

**MACEDONIA PLANNING COMMISSION
MEETING AGENDA
MARCH 21, 2022**

Location: Macedonia City Hall
Council Chambers
9691 Valley View road
Macedonia, Ohio 44056

Time: 5:30 P.M.

Call to Order:

Roll Call:

- Mr. Westbrooks
- Mr. Schiavone
- Mr. Cox
- Mr. Wallenhorst
- Mr. Roberts

Approval of the January 10, 2022 minutes.

Agenda Items:

- 1) Ms. Jefferson with LAAD Sign & Lighting is proposing signage for Burlington Coat Factory located at 500 E. Aurora Rd.

Tonya Jefferson
LAAD Sign & Lighting
3097 State Route 59
Ravenna OH 44266
330-379-2297
tjefferson@laadsignandlighting.com

- 2) Mr. Smith with Dominion East Ohio is proposing installation of two utility buildings for gas equipment at 9796 Shepard Rd.

Ryan Smith
Dominion Energy
320 Springside Dr.
Akron, OH 44333
330-203-7560
ryan.j.smith@dominionenergy.com

3) Mr. Clark is proposing tree clearing at 7860 Empire Parkway.

Russell Clark
8180 Corporate Park Drive
Cincinnati, OH 45242
513-384-8961
rclark@arco1.com

Miscellaneous:

Adjournment

Tabled Items:

Continued proposals:

New Building for Don Basch Jewelers located on Fairlane Dr.
New Wave Car Wash located at 307 Highland Rd.

The next regularly scheduled meeting is set for April 18, 2022
All requests & documentation for the Planning Commission must be submitted by March 25, 2022
Tabled items will be removed after one (1) year of inactivity.

**MACEDONIA PLANNING COMMISSION
FEBRUARY 14, 2022
MEETING MINUTES**

CALL TO ORDER: Mr. Westbrooks called the meeting to order at approximately 5:30 p.m.

MEMBERS PRESENT:

Planning Commission: Mr. Westbrooks, Mr. Schiavone, Mr. Cox, Mr. Wallenhorst, and Mr. Roberts was absent.

City Planner: Mr. Frantz

City Fire Inspector: Mr. Smith

City Engineer: Joe Gigliotti

Building Commissioner: Bob Rodic

APPROVAL OF THE JANUARY 10, 2022, PLANNING COMMISSION MEETING MINUTES.

Mr. Cox motioned to approve the January 10, 2022 Planning Commission minutes, Mr. Wallenhorst seconded, and all were in favor.

PROPOSED SIGNAGE FOR WAYBACK BURGERS LOCATED AT 463 E. AURORA RD.

Mr. Evans with FastSigns was present. Mr. Frantz made his comments. Mr. Cox motioned to approve the signage plans as submitted, Mr. Schiavone seconded, Mr. Westbrooks and Mr. Wallenhorst agreed.

PROPOSED SIGNAGE FOR BIND TECH LOCATED AT 8212 BAVARIA DR.

Mr. Costiuc with Signarama was present. Mr. Frantz made his comments. There was much discussion of the faux sign materials and colors. Mr. Westbrooks commented that there is some landscaping present. Mr. Westbrooks motioned to approve the signage with the modified materials being that the entire sign is made from stone looking material with a cap on top and attached letters to be approved for look and color administratively. Mr. Wallenhorst seconded, Mr. Schiavone and Mr. Cox agreed.

PROPOSED SITE IMPROVEMENTS INCLUDING PARKING LOT RESTRIPIING AND INSTALLATION OF SIGNS AND LIGHT POLES AT TARGET LOCATED AT 8282 GOLDEN LINK BLVD.

Mr. Immel with Target was present and made his proposal. Mr. Frantz made his comments. Mr. Gigliotti made his comments. There was much discussion of the curbed ramp and its location. Mr. Westbrooks motioned to approve the restriping and parking plan with the exception to the curbed ramp being moved so that the crosswalk is perpendicular with the drive isle and is to be reviewed administratively. Mr. Wallenhorst seconded, Mr. Cox and Mr. Schiavone agreed.

PROPOSED PLAT APPROVAL FOR SPRUCE HILL CROSSINGS PHASE III.

Mr. Coblentz with Coblentz homes was present and gave an overview of the proposal. Mr. Frantz made his comments. Mr. Coblentz explained that it was going to be developed as one phase but decided to split it up into phase 3 and 4. Mr. Frantz commented he didn't know where the Conditional Zoning Certificate stands in the approval by City Council, but it is a necessary step. Mr. Gigliotti commented that the plat is acceptable. Mr. Smith commented that the fire access road is missing from the plan and that Kelly Dr. requires a turn around of 96 ft. cul-de-sac. Mr. Gigliotti commented that the fire access road is shown on the improvement plans. Mr. Westbrooks motioned to approve the plat as submitted with the admission of Mr. Frantz's comments to be reviewed administratively. Mr. Wallenhorst seconded, Mr. Schiavone and Mr. Cox agreed.

PROPOSED PRELIMINARY APPROVAL OF A NEW BUILDING FOR DON BASCH JEWELERS LOCATED ON FAIRLANE DR.

Mr. Leszynski with MVL Construction and Mr. Basch were present. Mr. Westbrook commented that the BZA approvals have expired and that they must be re applied for. Mr. Leszynski commented that the purpose for attending the meeting was for feedback on the project. Mr. Frantz made his comments regarding the lot consolidation. Mr. Gigliotti made his comments regarding the lot consolidation plat. Mr. Wallenhorst motioned to approve the lot consolidation as submitted with the City Planners comments. Mr. Cox seconded, Mr. Westbrook, and Mr. Schiavone agreed. Mr. Frantz made his comments regarding the new building proposal. Mr. Westbrook went over the Architectural Advisors comments. Mr. Gigliotti made his comments. Mr. Wallenhorst discussed landscaping and screening with the applicant. The height of the tower was discussed and was suggested to maybe lower it. Mr. Westbrook questioned the trees on the North side of the site and if the trees would stay, Mr. Leszynski commented that the trees in question were not on the property. Mr. Westbrook motioned to continue the new building proposal to the March 21, 2022 Planning Commission meeting. Mr. Cox seconded, Mr. Schiavone and Mr. Wallenhorst agreed.

PROPOSED SITE PLAN APPROVAL FOR THE WAVE CAR WASH LOCATED AT 307 HIGHLAND RD.

Mr. Johnson with MDM Services was present and gave an overview of the proposal. Mr. Frantz made his comments. Mr. Gigliotti made his comments. Mr. Johnson commented that the intent is to comply. Mr. Smith commented that they may need to add an additional hydrant. There was much discussion of the one-way drive exiting south from the pay station. Mr. Gigliotti recommended the applicant verify the survey that showed the catch basin and everything else. Mr. Gigliotti had issues with the design site engineer's calculations, and to develop the site there needs to be storm water detention on site and he is willing to discuss with the design engineer. Mr. Rodic commented that the Architectural advisor will go over the recently submitted plans. There was discussion of the color of the brick being used on the building. Mr. Gigliotti commented that an area can be shown on the plan for storm water retention. Mr. Schiavone commented that a site plan/grading plan showing utilities would be beneficial, and could show fire hydrants, grades, and storm water retention plan, without it, he doesn't believe that it should be approved. Mr. Westbrook motioned to continue the Wave Car Wash proposal to the March 21, 2022 Planning Commission meeting. Mr. Cox seconded, Mr. Wallenhorst and Mr. Schiavone agreed.

MISCELLANEOUS:

PROPOSED GRADING ADJUSTMENT FOR OPTIMA DERMATOLOGY LOCATED AT 8183 GOLDEN LINK BLVD.

Mr. Sullivan with Macedonia Retail Management LLC was present and gave an overview of the proposal. Mr. Frantz made his comments. Mr. Gigliotti made his comments and questioned how the new proposed elevation of the site relates to the existing sites around it. Mr. Sullivan answered that the original plan was two foot lower than the surrounding sites. Mr. Gigliotti requested that all the survey information be provided in the resubmittal for review. Mr. Cox motioned to approve the grading adjustment with administrative approval. Mr. Westbrook seconded, Mr. Schiavone and Mr. Wallenhorst agreed.

ADJOURNMENT:

Mr. Schiavone motioned to adjourn at approximately 8:48 p.m. Mr. Cox seconded, Mr. Westbrook and Mr. Wallenhorst agreed.



City of Macedonia

Building, Engineering, Zoning & Planning Dept.

The Crossroads of Northeast Ohio

9691 Valley View Road ° Macedonia, Ohio 44056

330 / 468-8360 ° Fax: 330 / 468-8396

APPLICATION FOR HEARING BEFORE THE MACEDONIA PLANNING COMMISSION

ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.

DATE OF APPLICATION: 2/23/22

LOCATION OF PROPERTY INVOLVED: 500 E Aurora Rd

NATURE OF REQUEST: signage reueiw

APPLICANT NAME & PHONE: Tonya Jefferson 330.379.2297

APPLICANT ADDRESS: 3097 State Route 59 Ravenna OH 44266

APPLICANT EMAIL ADDRESS: tjefferson@laadsignandlighting.com

APPLICANT SIGNATURE: Tonya Jefferson

NOTES:

MEETING DATE: 3/21/22 FILING FEE 50.00 ESCROW REQUIRED \$400.00

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish TWO sets of sketches, maps, drawings, descriptions, or photographs of the property in question. TWO copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE. ADDITIONAL FEES MAY BE REQUIRED.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
City of Macedonia

Please submit plans to:
Macedonia Building Department
9691 Valley View Rd.
Macedonia, OH 44056

Project No. 00001571

Burlington Signage Package

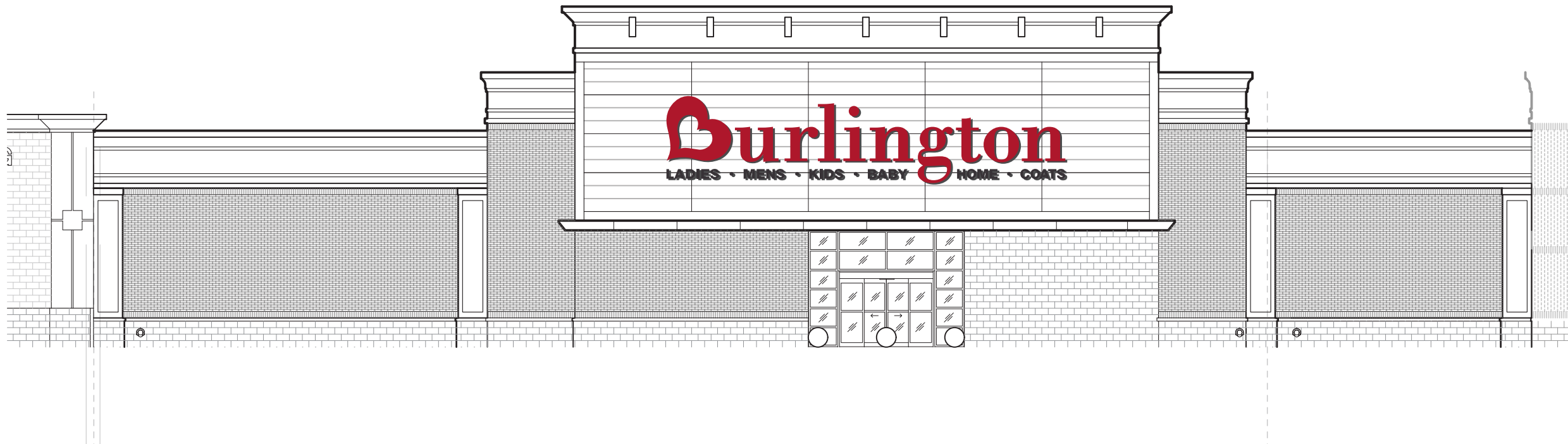
500 E Aurora Rd
Macedonia, OH 44056

REVISION #2 - 03/02/2022
This exhibit is for sign scope only
(not exterior elevation scope)

VARIANCE BUNDLE

Facade Type: Prototype Facade

Burlington
LADIES • MENS • KIDS • BABY HOME • COATS



IDENTITI

Property Evaluation Report: Sign Code Research

Code research is done to the best of our ability by confirming with city & obtaining code in writing, nothing is 100% guaranteed until permits are in hand.

