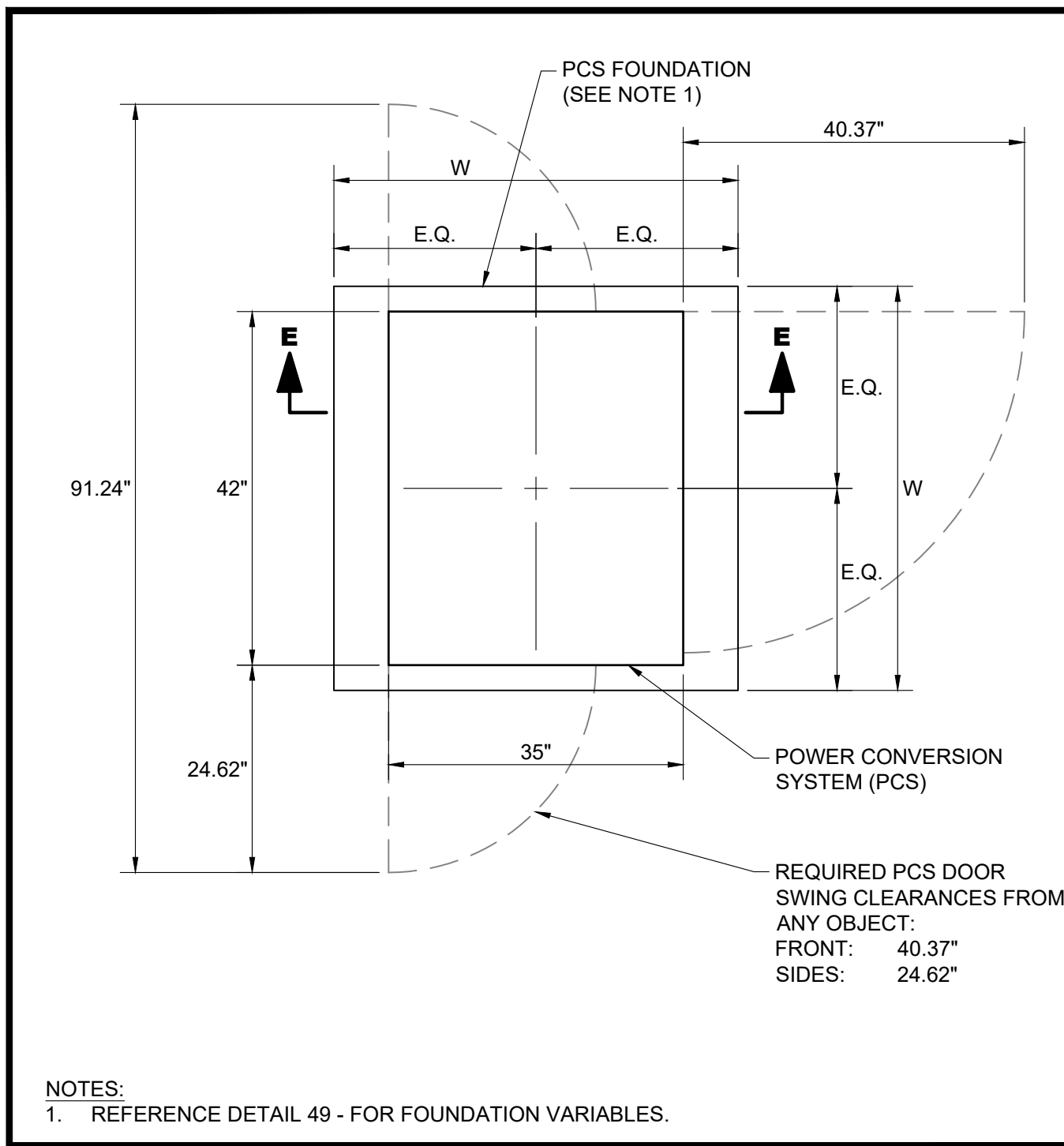
8100 MACEDONIA COMMONS BLVD.
MACEDONIA, OH 44056

SHEET TITLE

SITE DETAILS

SHEET NUMBER

C3-04



NOTE:
 1. REFERENCE DETAIL 49 - FOR FOUNDATION VARIABLES
 2. KHA IS NOT RESPONSIBLE FOR THE DESIGN OF EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. ANCHORAGE SHALL BE PROVIDED BY THE EQUIPMENT MANUFACTURER AND ARE ASSUMED TO BE CAST-IN-PLACE PER MANUFACTURER RECOMMENDATIONS. IF REQUIRED, POST-INSTALLED ANCHORAGE MAY BE IMPLEMENTED PER DETAIL 29 ON SHEET C3-03.
 3. EXISTING GRADE AROUND EVCS'S INSTALLED IN ISLANDS CAN BE GRASS OR FILLED WITH REINFORCED CONCRETE AT #4 @ 12\"/>

NOTES:
 1. REFERENCE DETAIL 49 - FOR FOUNDATION VARIABLES.