I. Location Address:

City/State/Zip:

Former Tenant:

Shopping Center:

II. Exterior Signage

This report is based upon the city/county sign code: Zone/District:

A. Building Wall Signs

Total Qty Allowed per tenant:

Total Qty Allowed per elevation:

SqFt Allowed for /PrimaryStorefront:

For Sides/Rear:

Transferable:

Max Height Allowed:

Max Width:

How is SqFt Measured:

Can we box individual elements and total them up – Y/N:

B: Boxed Heart Logo

Counted as part of store signage? Yes:

No:

If Counted separately what is the max size it can be?:

C. Pylon Signs & D. Monument Signs

Qty Allowed:

SqFt Allowed:

Max Height:

Proposed Qty of Wall Signs :

III. Temporary Signage

Banners:

Construction Sign:

Flag Banners:

Step Stakes:

Tenant Overlays:

IV. Permit Procedure:

A. Permit: (Approx Days) Over the Counter Y/N:

Design Review Y/N:

B. Variance- Probability of Variance approval for 84" set:

72" set:

Comments:

C. Name of Contact & dept spoken with:

D. Form of Landlord Approval needed for Permits

V. Additional Information Notes:

VI. Restrictive Issues:

LEGEND

- Front Elevation (North) S1
- Non Illuminated B S2
- Pylon Sign P1



Site Plan - Overview

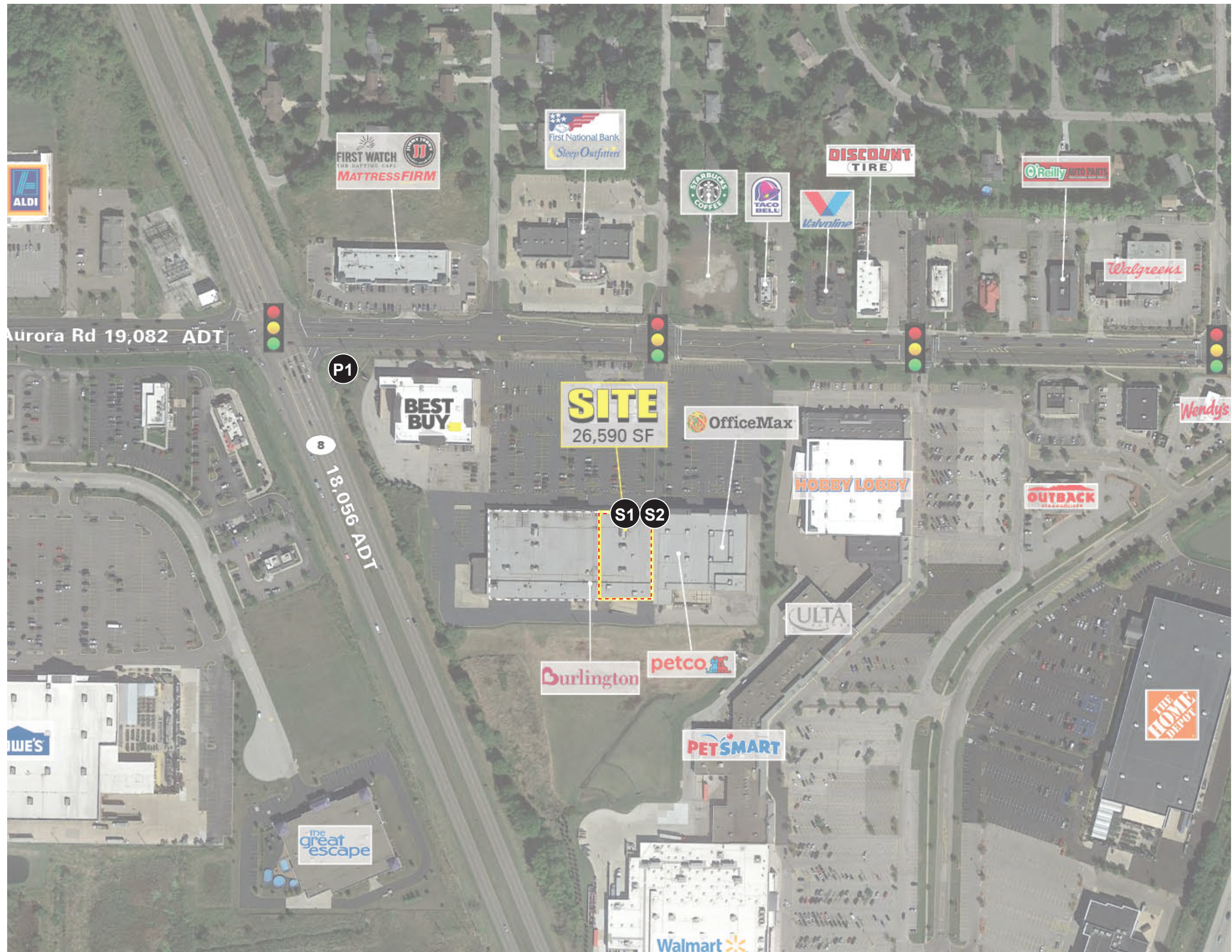
Project No. 00001571
 Project Signage Package
 Location 500 E Aurora Rd
 Macedonia, OH 44056

Orig. Draft 02.26.2021
 Project Mgr. Doug Franklin
 Designer Stephanie Chan
 Rev. Art N/A
 Rev. Date 00.00.00
 Page Rev. 000
 Rev. Details N/A

This sign design is exclusive property of Identiti Resources, LTD., and is the result of the original and creative work of it's employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design, by Identiti Resources, LTD. Distribution to or use of this sign design by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LTD. is prohibited.

IDENTITI

425 N Martingale Rd
 18th Floor
 Schaumburg, IL 60173
 Office 847.301.0510
 identiti.net



Front Store Elevation

S1-1

Proposed Signage = 405.3 SF

Relevant Signage Code

2 SF per linear foot of frontage. Aggregate total for all signage, including tenant panels.
 121.67 x 2 = 243.34 SF
 243.34 - 15 - 16 = 212.34 SF

Sign Type

LED Channel Letters
 Front-Lit

Mounting

Flush Mounted

Color Palette

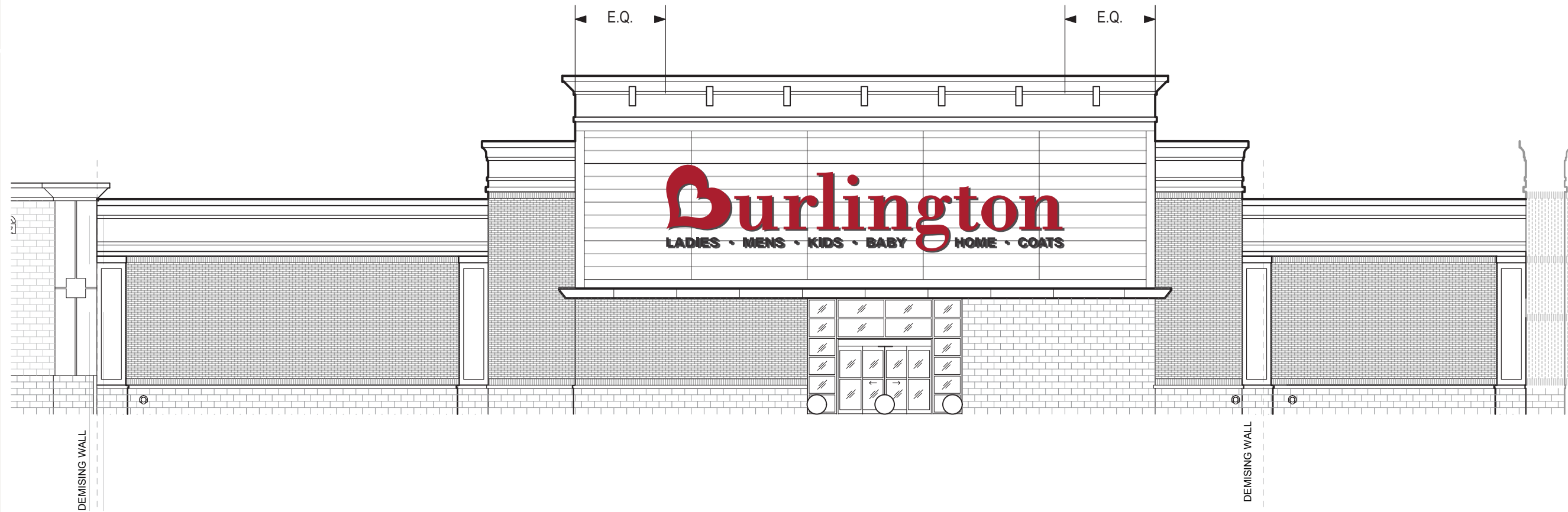
- Face: White Acrylic
- Vinyl: Translucent PMS 207 C
- Trim Cap & Returns: Black
- Tagline Vinyl: 3M 3630-222 Day/Night Black
- Tagline Trim Cap & Returns: Black

Project No. 00001571
 Project Signage Package
 Location 500 E Aurora Rd
 Macedonia, OH 44056

Orig. Draft 02.26.2021
 Project Mgr. Doug Franklin
 Designer Stephanie Chan
 Rev. Art Melissa Malik
 Rev. Date 01.26.22
 Page Rev. 001
 Rev. Details Updated color and elevation

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 18th Floor
 Schaumburg, IL 60173
 Office 847.301.0510
 identiti.net



P1-1

Proposed Signage = 15 SF

Relevant Signage Code

2 SF per linear foot of frontage. Aggregate total for all signage, including tenant panels.
 121.67 x 2 = 243.34 SF
 243.34 - 15 - 16 = 212.34 SF

Sign Type

Tenant Panel with Applied Vinyl
 QTY 2

Mounting

Mounted into Existing Cabinet

Color Palette

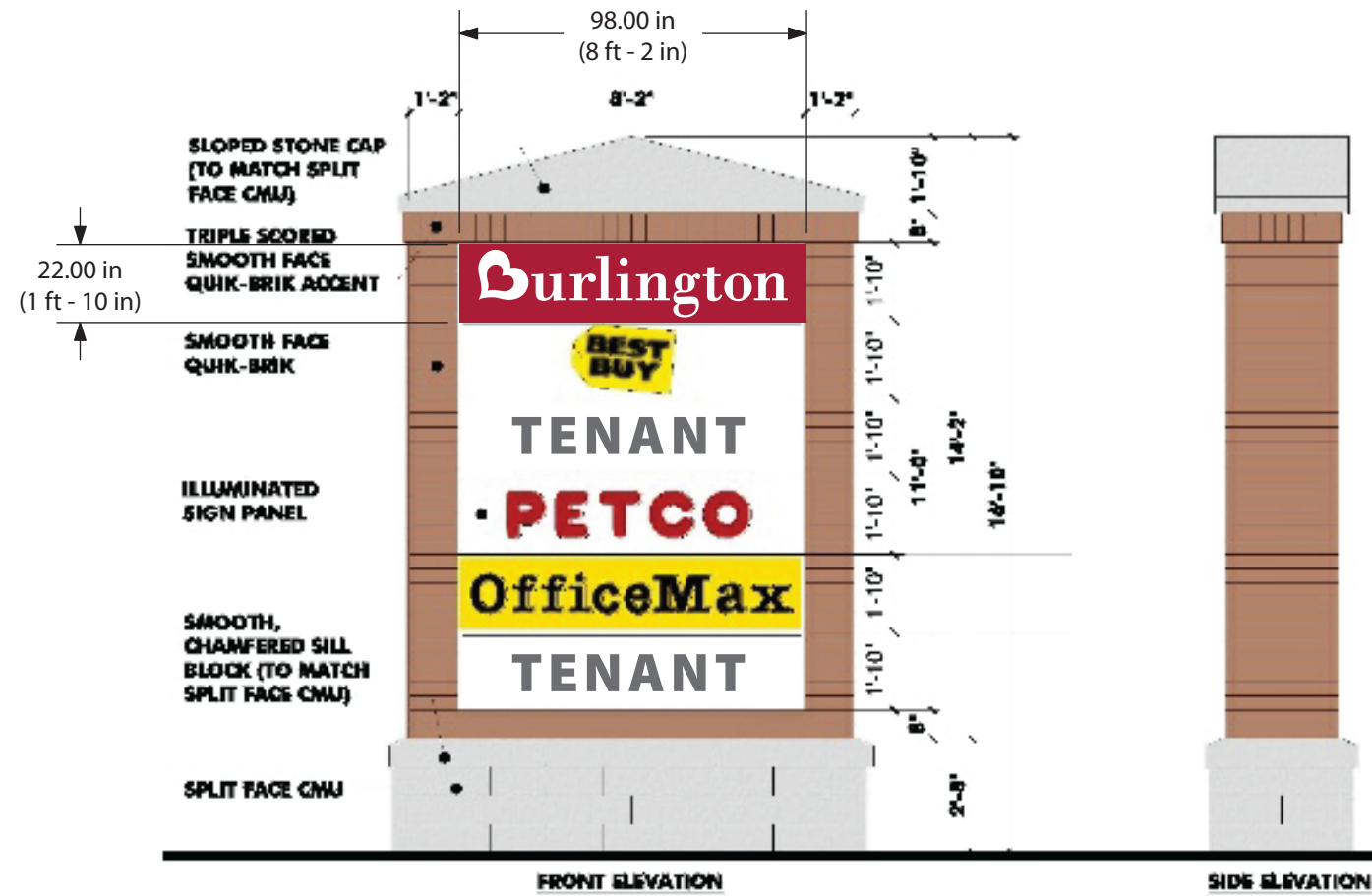
- Face: White Acrylic
- Vinyl: Custom Arlon Trans - Burlington Red
- N/A
- N/A
- N/A

Project No. 00001571
 Project Signage Package
 Location 500 E Aurora Rd
 Macedonia, OH 44056

Orig. Draft 02.26.2021
 Project Mgr. Doug Franklin
 Designer Stephanie Chan
 Rev. Art Liz Morgan
 Rev. Date 03.02.2022
 Page Rev. 002
 Rev. Details LL Request: hide TJ Max and show "Tenant" in it's place

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**PROPOSED MONUMENT SIGN
(6 SLOTS)**



SPEC - Main Letters

Proposed Signage = N/A

2 SF per linear foot of frontage. Aggregate total for all signage, including tenant panels.
 121.67 x 2 = 243.34 SF
 243.34 - 15 - 16 = 212.34 SF

Sign Type

LED Channel Letters
 Front-Lit

Mounting

Flush Mounted

Color Palette

- Face: White Acrylic
- Vinyl: Translucent PMS 207 C
- Trim Cap & Returns: Black
- N/A
- N/A

Project No. 00001571
 Project Signage Package
 Location 500 E Aurora Rd
 Macedonia, OH 44056

Orig. Draft 02.26.2021
 Project Mgr. Doug Franklin
 Designer Stephanie Chan
 Rev. Art Melissa Malik
 Rev. Date 01.26.22
 Page Rev. 001
 Rev. Details Updated color and elevation

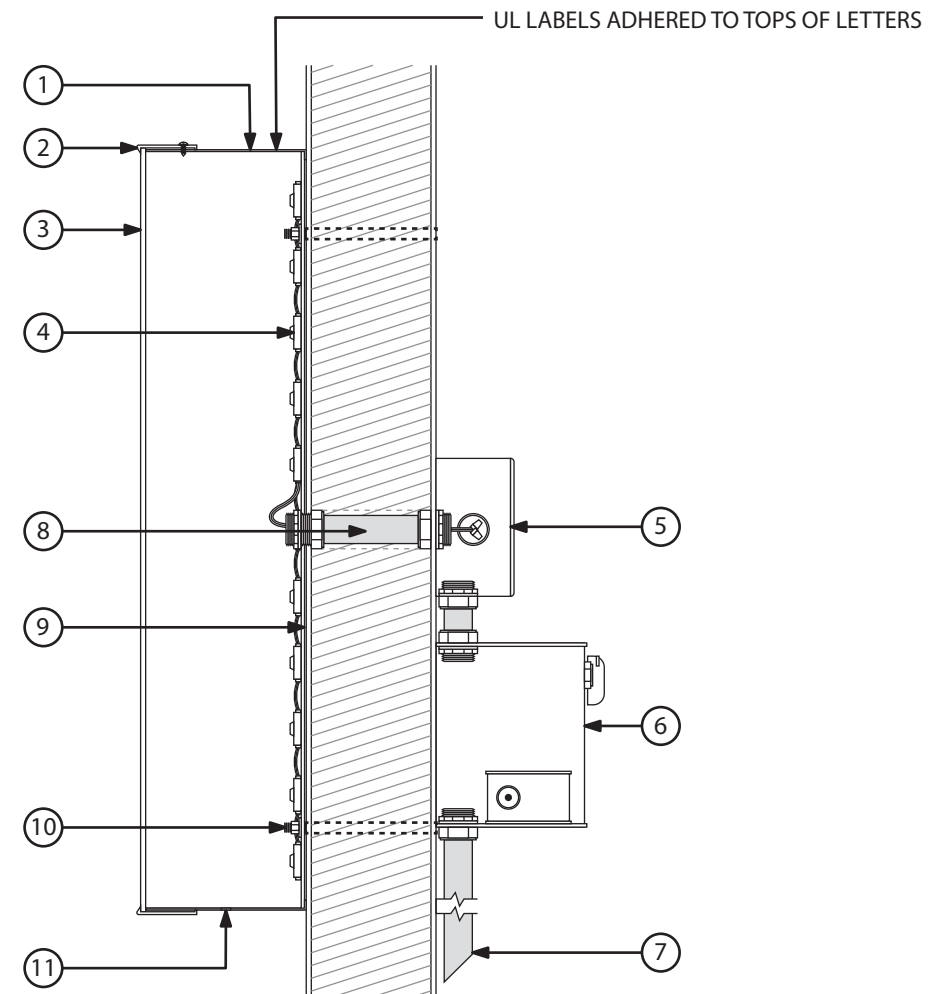
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Burlington



LETTERSET SPECIFICATIONS	
1	0.063 ALUMINUM RETURNS (5" DEPTH): PAINTED BLACK SATIN FINISH
2	1" TRIM CAP: (WITH JEWELITE WASHER HEAD PHILLIPS SCREWS) PAINTED BLACK
3	3/16" SEAMLESS WHITE ACRYLIC FACE: WHITE W/ APPLIED TRANSLUCENT VINYL PMS 207 C (Arlon 207 C)
4	LED UNITS: SLOAN PRISM RED
5	UL LISTED HOUSING: SECONDARY WIRING SPLICE POINT (WHEN NEEDED)
6	UL HOUSING W/ PWR SUPPLY (QTY VARIES) DISCONNECT SWITCH FOR DEDICATED PRIMARY POWER CIRCUIT
7	PRIMARY POWER CIRCUIT (PROVIDED/PERMITTED BY OTHERS) TO BE PLACED WITHIN 5 FEET OF CENTER OF SIGN
8	CONDUIT: SECONDARY ELECTRICAL RUN (WHEN NEEDED)
9	0.063 ALUMINUM BACK: PRECOAT WHITE FINISH
10	MOUNTING HARDWARE: STEEL KNURLED FLANGED RIVET NUT 0.805" L, 1/4"-18 DIA./THREAD SIZE W/ NUTS, WASHERS AND THREADED ROD
11	WEEP HOLES

ALL LETTERS TO HAVE 10' WHIPS



A3 LETTER SECTION
 SCALE: N.T.S.