PCS FOUNDATION SCALE N.T.S. **42**

PCS FOUNDATION SECTION E-E SCALE N.T.S. **43**

NOT USED SCALE N.T.S. **44**

NOT USED SCALE N.T.S. **45**

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS

| PCS PAD FOUNDATIONS | | | | | |
|---------------------|-----------|---------------|--------------|------------|------------------------|
| CONFIGURATION | WIDTH (W) | THICKNESS (T) | REBAR LAYERS | REBAR SIZE | REBAR QTY. (PER LAYER) |
| 1 | 4.25 | 3.00 | 2 | #5 | 5 |

360kW Tower

| PARAMETERS | | POWER ENGINE CABINET MODEL | |
|-----------------------------------|----------------|----------------------------------|--|
| | MODEL Number | EVDP-350-480 | |
| | PRODUCT Number | HPCT2-360-480-2, HPCT2-360-480-1 | |
| Power Rating | | 360 kW | |
| Number of Power Engines | | 12 | |
| Input Voltage Range | | 480 VAC, 3 Phase, +10% / -15% | |
| Input Current @ 480 VAC | | 466 A | |
| Power Factor | | > 0.99 full load | |
| Max. Out DC Current up to 920 VDC | | 391 A | |
| Max. Out DC Current up to 500 VDC | | 500 A | |
| Max. Output DC Voltage | | 50-950 VDC | |
| Max # of Dispensers | | 2 | |
| Dimension & Weight | | 29.9\"/> | |

| PARAMETERS | | DISPENSER MODEL | |
|---------------------------|----------------|------------------------------------|--------------------------|
| | MODEL Number | EVDP-350-120-0-2-C-4-0 | |
| | PRODUCT Number | HPCD1-350-01-003, HPCD1-350-02-003 | |
| Connectors | CHAdEMO | SAE CCS1 (Liquid Cooled) | SAE CCS1 (Liquid Cooled) |
| Rated Output Current | 200 A | 350 A | 350 A |
| Max DC Voltage (VDC) | 500 V | 950 V | 950 V |
| Output Power | | 350 kW max | |
| Input Power (Auxiliary) | | 120 VAC | |
| Input Current (Auxiliary) | | 21 A (FLA) | |
| Breaker Size | | 30 A | |
| Network | | OCPN 1.5/1.6, BTCP Network | |
| Dimension & Weight | | 22\"/> | |

STANDARD

- Dynamic Power Allocation in 30kW Increments
- System available in 1 or 2-dispenser configuration
- Payment types: CC, RFID (OCPN Network Enabled)
- 15\"/>

OPTIONAL

- ISO 15118:2014
- Customizable Backlit Acrylic Topper
- Apple & Android Pay (based on network provider)

BTC POWER
 1719 S Grand Ave, Santa Ana, CA 92705 | www.btcpower.com | sales@btcpower.com

Page 29 of 76

360kW High Power DC Charger INSTALLATION AND USER'S MANUAL

INSTALLATION

7.2. Mounting Procedures

7.2.1. Clearance Around the Unit

Clearance surrounding the unit must be considered for proper ventilation and service accessibility. Refer to the installation drawings as illustrated below.

Power Unit / Tower Installation Drawing

DOOR OPEN DOOR CLOSE ISOMETRIC VIEW

This document is a Property of BTC Power Inc. and shall not be copied, reproduced, or used as the basis for sale or manufacture of apparatus without written permission.

BTC POWER
Initial Release 06-Apr-21

Page 31 of 76

360kW High Power DC Charger INSTALLATION AND USER'S MANUAL

INSTALLATION

Power Unit / Tower Footer Drawing

The illustration below shows the drilling layout for the Power Unit / Tower. Only four (4) points are needed to fix the unit on the concrete pad. The conduit entry to the unit is also shown.

INSTALLATION FOOTER VIEW ISOMETRIC VIEW

Base foundation template for alignment and hole location is available in .step or .dxf files upon request.

NOTE
 The bottom of the tower needs to be sealed to the ground.

This document is a Property of BTC Power Inc. and shall not be copied, reproduced, or used as the basis for sale or manufacture of apparatus without written permission.

BTC POWER
Initial Release 06-Apr-21

NOTES:
 1. FOUNDATION WAS DESIGNED IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE (IBC), ASCE 7-16, AND ACI 318-14.
 2. PRESUMPTIVE SOILS WERE ASSUMED PER 2018 IBC TABLE 1806.2.
 3. FOUNDATION SHALL BE INSTALLED ON COMPACTED SUBGRADE WITH BASE WITH 1FT MINIMUM DEPTH OF FREE DRAINING AGGREGATE FILL (UNLESS OTHERWISE SPECIFIED).
 4. VOLTA POWER CONTROL SYSTEM (PCS) MAY BE ROTATED AS NEEDED ON PROPOSED FOUNDATION BLOCK.
 5. ALL EQUIPMENT ANCHORAGE MAY BE CAST-IN-PLACE OR POST-INSTALLED. ANCHORAGE SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

PCS VARIABLE FOUNDATIONS TABLE SCALE N.T.S. **49**

NOT USED

volta

155 DE HARO STREET
 SAN FRANCISCO, CA 94103

Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
 AKRON, OH 44333
 Main: (216) 505-7775 | www.kimley-horn.com
 © 2022 Kimley-Horn and Associates, Inc.

| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |

ISSUE DATE
06/01/2022

ISSUED FOR
PERMIT

STATE OF OHIO
 DERIK D. LEARY
 E-94090
 REGISTERED PROFESSIONAL ENGINEER
 06/01/2022

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

KOHL'S MACEDONIA
 8100 MACEDONIA COMMONS BLVD.
 MACEDONIA, OH 44056

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-05

PCS CUT SHEET SCALE N.T.S. **46**

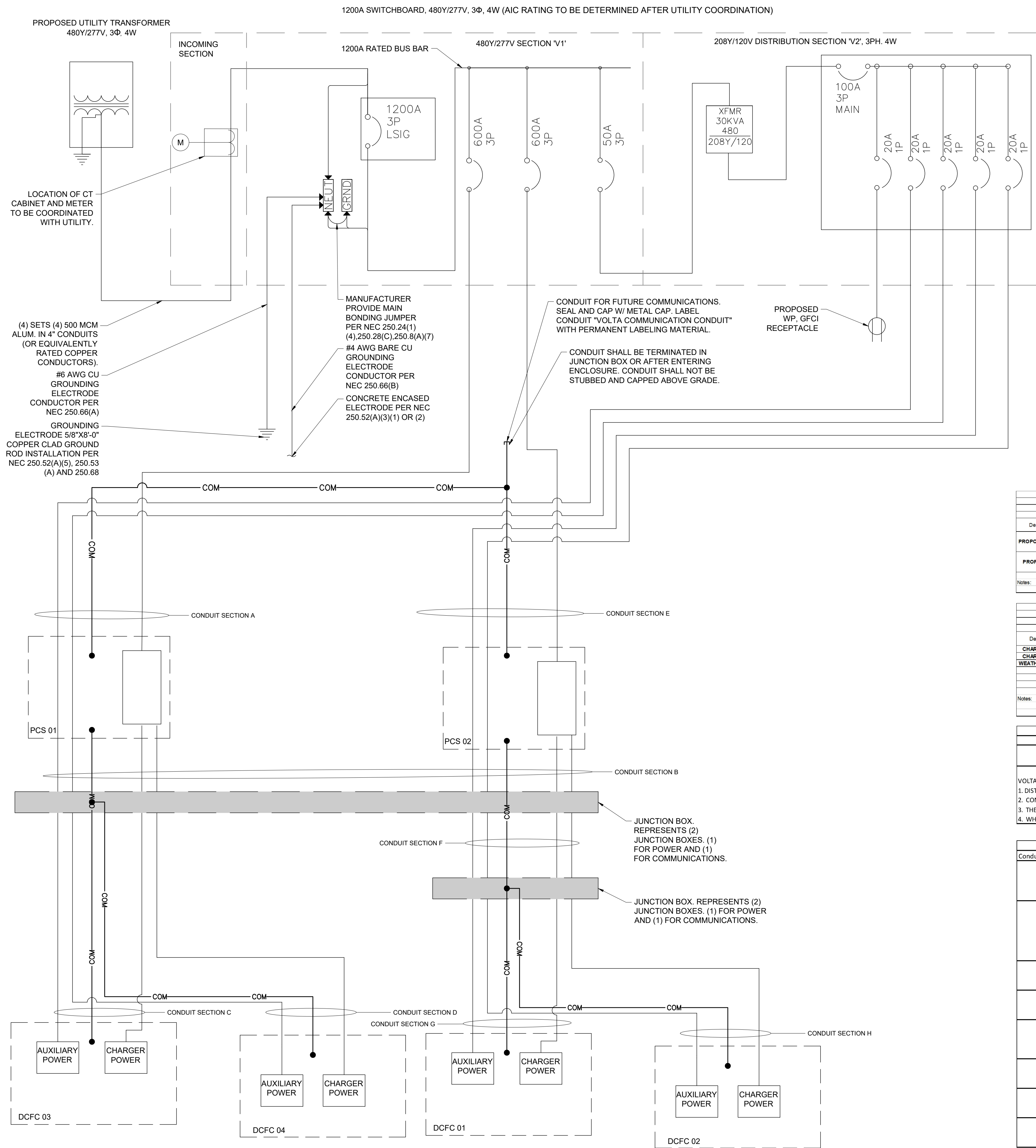
PCS MIN. CLEARANCES CUT SHEET SCALE N.T.S. **47**

PCS BASE PLATE CUT SHEET SCALE N.T.S. **48**

NOT USED SCALE N.T.S. **50**

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



Panel Schedule
Proposed Panelboard V1 Location: Proposed Exterior Electrical Equipment Vols: 480Y/277V Phase: 3 Wire: 4 Hertz: 60
1200A MCB Main AIC: (TBD After Utility Coordination) Branch AIC: (TBD After Utility Coordination) ENCL: (NEMA) 3R MFG: Surface
100 Amp Frame, Ground Bar, Panel Card

| Description of Load Served | Breaker | Amp | Pole | Wire | A/Phase | | | CKT No | CKT No | A/Phase | | | Wire | Breaker | Pole | Description of Load Served |
|----------------------------|---------|-----|------|-----------------------|---------|-------|-------|--------|--------|---------|-------|-------|---------|---------|------|----------------------------|
| | | | | | A | B | C | | | A | B | C | | | | |
| PROPOSED PANEL 'V2' VAXFMR | 50 | 3 | | MANUFACTURER PROVIDED | 5.2 | | | 1 | 2 | 466.0 | | | 350 MCM | 600 | 3 | PROPOSED VOLTA L3 PCS 02 |
| PROPOSED VOLTA L3 PCS 01 | 600 | 3 | | 350 MCM | 466.0 | | | 9 | 10 | | | | | | | SPACE |
| Total A/Phase | | | | | 471.2 | 471.2 | 470.3 | | | 466.0 | 466.0 | 466.0 | | | | Total A/Phase |

Notes:
1. Connected kVA (New): 778.6
2. Demand kVA (New): 392.2

Panel Schedule
Proposed Panel V2 Location: Proposed Exterior Electrical Equipment Vols: 208Y/120V Phase: 3 Wire: 4 Hertz: 60
100A MCB Main AIC: (TBD After Utility Coordination) Branch AIC: (TBD After Utility Coordination) ENCL: (NEMA) 3R MFG: Surface
100 Amp Frame, Ground Bar, Locking Cover, Panel Card

| Description of Load Served | Breaker | Amp | Pole | Wire | A/Phase | | | CKT No | CKT No | A/Phase | | | Wire | Breaker | Pole | Description of Load Served |
|----------------------------|---------|-----|------|------------|---------|-----|------|--------|--------|---------|-----|-----|------------|---------|------|----------------------------|
| | | | | | A | B | C | | | A | B | C | | | | |
| CHARGING STATION DCFC 01 | 20 | 1 | | See Note 3 | 6.0 | | | 1 | 2 | 6.0 | | | See Note 3 | 20 | 1 | CHARGING STATION DCFC 02 |
| CHARGING STATION DCFC 03 | 20 | 1 | | See Note 3 | 6.0 | | | 3 | 4 | 6.0 | | | See Note 3 | 20 | 1 | CHARGING STATION DCFC 04 |
| WEATHER PROOF RECEPTACLE | 20 | 1 | | #12 | | | | 5 | 6 | | | | | | | SPACE |
| SPACE | | | | | | | | 7 | 8 | | | | | | | SPACE |
| SPACE | | | | | | | | 9 | 10 | | | | | | | SPACE |
| Total A/Phase | | | | | 6.0 | 6.0 | 10.0 | | | 6.0 | 6.0 | 0.0 | | | | Total A/Phase |