SPEC-Tagline

Proposed Signage = N/A

2 SF per linear foot of frontage. Aggregate total for all signage, including tenant panels.
 121.67 x 2 = 243.34 SF
 243.34 - 15 - 16 = 212.34 SF

Sign Type

LED Channel Letters
 Front-Lit

Mounting

Flush Mounted

Color Palette

- Face: White Acrylic
- ▴ Tagline Vinyl: 3M 3630-222 Day/Night Black
- Tagline Trim Cap & Returns: Black
- N/A
- N/A

Project No. 00001571
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 Location 500 E Aurora Rd
 Macedonia, OH 44056

Orig. Draft 02.26.2021
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 Designer Stephanie Chan
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LADIES • MENS • KIDS • BABY

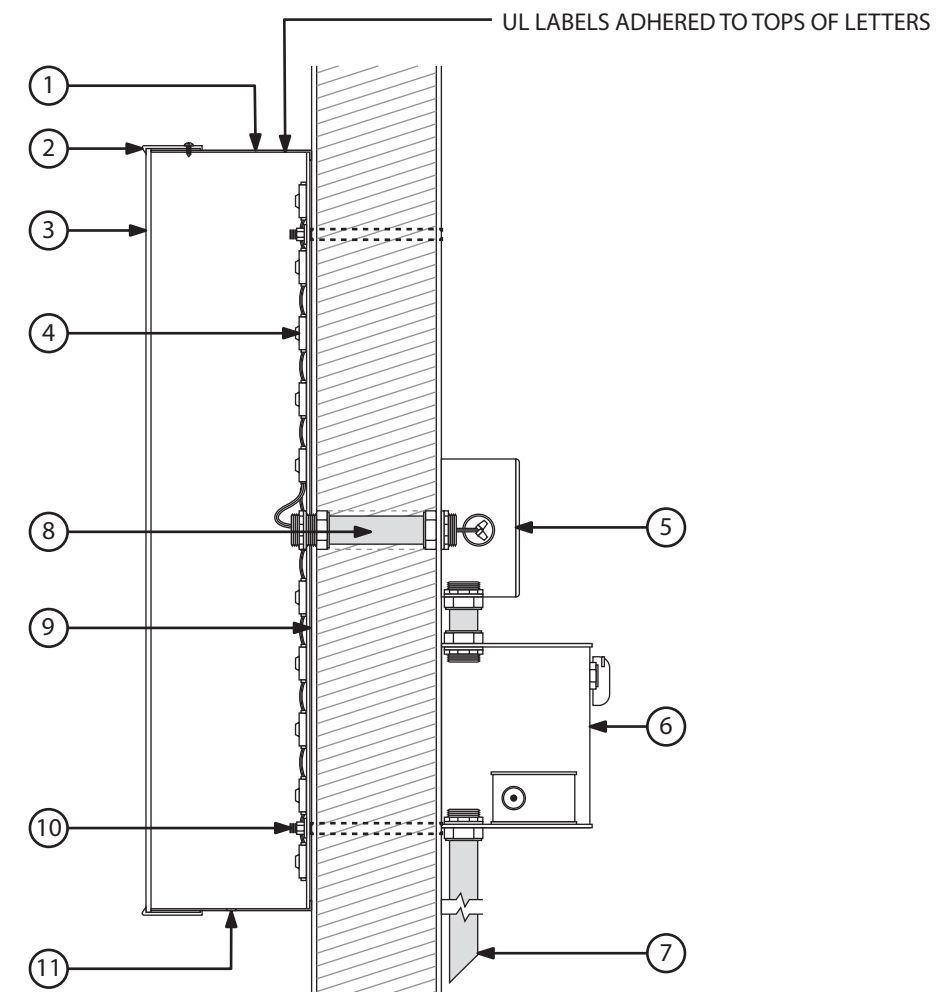
*TAGLINE SHOULD NEVER BE MOUNTED OVER BUILDING SEAMS/SCORELINES

HOME • COATS



LETTERSET SPECIFICATIONS	
1	0.063 ALUMINUM RETURNS (3" DEPTH): PAINTED BLACK
2	1" TRIM CAP: (WITH JEWELITE WASHER HEAD PHILLIPS SCREWS) PAINTED BLACK
3	3/16" ACRYLIC FACE: WHITE W/ 3M 3630-222 TRANSLUCTION BLACK DAY/NIGHT VINYL
4	LED UNITS: WHITE
5	UL LISTED HOUSING: SECONDARY WIRING SPLICE POINT (WHEN NEEDED)
6	UL HOUSING W/ PWR SUPPLY (QTY VARIES) DISCONNECT SWITCH FOR DEDICATED PRIMARY POWER CIRCUIT
7	PRIMARY POWER CIRCUIT (PROVIDED/PERMITTED BY OTHERS) TO BE PLACED WITHIN 5 FEET OF CENTER OF SIGN
8	CONDUIT: SECONDARY ELECTRICAL RUN (WHEN NEEDED)
9	0.063 ALUMINUM BACK: PRECOAT WHITE FINISH
10	MOUNTING HARDWARE: VARIES ON FACADE TYPE AND SUPPORT STRUCTURE
11	WEEP HOLES

ALL LETTERS TO HAVE 10' WHIPS



A3 LETTER SECTION
 SCALE: N.T.S.



City of Macedonia
Building, Engineering, Zoning & Planning Dept.
The Crossroads of Northeast Ohio
9691 Valley View Road °Macedonia, Ohio 44056
330 / 468-8360 ° Fax: 330 / 468-8396

**APPLICATION FOR HEARING BEFORE THE
MACEDONIA PLANNING COMMISSION**

ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.

DATE OF APPLICATION: 2/23/2022

LOCATION OF PROPERTY INVOLVED: 9796 SHEPARD RD., MACEDONIA

NATURE OF REQUEST: INSTALLATION OF TWO UTILITY BUILDINGS FOR GAS EQUIPMENT

APPLICANT NAME & PHONE: DOMINION EAST OHIO (RYAN SMITH, 330-203-7560)

APPLICANT ADDRESS: 320 SPRINGSIDE DR., AKRON OH 44333

APPLICANT EMAIL ADDRESS: RYAN.J.SMITH@DOMINIONENERGY.COM

APPLICANT SIGNATURE:  AUTHORIZED REPRESENTATIVE

NOTES:
DOMINION IS PROPOSING TWO METAL UTILITY BUILDINGS (44' x 48' AND 16' x 24') AS SHOWN IN ATTACHED DRAWINGS. SITE PLAN, LIGHTING, AND LANDSCAPING WERE APPROVED BY THE PLANNING COMMISSION IN 2021. LANDSCAPING HAS ALREADY BEEN INSTALLED AT THE FRONT OF THE PROPERTY.

MEETING DATE: _____ **FILING FEE** _____ **ESCROW REQUIRED** _____

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish TWO sets of sketches, maps, drawings, descriptions, or photographs of the property in question. TWO copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

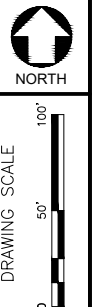
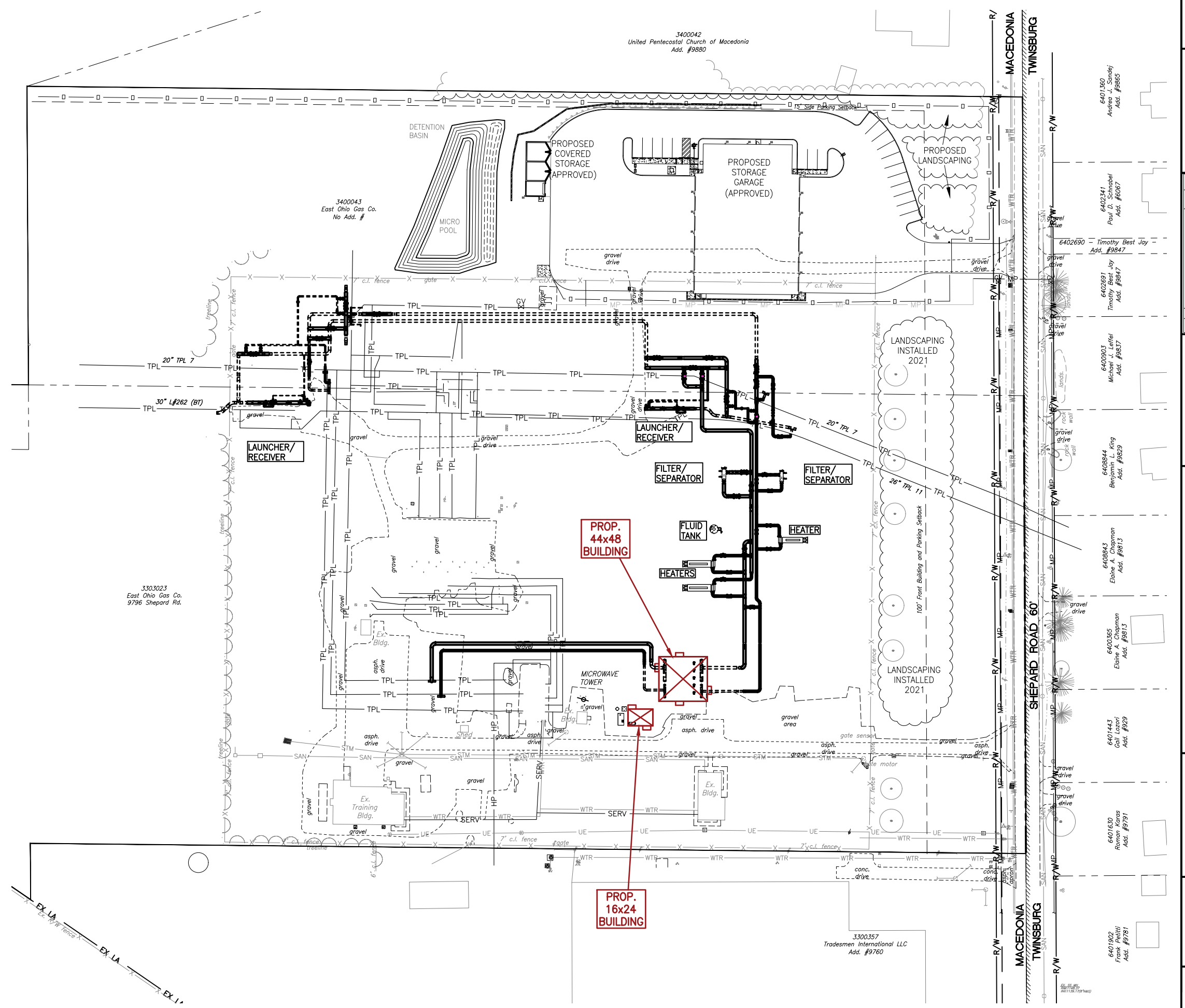
PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE. ADDITIONAL FEES MAY BE REQUIRED.
The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
City of Macedonia

Please submit plans to:
Macedonia Building Department
9691 Valley View Rd.
Macedonia, OH 44056

Dominion East Ohio is a P.U.C.O. regulated utility. The execution of this document is subject to and without waiver of any rights conferred by Dominion's tariff, the common law and general laws of Ohio, and Dominion's interests in both real and personal property, including all of its utility facilities.

THE OWNER DOES NOT WARRANT THE ACCURACY, SUFFICIENCY, OR COMPLETENESS OF THIS DRAWING OR MAP FOR ANY PURPOSE, AND RELIANCE HEREON AND USE HEREOF IS AT THE RISK OF THE USER, WHO AGREES TO HOLD HARMLESS AND INDEMNIFY THE OWNER AGAINST ANY AND ALL LIABILITY IN CONNECTION WITH ITS USE.