Notes:
1. Connected kVA (New): 4.1
2. Demand kVA (New): 5.1
3. See Voltage Drop Table for conductor sizing

DCFC Conductor Voltage Drop Table Per Dispenser (AUX Component)

| Distance | 86FT-135FT | 136FT-220FT | 221FT-350FT | 351FT-550FT | 551FT-880FT |
|-------------------------------|-------------------------------|-----------------------------|-----------------------------|-----------------------------|-----------------------------|
| (2) #12 AWG + (1) #12 AWG GND | (2) #10 AWG + (1) #10 AWG GND | (2) #8 AWG + (1) #8 AWG GND | (2) #6 AWG + (1) #6 AWG GND | (2) #4 AWG + (1) #4 AWG GND | (2) #2 AWG + (1) #2 AWG GND |

VOLTAGE DROP TABLE NOTES

- DISTANCE BASED ON LOCATION OF SUPPLYING PANEL TO LOCATION OF DISPENSER
- CONTRACTOR SHALL BE RESPONSIBLE FOR DERATING CONDUCTORS WHEN 4 OR MORE CURRENT CARRYING CONDUCTORS ARE CARRIED IN THE SAME CONDUIT PER THE NEC.
- THE DISTANCES IN THIS TABLE ARE TOTAL DISTANCES, NOT HORIZONTAL DISTANCES. INCLUDE VERTICAL RUNS AND JUNCTION BOX COIL LENGTH IN THE TOTAL CONDUCTOR DISTANCE.
- WHEN MORE THAN ONE CIRCUIT IS IN THE CONDUIT, USE ONLY ONE SHARED EQUIPMENT GROUND CONDUCTOR.

Conduit Schedule

| Conduit Section | Conduit # | Conduit Size | Conductors | Installation Method |
|-----------------|-----------|--------------|---|---------------------|
| A | 1 | 3" | (3) 350 MCM + (1) #1 AWG GND | Directional Bore |
| | 2 | 3" | (3) 350 MCM + (1) #1 AWG GND | |
| | 3 | 1" | (See DCFC AUX Voltage Drop Table) | |
| | 4 | 2" | Future Communications w/ Pull String | |
| B | 1 | 3" | (4) #4/0 AWG (1kV Rated) + (1) #4 AWG GND | Directional Bore |
| | 2 | 3" | (4) #4/0 AWG (1kV Rated) + (1) #4 AWG GND | |
| | 3 | 1" | (See DCFC AUX Voltage Drop Table) | |
| | 4 | 1" | (See DCFC AUX Voltage Drop Table) | |
| | 5 | 1" | (4) 1 Pair OM3 multimode fiber optic cable with ST connectors + (4) #18 AWG STP | |
| C | 1 | 3" | (4) 1 Pair OM3 multimode fiber optic cable with ST connectors + (4) #18 AWG STP | Hand Trench |
| | 2 | 1" | (2) #4/0 AWG (1kV Rated) + (1) #4 AWG GND | |
| | 3 | 1" | (2) 1 Pair OM3 multimode fiber optic cable with ST connectors + (2) #18 AWG STP | |
| D | 1 | 3" | (2) #4/0 AWG (1kV Rated) + (1) #4 AWG GND | Hand Trench |
| | 2 | 1" | (See DCFC AUX Voltage Drop Table) | |
| | 3 | 1" | (2) 1 Pair OM3 multimode fiber optic cable with ST connectors + (2) #18 AWG STP | |
| E | 1 | 3" | (3) 350 MCM + (1) #1 AWG GND | Directional Bore |
| | 2 | 3" | (3) 350 MCM + (1) #1 AWG GND | |
| | 3 | 1" | (See DCFC AUX Voltage Drop Table) | |
| | 4 | 1" | Future Communications w/ Pull String | |
| F | 1 | 3" | (4) #4/0 AWG (1kV Rated) + (1) #4 AWG GND | Directional Bore |
| | 2 | 1" | (See DCFC AUX Voltage Drop Table) | |
| | 3 | 1" | (4) 1 Pair OM3 multimode fiber optic cable with ST connectors + (4) #18 AWG STP | |
| G | 1 | 3" | (2) #4/0 AWG (1kV Rated) + (1) #4 AWG GND | Hand Trench |
| | 2 | 1" | (See DCFC AUX Voltage Drop Table) | |
| | 3 | 1" | (2) 1 Pair OM3 multimode fiber optic cable with ST connectors + (2) #18 AWG STP | |
| H | 1 | 3" | (2) #4/0 AWG (1kV Rated) + (1) #4 AWG GND | Hand Trench |
| | 2 | 1" | (See DCFC AUX Voltage Drop Table) | |
| | 3 | 1" | (2) 1 Pair OM3 multimode fiber optic cable with ST connectors + (2) #18 AWG STP | |