REV	DESCRIPTION	DATE	BY

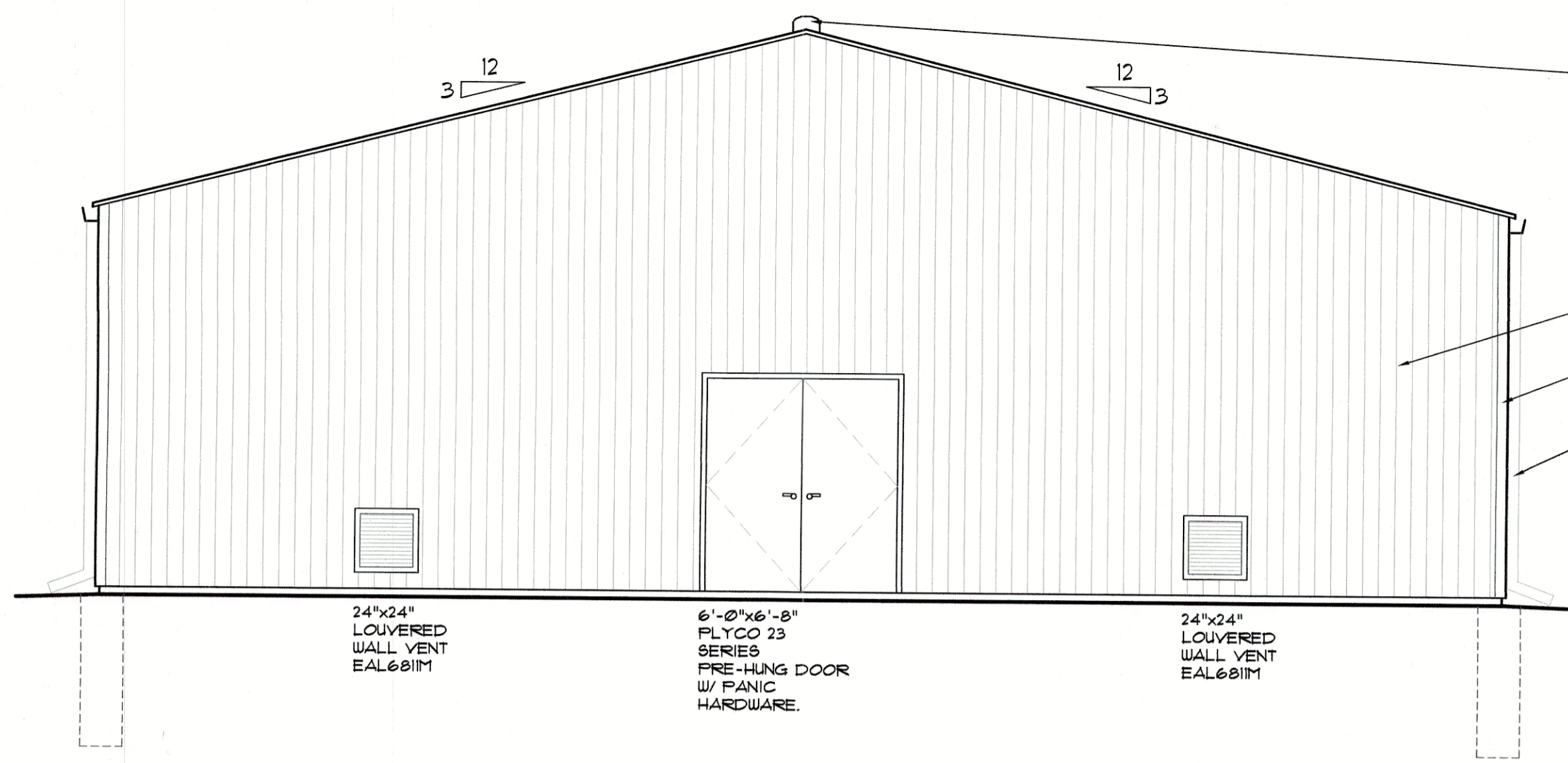


M&R REPLACEMENT TWINSBURG STATION

PROPOSED
SITE PLAN

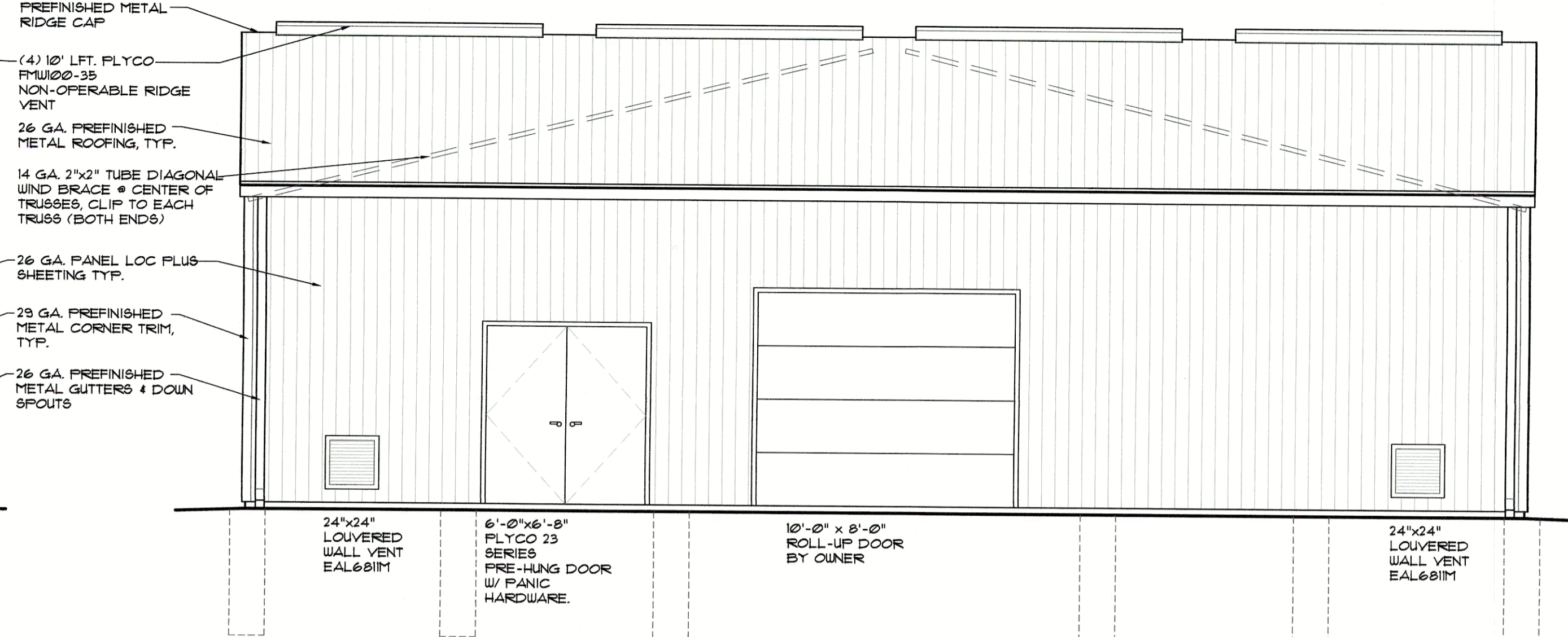
DATE: OCT. 2021
PROJECT ID #:
P400364614