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

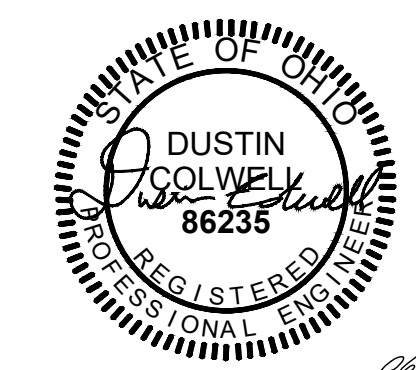
Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |

ISSUE DATE
06/01/2022

ISSUED FOR
PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

KOHL'S MACEDONIA
8100 MACEDONIA COMMONS BLVD.
MACEDONIA, OH 44056

SHEET TITLE
ELECTRICAL ONE LINE DIAGRAM AND PANEL SCHEDULE

SHEET NUMBER
E1-00

NOTES:

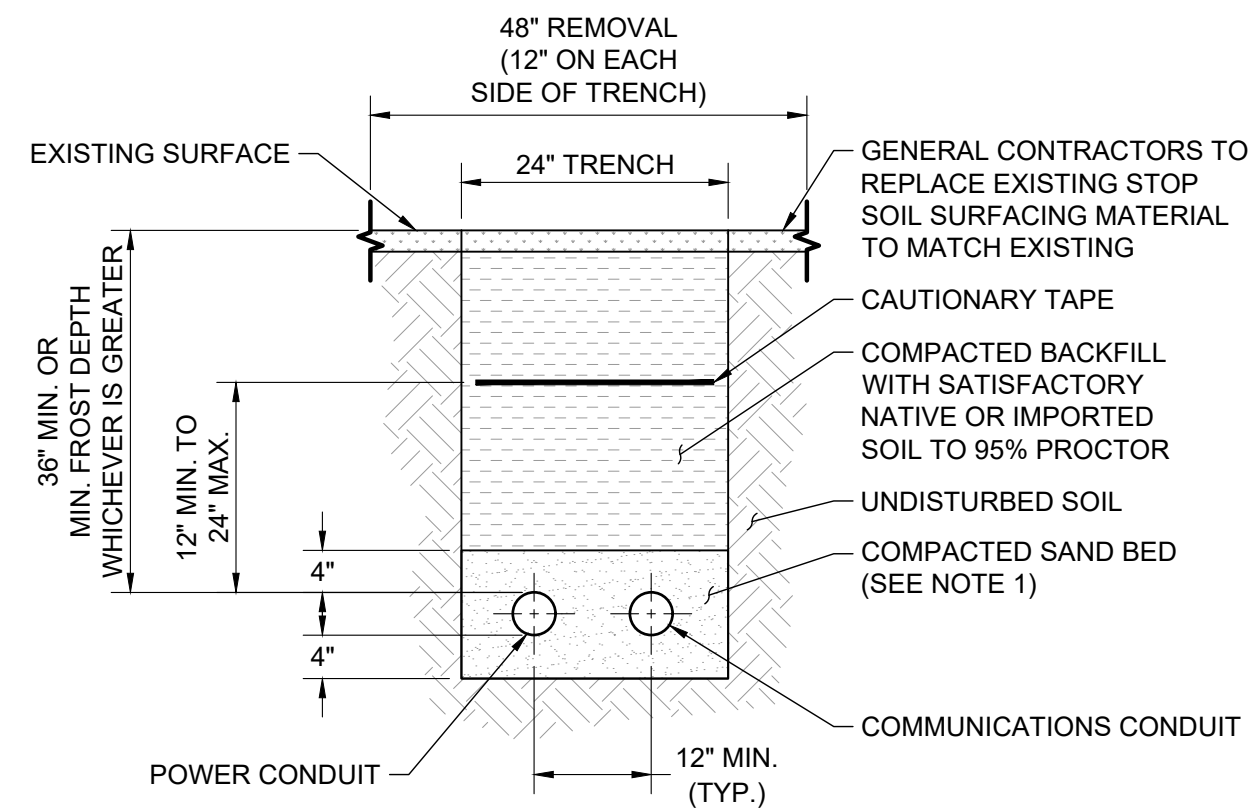
1. A NATIONALLY RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH ART110.3.
2. ALL EXTERIOR EQUIPMENT SHALL BE RAIN TIGHT AND APPROVED FOR USE IN WET CONDITIONS.
3. ALL CONDUCTORS SHALL BE PROVIDED WITH STRAIN RELIEF UPON ENTRY INTO ENCLOSURES.
4. EACH UNGROUNDED CONDUCTOR SHALL BE IDENTIFIED BY PHASE AND SYSTEM PER ART 210.5.
5. ALL METALLIC COMPONENTS SHALL BE GROUNDED VIA EQUIPMENT GROUNDING CONDUCTORS.
6. CHARGING UNITS ARE EQUIPPED WITH AN INTEGRATED CONTACTOR TO PREVENT BACK FEEDING OF POWER TO THE SOURCE.
7. CONTRACTOR TO FIELD VERIFY MAIN FEED BREAKER SUPPORTING DISTRIBUTION PANEL IS APPROPRIATELY SIZED TO SUPPORT THE LOAD. CONTRACTOR SHALL CONTACT THE ENGINEERING TEAM IMMEDIATELY IF BREAKER IS FOUND TO BE INSUFFICIENT.