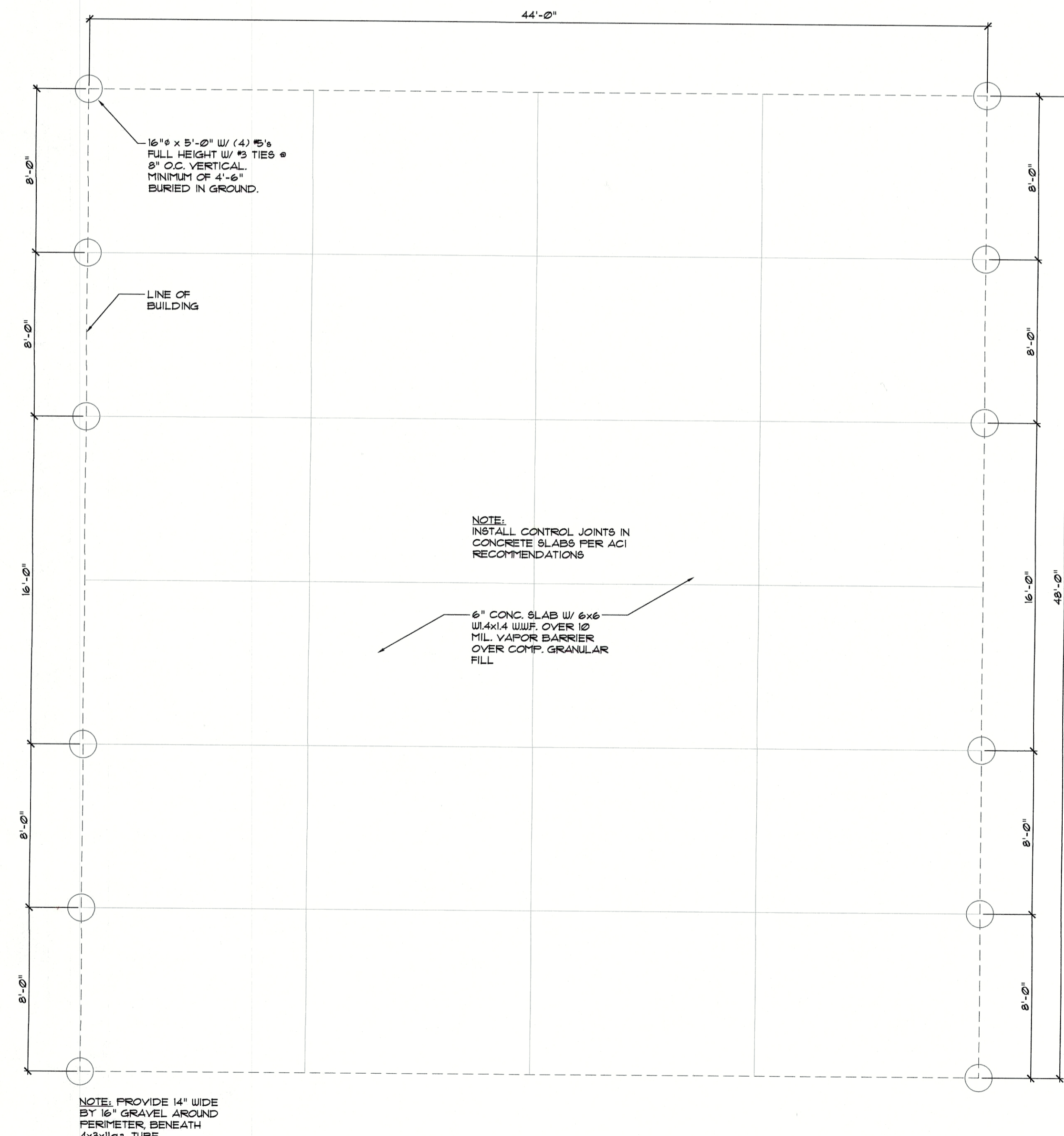
FRONT ELEVATION

SCALE: 1/4" = 1'-0"
NOTE: REAR ELEVATION SIMILAR



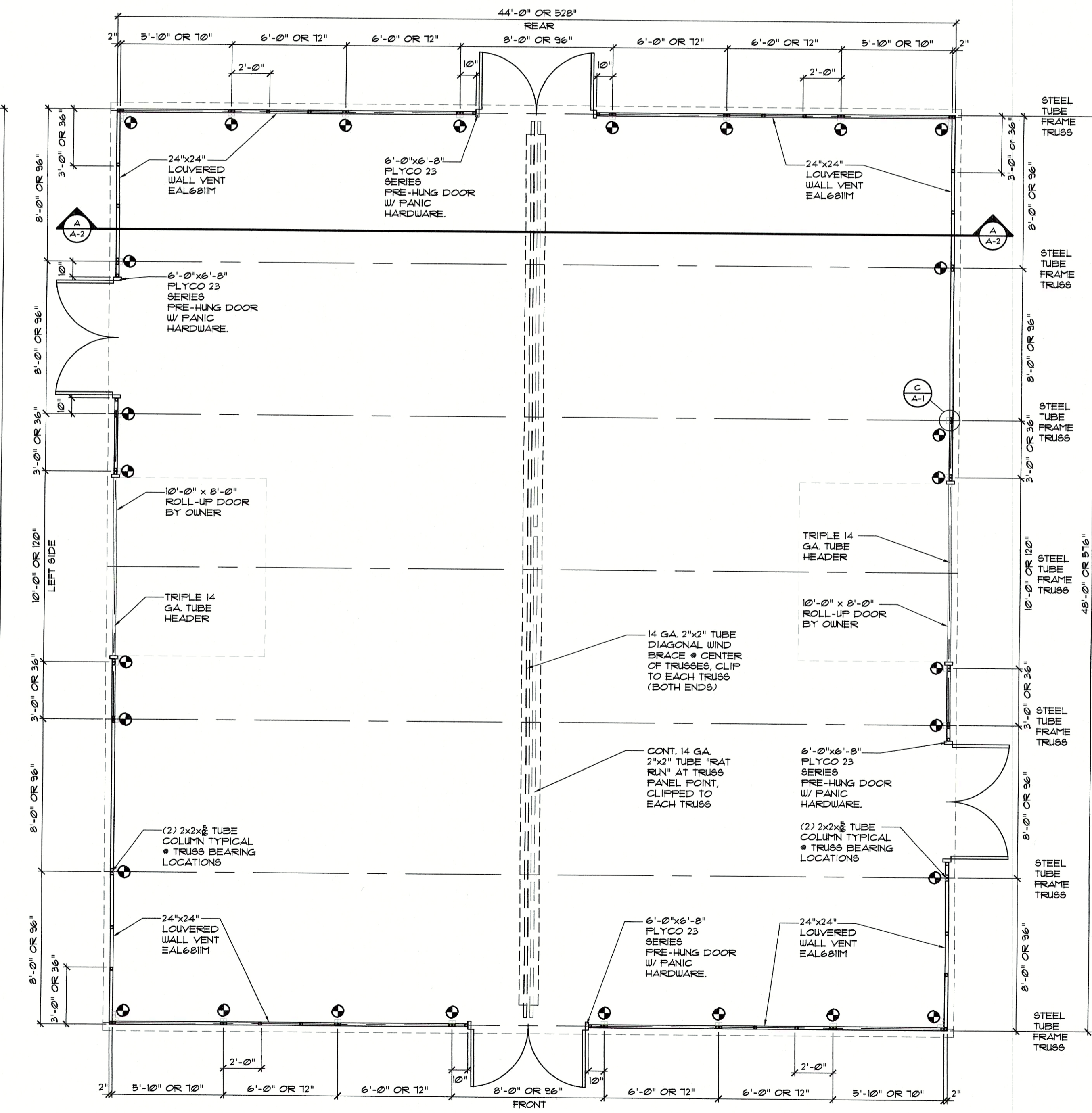
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"
NOTE: LEFT ELEVATION SIMILAR



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



FLOOR/ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- CONSTRUCTION TO COMPLY WITH THE 2011 OBC W/ MARCH 2011 ICC/ANSI A117.1-10 UPDATE, 2011 OMC, 2011 OPC & 2011 NEC.
- DO NOT SCALE DRAWINGS. (USE DIMENSIONS). VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS BEFORE INSTALLATION.
- ALL BUILDING PLANS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR PLAN REVIEW NOTIFY ARCHITECT OF ANY PLAN REVIEW COMMENTS PRIOR TO CONSTRUCTION.
- TUBE STEEL SHALL BE ASTM A-500 GRADE "C". ALL OTHER STEEL SHALL BE A 36 GRADE.
- ALL WELDING SHALL BE PERFORMED ACCORDING TO AISC AND AISC STANDARDS.
- PORTABLE FIRE EXTINGUISHERS NOT REQUIRED IN USE GROUP UTILITY TYPE "U" CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETE IN ACCORDANCE WITH THE PLANS.

NOTE: THIS EQUIPMENT BUILDING WILL NOT BE USED BY THE GENERAL PUBLIC AND IS NOT DESIGNED FOR ACCESSIBILITY. SEE EXCEPTION "EQUIPMENT SPACES"

LOAD SUMMARY

GROUND SNOW LOAD = $P_g = 20$ P.S.F.
 EXPOSURE FACTOR = $C_e = 1.0$
 THERMAL FACTOR = $C_t = 1.2$
 IMPORTANCE FACTOR = $I = \text{CATEGORY 1} = 0.85$
 SNOW LOAD ON FLAT ROOF = P_f
 $P_f = 0.7 (C_e) (C_t) (I) (P_g) = 14.28$ P.S.F.
 ROOF SLOPE FACTOR = $C_s = 1.0$
 SLOPED ROOF LOAD = P_s
 $P_s = (C_e) (P_f) = (1.0) (14.28) = 14.28$ P.S.F.

MINIMUM LIVE LOAD = 20 P.S.F.
 TOP CHORD DEAD LOAD = 5 P.S.F.
 BOTTOM CHORD DEAD LOAD = 5 P.S.F.
 TOTAL ROOF LOAD = 30 P.S.F.

BASIC WIND SPEED 125 MPH FOR CAT. 1 BLDGS, 80 MPH (WIND SPEED CONVERSION).
 MAXIMUM HORIZONTAL DESIGN WIND PRESSURE 16.1 P.S.F.
 MAXIMUM VERTICAL DESIGN WIND PRESSURE -15.4 P.S.F.
 SOIL BEARING CAPACITY 2,000 PSF ASSUMED

SEISMIC INFORMATION:
 DESIGN $S_d = 0.19$, $S_{d1} = 0.294$
 SITE CLASS: "D", OCCUPANCY USE GROUP: I
 SEISMIC DESIGN CATEGORY: "B"
 SEISMIC SHEAR FORCE = 3.06 KIPS

CODE COMPLIANCE

CODE: 2011 OBC W/ MARCH 2011 UPDATED ICC/ANSI A117.1-10, 2011 OMC, 2011 OPC & 2011 NEC

USE GROUP: "U" UTILITY NATURAL GAS REGULATION EQUIPMENT HOUSING

TYPE OF CONSTRUCTION: 2-B NON COMBUSTIBLE WITHOUT AUTOMATIC SPRINKLER SYSTEM

HEIGHT AND AREA LIMITATION
 2 STORY, 35 FEET
 ACTUAL BUILDING HEIGHT: 11'-11"
 TABULAR AREA: 8,500 SF
 ACTUAL BUILDING AREA: 2,112 SF

OCCUPANT LOAD: 1 PERSON

NOTES:
 1. THIS BUILDING SHALL BE LOCATED GREATER THAN 10' FROM ANY PROPERTY LINE OR GREATER THAN 20 FEET FROM ANY OTHER BUILDING ON THE SAME SITE. NOTIFY ARCHITECT IF LESS.
 2. THE VINYL FACED BUILDING INSULATION SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPMENT INDEX NOT GREATER THAN 450. THE BUILDER SHALL PROVIDE TO THE BUILDING OFFICIAL MANUFACTURERS LITERATURE WITH THIS INFORMATION FOR THEIR RECORDS.

- FURNISH AND INSTALL (4) FLYCO 23 SERIES 6'-0"x6'-8" FRE-HUNG DOORS WITH PANIC HARDWARE.
- FURNISH AND INSTALL (8) RUSKIN EAL681M 24"x24" ACOUSTICAL ADJUSTABLE LOUVERS.

- ROOFING FASTENERS TO BE #2 -14 x 1" "BUILDEX" SELF DRILLING CARBON STEEL SCREWS AT 9" O.C. AT EACH FURLIN WITH NEOPRENE WASHER
- SIDING FASTENERS TO BE #2 -14 x 1" "BUILDEX" SELF DRILLING CARBON STEEL SCREWS AT 9" O.C. AT EACH WALL GIRT

PRE-FINISHED METAL ROOFING AND SIDING SHALL BE 26 GAUGE "PANEL LOC PLUS" BY CENTRAL STATES MANUFACTURED TO MEET ASTM A792 SPECIFICATIONS FOR GALVALUME WITH A MINIMUM YIELD OF 80,000 P.S.I. PANEL LOC PLUS ALSO HAS A UL 2218 CLASS 4 IMPACT RESISTANCE RATING AND UL 790 FOR FIRE RESISTANCE.

THEORETICAL ALLOWABLE LIVE AND WIND LOADS FROM THE MANUFACTURER
 2'-6" ROOF SPANS - ALLOWABLE LIVE LOAD DEFLECTION LIMITATION OF L/240 = 1.18 P.S.F.
 MINIMUM DEFLECTION L/180 PER CODE, 16@4.3
 4'-0" WALL SPANS - ALLOWABLE WIND LOAD = 42.8 P.S.F.
 MAXIMUM HORIZ. DESIGN WIND PRESSURE 16.1 P.S.F.

- INDICATED 3/4" DIA. X 1" LONG REDHEAD ANCHORS WITH 3"x3"x1/4", 4" LG. STEEL CLIP ANGLE AT EACH PANEL POINT, OR AS SHOWN SECURE TO STEEL TUBE FRAME BASE WITH (2) #4x1" TEK SCREWS

ARCHITECTURE
CONSTRUCTION MANAGEMENT
DEVELOPMENT

1104 S. MITCHELL ST.
CADILLAC, MICHIGAN 49601
(231) 779-4002
(231) 779-4022 FAX

New Regulation Equipment Housing for:
Dominion East Ohio - Twinsburg Station
 9796 Shepard Rd., Macedonia, OH 44056
 Summit County

WILDCAT PROJECT NUMBER:
8277

Dean M. DeKryger License # 0714427
 Expiration Date: 12/31/2019

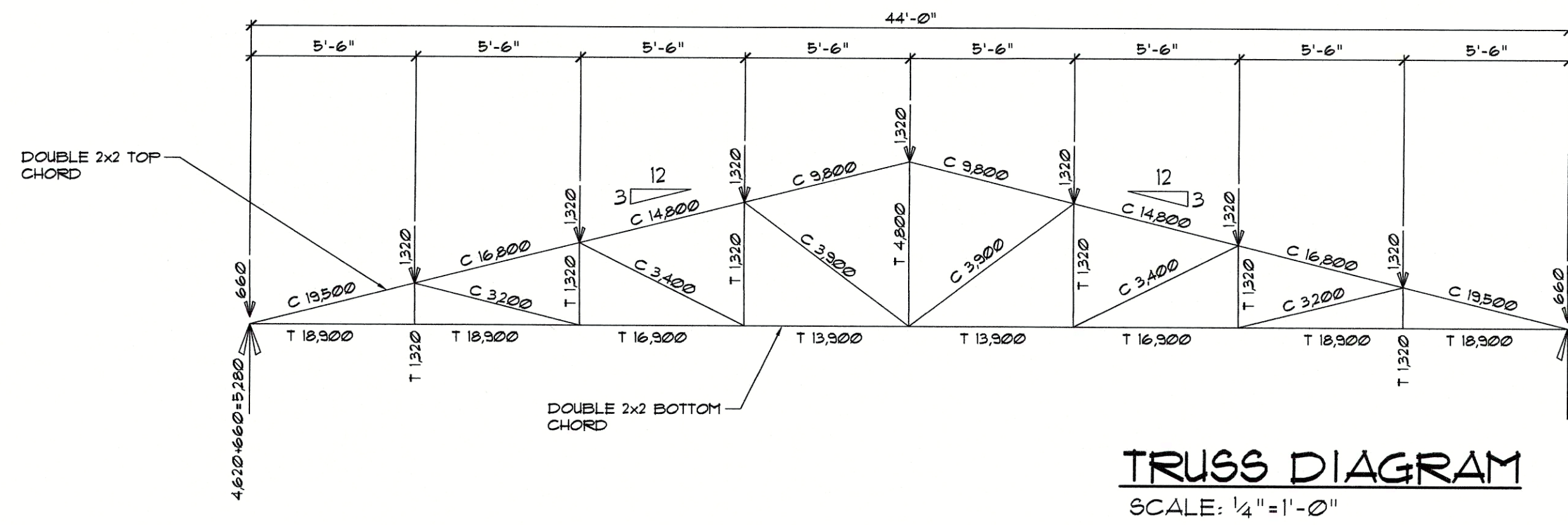
ARCHITECT OF RECORD:
D. DeKryger

DRAWN BY:
B. King, K. Taylor

DATE ISSUED:
Nov. 1, 2018 Permits & Construction

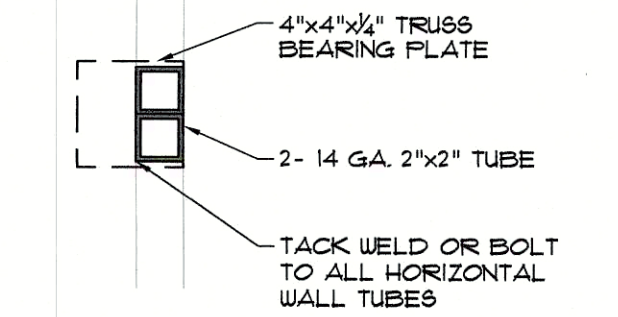
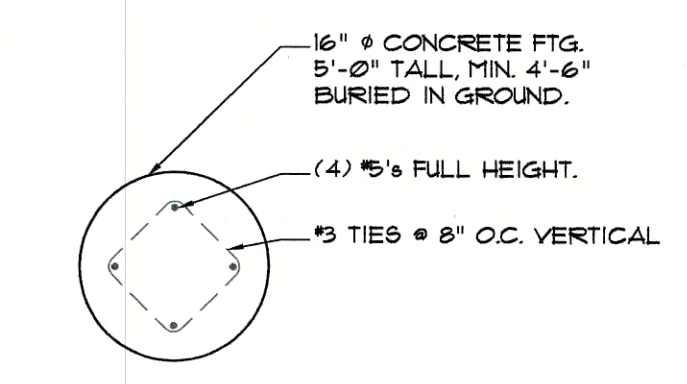
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A-1

DK DESIGN PROJECT NUMBER:
 18103F

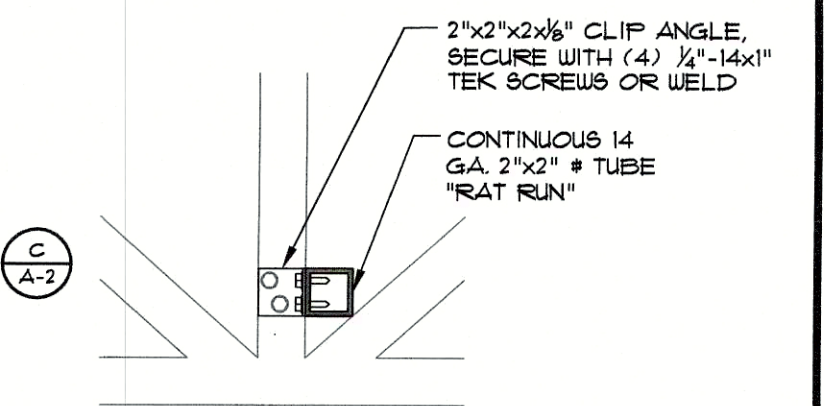


TRUSS DIAGRAM
SCALE: 1/4" = 1'-0"

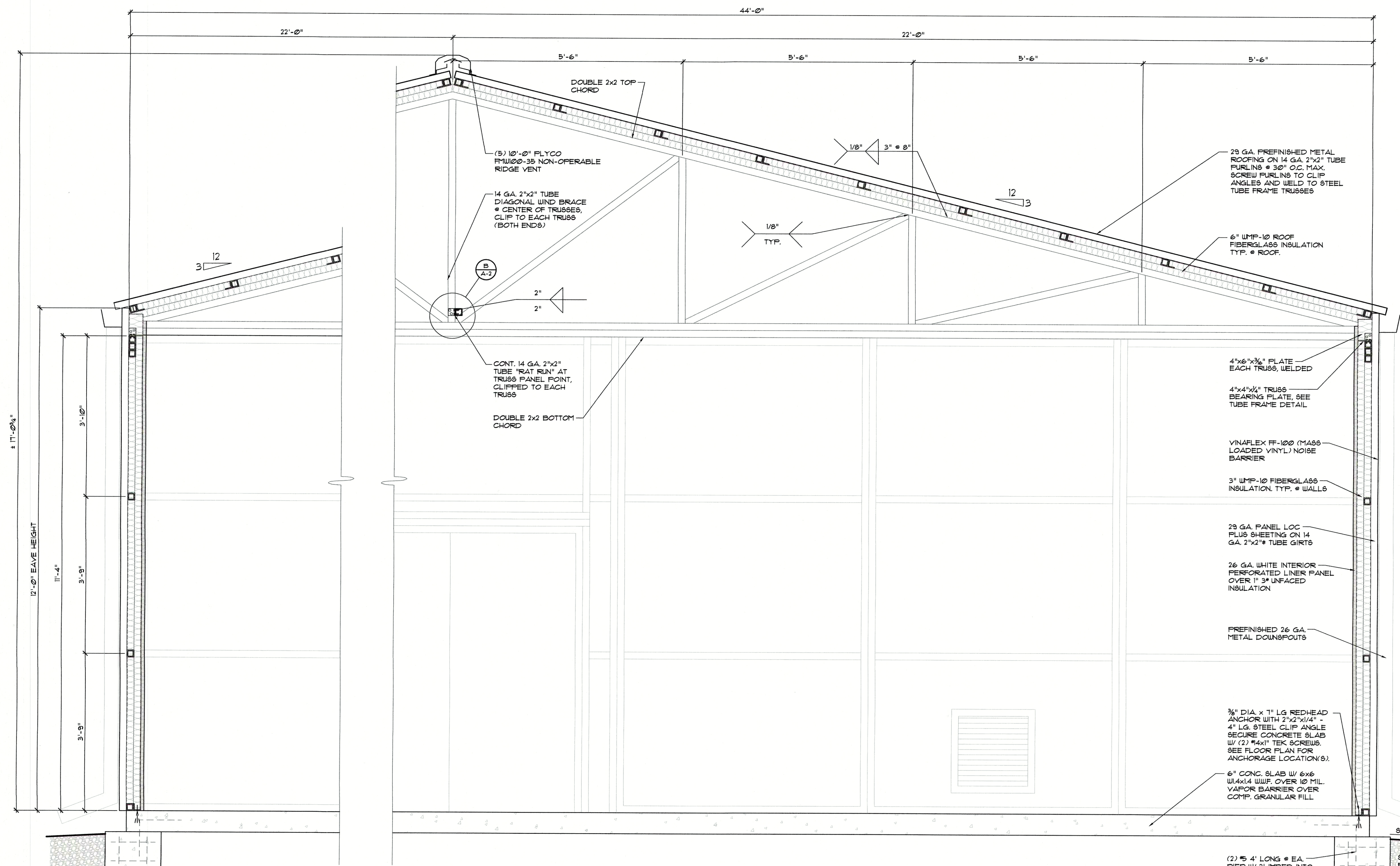
TYP. FOOTING DETAIL
SCALE: 3/4" = 1'-0"



FRAME DETAIL (C)
SCALE: 1 1/2" = 1'-0"



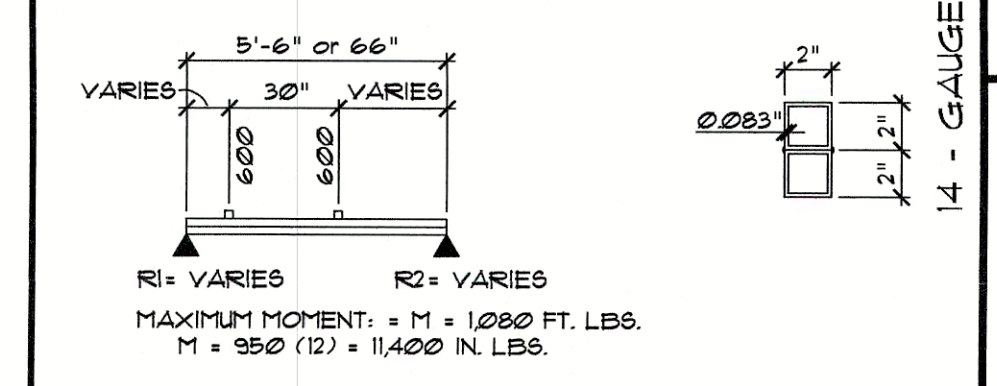
FRAME DETAIL (B)
SCALE: 1 1/2" = 1'-0"



BUILDING SECTION
SCALE: 3/4" = 1'-0"

TOP CHORD CALCULATIONS

LENGTH / RADIUS OF GYRATION = $l/r = 66 / 121 = 0.54$
 ALLOWABLE AXIAL COMPRESSIVE STRESS = $F_A = 24.19$ K.S.I.
 ALLOWABLE BENDING STRESS = $F_B = 30.02$ K.S.I.
 COMPUTED AXIAL STRESS = $f_a =$ MAXIMUM FORCE/AREA OF TUBE
 $f_a = 19,500 / 121^2 = 13.31$ K.S.I.
 COMPUTED BENDING STRESS = $f_b =$ MAX. MOMENT/SECTION MODULUS
 $f_b = 11,400 / 1021 = 11.16$ K.S.I.
 COMBINED AXIAL COMPRESSION AND BENDING:
 $(f_a / F_A) + (f_b / F_B)$ LESS THAN OR EQUAL TO 1
 $(13.31 / 24.19) + (11.16 / 30.02) = 0.63 + 0.37 = 1.0 < 1.0$ OK
 SECTION MODULUS = $S =$ MOMENT / ALLOWABLE BENDING STRESS
 $S = 11,400 / 30.02 = 0.37$
 USE 2-14 GAUGE TUBES = $S = 1.021$
 $0.36 < 1.021$ OK