ABBREVIATIONS:

| | |
|------|-----------------------------------|
| A | AMPERE |
| AC | ALTERNATING CURRENT |
| AL | ALUMINUM |
| ART | ARTICLE |
| AUX | AUXILIARY |
| BLDG | BUILDING STRUCTURE |
| CONC | CONCRETE |
| CU | COPPER |
| DC | DIRECT CURRENT |
| EGC | EQUIPMENT GROUNDING CONDUCTOR |
| (E) | EXISTING |
| EMT | ELECTRIC METALLIC TUBING |
| EV | ELECTRIC VEHICLE |
| EVSE | ELECTRIC VEHICLE SUPPLY EQUIPMENT |
| GALV | GALVANIZED |
| GND | GROUND |
| HDG | HOT DIPPED GALVANIZED |
| I | CURRENT |
| KVA | KILOVOLT AMPERE |
| KW | KILOWATT |
| M | METER |
| MAX | MAXIMUM |
| MIN | MINIMUM |
| N | NEUTRAL |
| NEC | NATIONAL ELECTRIC CODE |
| NTS | NOT TO SCALE |
| (N) | NEW |
| OC | ON CENTER |
| PL | PROPERTY LINE |
| PVC | POLYVINYL CHLORIDE |
| RMC | RIGID METALLIC CONDUIT |
| SCH | SCHEDULE |
| SS | STAINLESS STEEL |
| TYP | TYPICAL |
| V | VOLT |
| W | WATT |
| XFMR | TRANSFORMER |

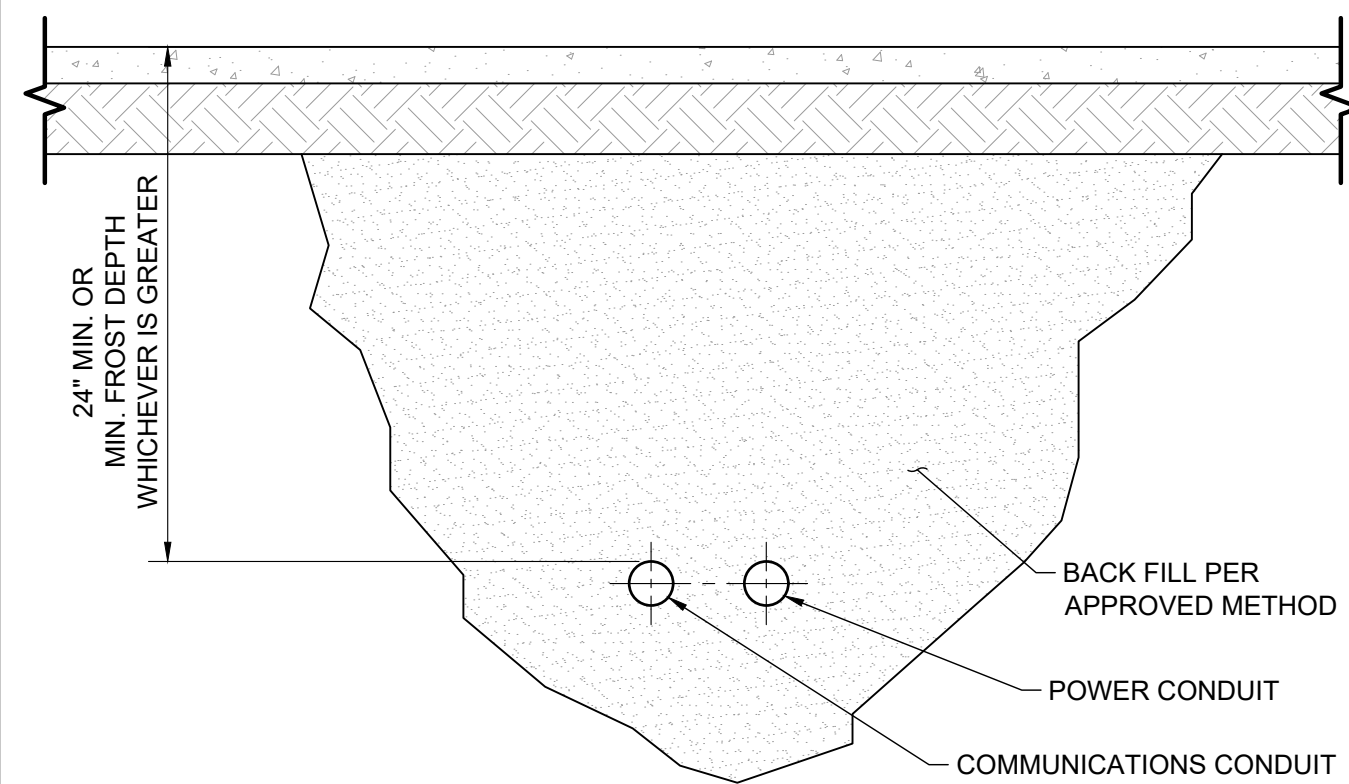
ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON-SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT THE TIME OF CONSTRUCTION.
2. UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER AT TIME OF PRECONSTRUCTION MEETING TO ENSURE ACCURACY OF INSTALLATIONS.
3. CONDUIT PATHS ARE REPRESENTATIVE ONLY. EXACT CONDUIT PLACEMENT TO BE DETERMINED ON SITE BASED ON FIELD CONDITIONS.
4. PRIOR TO DRILLING, CONTRACTOR SHALL VERIFY THICKNESS OF EXISTING CONCRETE WALL IS AT LEAST 9" AND THAT 6" ANCHOR EMBEDMENT CAN BE PROVIDED.



NOTES:

1. LEAN CONCRETE RED-COLORED TOP, MAY BE USED IN PLACE OF COMPACTED SAND.
2. BURY CONDUITS 36" MINIMUM BELOW FINISHED GRADE.
3. ALL PVC SWEEPS TO BE A MINIMUM 36" SWEEPS.
4. CONDUIT SIZES PER CONDUIT SCHEDULE.



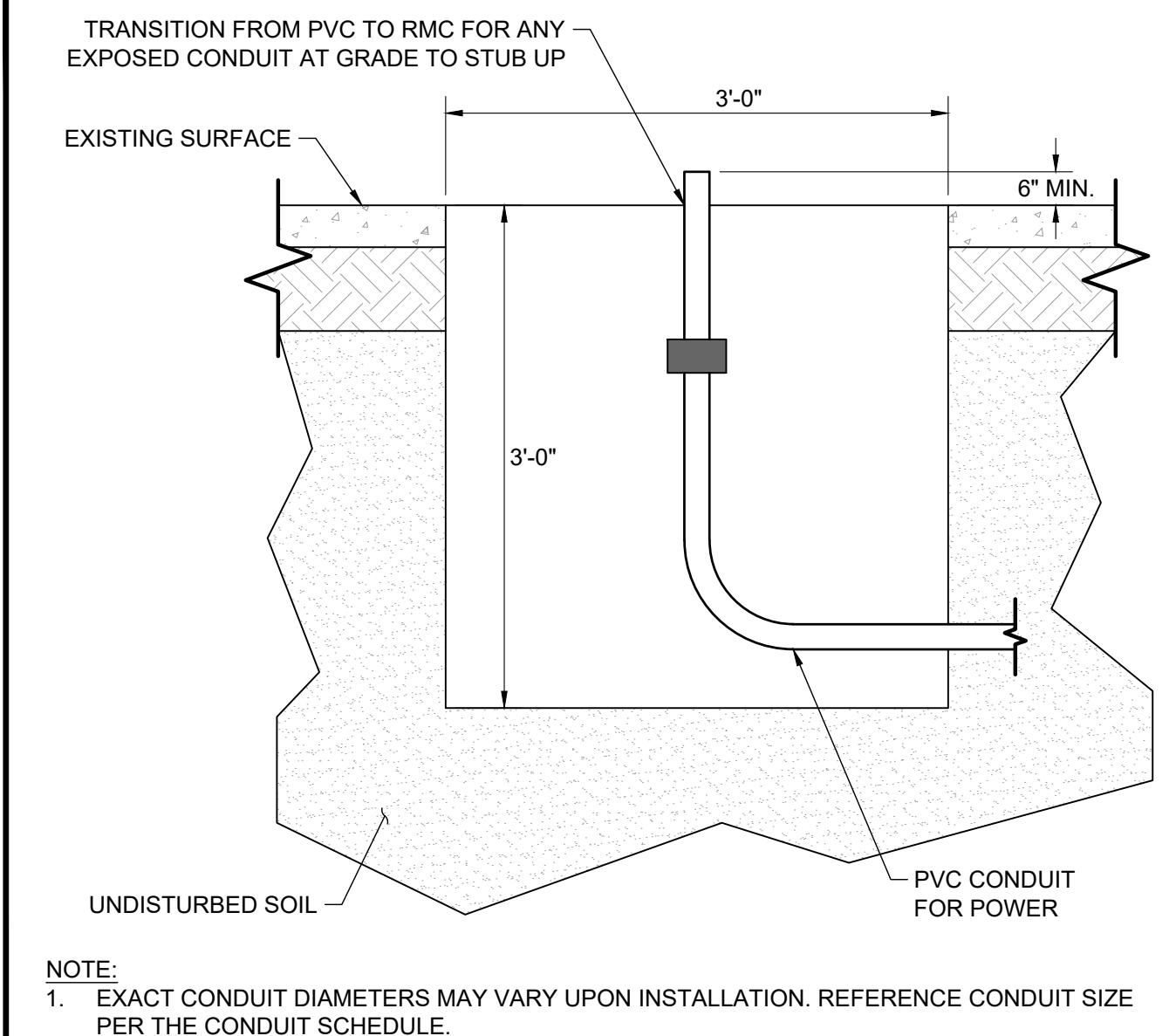
NOTE:

1. EXACT CONDUIT DIAMETERS MAY VARY UPON INSTALLATION. REFERENCE CONDUIT SIZE PER THE CONDUIT SCHEDULE.

POWER TRENCH SCALE N.T.S. 2

BORE SECTION SCALE N.T.S. 3

NOT USED SCALE N.T.S. 4



NOTE:

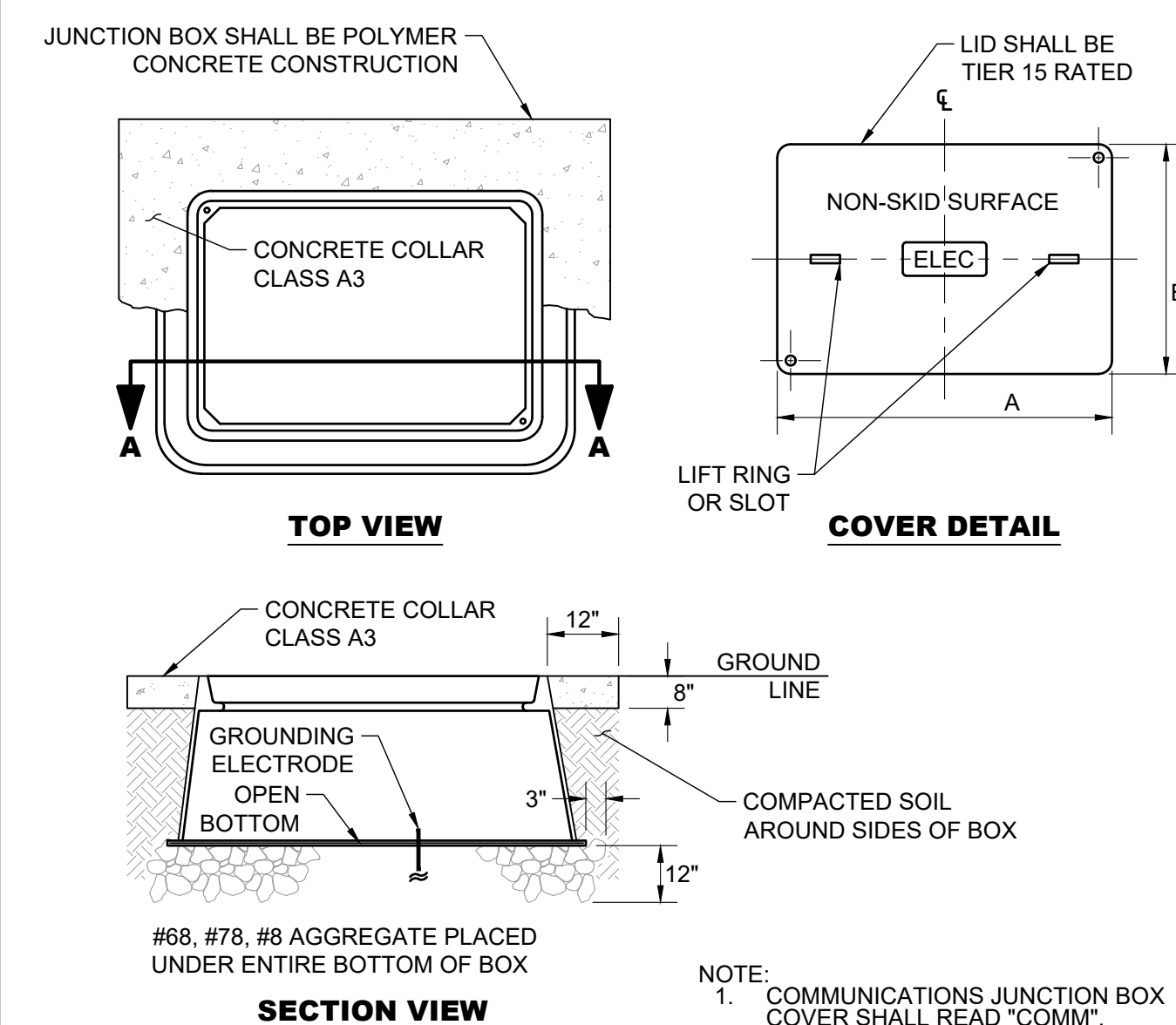
1. EXACT CONDUIT DIAMETERS MAY VARY UPON INSTALLATION. REFERENCE CONDUIT SIZE PER THE CONDUIT SCHEDULE.

ELECTRICAL NOTES & ABBREVIATIONS 1

NOT USED SCALE N.T.S. 5

NOT USED SCALE N.T.S. 6

BORE PIT SCALE N.T.S. 7



NOTE:

1. COMMUNICATIONS JUNCTION BOX COVER SHALL READ "COMM".

NOT USED SCALE N.T.S. 8

NOT USED SCALE N.T.S. 9

NON-TRAFFIC RATED JUNCTION BOX SCALE N.T.S. 10

NOT USED SCALE N.T.S. 11

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

3875 E EMBASSY PARKWAY STE. 280
AKRON, OH 44333
Main: (216) 505-7775 | www.kimley-horn.com
© 2022 Kimley-Horn and Associates, Inc.

| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|-----|
| 1 | 04/15/2022 | CD50s | GHH |
| 2 | 05/31/2022 | CD100s | GHH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

ISSUE DATE
06/01/2022

ISSUED FOR
PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

KOHL'S MACEDONIA
8100 MACEDONIA COMMONS BLVD.
MACEDONIA, OH 44056

SHEET TITLE
ELECTRICAL NOTES & DETAILS

SHEET NUMBER
E2-00

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

Memorandum

TO: Nicholas Molnar, Mayor
and Macedonia Planning Commission

FROM: Brian M. Frantz, AICP

SUBJECT: Electric Vehicle Charging Stations – 8100 Macedonia Commons Boulevard

DATE: July 5, 2022

The applicant is requesting approval to construct four electric vehicle charging stations (and accessory equipment) in the parking lot of Kohl's in Macedonia Commons. The site is zoned B-3 General Business District.

I have reviewed an application (and site plan) dated June 22, 2022 in connection with this request and offer the Planning Commission with the following comments for their consideration:

Background:

In 2013, the Planning Commission determined that the most closely related use in the Code (and in the B-3 District) similar to electric vehicle charging stations are gasoline filling stations, which is a conditionally permitted use. At the time, there was discussion amongst the Administration to create an ordinance that defined electric vehicle charging stations separate from gasoline filling stations. To the best of my knowledge, no such ordinance exists. Therefore, the Code remains unclear as to exactly how these uses are regulated.

Analysis:

I believe the 2013 determination made sense at the time, particularly since the proposal was to construct a facility rather than individual charging stations. The current proposal is to convert four standard parking stalls (in front of the Kohl's building) into electric charging station parking spaces. The total off-street parking count will not be reduced because the four spaces will not be reserved just for electric vehicle charging. Rather, the spaces will remain open to any vehicle.

I believe the Commission can reasonably make a determination that Section 1167.04 (d) (3) applies to this request. This Section states that, "Any accessory use which is incident to the permitted main use shall be permitted provided it is planned and developed integrally with the main building, and with adjacent buildings and it has no injurious effects on adjoining districts." Clearly electric vehicle charging stations are here to stay and they are accessory to automobiles, which off-street parking is accessory to all permitted uses in the B-3 District. This is a reasonable use and will not negatively impact adjacent shopping center users. In fact, this is far less impactful than the Tesla facility given this proposal combines the charging units into existing parking spaces.

The only minor issue I foresee going forward with this request is the need to properly screen the charging station equipment from Macedonia Commons Boulevard. Moreover, potential impacts to the existing landscaping must be considered. Given this, a landscape plan prepared by a Landscape Architect should be provided for review and approval. If the Commission's agrees, I can review and approve the landscape plan administratively. Otherwise, the plan should come back to the Commission for approval.

If you have any questions or need additional information, please do not hesitate to contact me.