PURLIN CALCULATIONS

TOTAL ROOF LOAD: 30 P.S.F.
 PURLIN SPACING: 2'-6" O.C. = 30 (25) x 15 P.L.F.
 VARIES
 $R_1 = 300$ $R_2 = 300$
 MOMENT = $M = W(L^2)/8$
 $M = 235 (12) = 1,200$ IN. LBS.
 SECTION MODULUS = $S =$ MOMENT / ALLOWABLE BENDING STRESS
 $S = 1,200 / 30.02 = 0.24$
 USE 1-14 GAUGE TUBES = $S = 0.251$
 $0.24 < 0.251$ OK

SPAN	REACTION	MOMENT	S _x REQUIRED
6'-6" (N/A)	245 LBS	400 FT. LBS	158 < 39
8'-0"	300 LBS	600 FT. LBS	240 < 39 meets code
10'-0" (N/A)	375 LBS	940 FT. LBS	375 < 39

TUBE STEEL PROPERTIES

ASTM A-500, GRADE 'C', $F_y = 50,000$ P.S.I.
WALL FRAME GIRTS, TRUSS WEBS, PURLINS, BRACING AND TOP & BOTTOM CHORD
 DIMENSIONS: 2" x 2" x 0.030"
 AREA: $A = 0.6364$ IN.²
 MOMENT OF INERTIA: $I = 0.391$ IN.⁴
 SECTION MODULUS: $S = 0.391$ IN.³
 RADIUS OF GYRATION: $r = 0.183$ IN.
 MAXIMUM TENSION STRENGTH: 14 K.S.I.

ARCHITECTURE
CONSTRUCTION MANAGEMENT
DEVELOPMENT

1104 S. MITCHELL ST.
CADILLAC, MICHIGAN 49601
(231) 778-4002
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New Regulation Equipment Housing for:
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 9796 Shepard Rd., Macedonia, OH 44056
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WILDCAT PROJECT NUMBER:
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Dean M. DeKryger License # 0714427
 Expiration Date: 12/31/2019

ARCHITECT OF RECORD:
 D. DeKryger

DRAWN BY:
 B. King, K. Taylor

DATE ISSUED:
 Nov. 1, 2018 Permits & Construction

SHEET NUMBER:
A-2

DK DESIGN PROJECT NUMBER:
 18103F

ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes entries like AB ANCHOR BOLT, ADD'L ADDITIONAL, ALUM ALUMINUM, ARCH ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Description. Includes entries like GA GAGE, GALV GALVANIZE, GENERAL CONTRACTOR, etc.

Table with 2 columns: Abbreviation and Description. Includes entries like UN UNLESS NOTED, UNLESS NOTED OTHERWISE, VB VAPOR BARRIER, etc.

METAL DECK & SHEETING

- 1. MATERIALS: A. WALL & ROOF DECK SHEETING 3/4" DEEP x 29 GA., 80 KSI MAX-RIB PANELS BY MELROY METAL. 2. SPECIFICATIONS: 1. DESIGN, FABRICATION, AND ERECTION TO BE GOVERNED BY THE LATEST REVISIONS OF: AISI "SPECIFICATION OF THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS".

POST-INSTALLED ANCHOR SYSTEMS

- 1. GENERAL: A. LISTED ANCHOR PRODUCTS PROVIDED BELOW ARE NOT TO BE USED AS INTERCHANGEABLE PRODUCTS. EACH ANCHOR HAS DEFINED CAPACITIES BASED UPON TESTED PERFORMANCE WITH APPLICABLE SAFETY FACTORS AND WILL VARY ACROSS MANUFACTURERS.

- 2. ANCHORAGE TO CONCRETE: A. ACCEPTABLE MECHANICAL EXPANSION ANCHORAGE SYSTEMS: 1. DEWALT POWER STUD -SDI WEDGE EXPANSION ANCHOR 2. HELIX Kwik Bolt 1.3 EXPANSION ANCHOR

REINFORCED CONCRETE

- 1. SPECIFICATIONS: IN GENERAL, COMPLY WITH ACI-301-16, "SPECIFICATIONS FOR STRUCTURAL CONCRETE".

2. MATERIALS:

Table with 4 columns: MATERIALS, MIX USAGE, Fc (PSI), MAX. width, AIR CONTENT. Rows include LEAN CONCRETE, PORTLAND CEMENT, INTERIOR SLABS ON GRADE (IF APPLICABLE).

3. FIELD MANUAL: PROVIDE AT LEAST ONE COPY OF THE ACI FIELD REFERENCE MANUAL, SP-15 IN THE FIELD OFFICE AT ALL TIMES.

4. SUBMITTALS:

- A. SUBMIT A MIX DESIGN FOR EACH MIXTURE USAGE REQUIRED FOR THE PROJECT. CONCRETE PROPORTIONS ARE TO BE ESTABLISHED ON THE BASIS OF PREVIOUS FIELD EXPERIENCE OR TRIAL MIXTURES.

5. CONTINGENCIES:

- A. PROVIDE LEAN CONCRETE UNDER FOUNDATIONS FOR ACCIDENTAL OVER EXCAVATION, SOFT SPOTS, AND UTILITY TRENCHES.

6. SPLICES:

- A. LAP SPLICE REINFORCING BARS AS SCHEDULED. MINIMUM LAP = 36 DIAMETERS.

7. FINISHES:

- A. PER ACI 117, SURFACES OF INTERIOR SLABS ON GRADE ARE TO BE FINISHED TO THE FOLLOWING TOLERANCES: FLOOR FLATNESS (f1)-30 AND LEVELNESS (F10) UNLESS NOTED OTHERWISE IN SPECIFICATIONS.

8. CURING:

- A. CURING IS TO COMMENCE IMMEDIATELY AFTER CONCRETE PLACEMENT AND CONTINUE FOR AT LEAST 7 DAYS. DO NOT ALLOW CURING TO BE DELAYED OVERNIGHT.

9. FIELD QUALITY CONTROL:

- A. OBTAIN CONCRETE FOR REQUIRED TESTS AT POINT OF PLACEMENT. IF CONCRETE IS PLACED, OBTAIN CONCRETE AT DISCHARGE END.

10. FINISHES:

- A. PER ACI 117, SURFACES OF INTERIOR SLABS ON GRADE ARE TO BE FINISHED TO THE FOLLOWING TOLERANCES: FLOOR FLATNESS (f1)-30 AND LEVELNESS (F10) UNLESS NOTED OTHERWISE IN SPECIFICATIONS.

11. CURING:

- A. CURING IS TO COMMENCE IMMEDIATELY AFTER CONCRETE PLACEMENT AND CONTINUE FOR AT LEAST 7 DAYS. DO NOT ALLOW CURING TO BE DELAYED OVERNIGHT.

12. FIELD QUALITY CONTROL:

- A. OBTAIN CONCRETE FOR REQUIRED TESTS AT POINT OF PLACEMENT. IF CONCRETE IS PLACED, OBTAIN CONCRETE AT DISCHARGE END.

13. FINISHES:

- A. PER ACI 117, SURFACES OF INTERIOR SLABS ON GRADE ARE TO BE FINISHED TO THE FOLLOWING TOLERANCES: FLOOR FLATNESS (f1)-30 AND LEVELNESS (F10) UNLESS NOTED OTHERWISE IN SPECIFICATIONS.

14. CURING:

- A. CURING IS TO COMMENCE IMMEDIATELY AFTER CONCRETE PLACEMENT AND CONTINUE FOR AT LEAST 7 DAYS. DO NOT ALLOW CURING TO BE DELAYED OVERNIGHT.

15. FIELD QUALITY CONTROL:

- A. OBTAIN CONCRETE FOR REQUIRED TESTS AT POINT OF PLACEMENT. IF CONCRETE IS PLACED, OBTAIN CONCRETE AT DISCHARGE END.

16. FINISHES:

- A. PER ACI 117, SURFACES OF INTERIOR SLABS ON GRADE ARE TO BE FINISHED TO THE FOLLOWING TOLERANCES: FLOOR FLATNESS (f1)-30 AND LEVELNESS (F10) UNLESS NOTED OTHERWISE IN SPECIFICATIONS.

17. CURING:

- A. CURING IS TO COMMENCE IMMEDIATELY AFTER CONCRETE PLACEMENT AND CONTINUE FOR AT LEAST 7 DAYS. DO NOT ALLOW CURING TO BE DELAYED OVERNIGHT.

18. FIELD QUALITY CONTROL:

- A. OBTAIN CONCRETE FOR REQUIRED TESTS AT POINT OF PLACEMENT. IF CONCRETE IS PLACED, OBTAIN CONCRETE AT DISCHARGE END.

19. FINISHES:

- A. PER ACI 117, SURFACES OF INTERIOR SLABS ON GRADE ARE TO BE FINISHED TO THE FOLLOWING TOLERANCES: FLOOR FLATNESS (f1)-30 AND LEVELNESS (F10) UNLESS NOTED OTHERWISE IN SPECIFICATIONS.

20. CURING:

- A. CURING IS TO COMMENCE IMMEDIATELY AFTER CONCRETE PLACEMENT AND CONTINUE FOR AT LEAST 7 DAYS. DO NOT ALLOW CURING TO BE DELAYED OVERNIGHT.

21. FIELD QUALITY CONTROL:

- A. OBTAIN CONCRETE FOR REQUIRED TESTS AT POINT OF PLACEMENT. IF CONCRETE IS PLACED, OBTAIN CONCRETE AT DISCHARGE END.

22. FINISHES:

- A. PER ACI 117, SURFACES OF INTERIOR SLABS ON GRADE ARE TO BE FINISHED TO THE FOLLOWING TOLERANCES: FLOOR FLATNESS (f1)-30 AND LEVELNESS (F10) UNLESS NOTED OTHERWISE IN SPECIFICATIONS.

23. CURING:

- A. CURING IS TO COMMENCE IMMEDIATELY AFTER CONCRETE PLACEMENT AND CONTINUE FOR AT LEAST 7 DAYS. DO NOT ALLOW CURING TO BE DELAYED OVERNIGHT.

24. FIELD QUALITY CONTROL:

- A. OBTAIN CONCRETE FOR REQUIRED TESTS AT POINT OF PLACEMENT. IF CONCRETE IS PLACED, OBTAIN CONCRETE AT DISCHARGE END.

25. FINISHES:

- A. PER ACI 117, SURFACES OF INTERIOR SLABS ON GRADE ARE TO BE FINISHED TO THE FOLLOWING TOLERANCES: FLOOR FLATNESS (f1)-30 AND LEVELNESS (F10) UNLESS NOTED OTHERWISE IN SPECIFICATIONS.

26. CURING:

- A. CURING IS TO COMMENCE IMMEDIATELY AFTER CONCRETE PLACEMENT AND CONTINUE FOR AT LEAST 7 DAYS. DO NOT ALLOW CURING TO BE DELAYED OVERNIGHT.

27. FIELD QUALITY CONTROL:

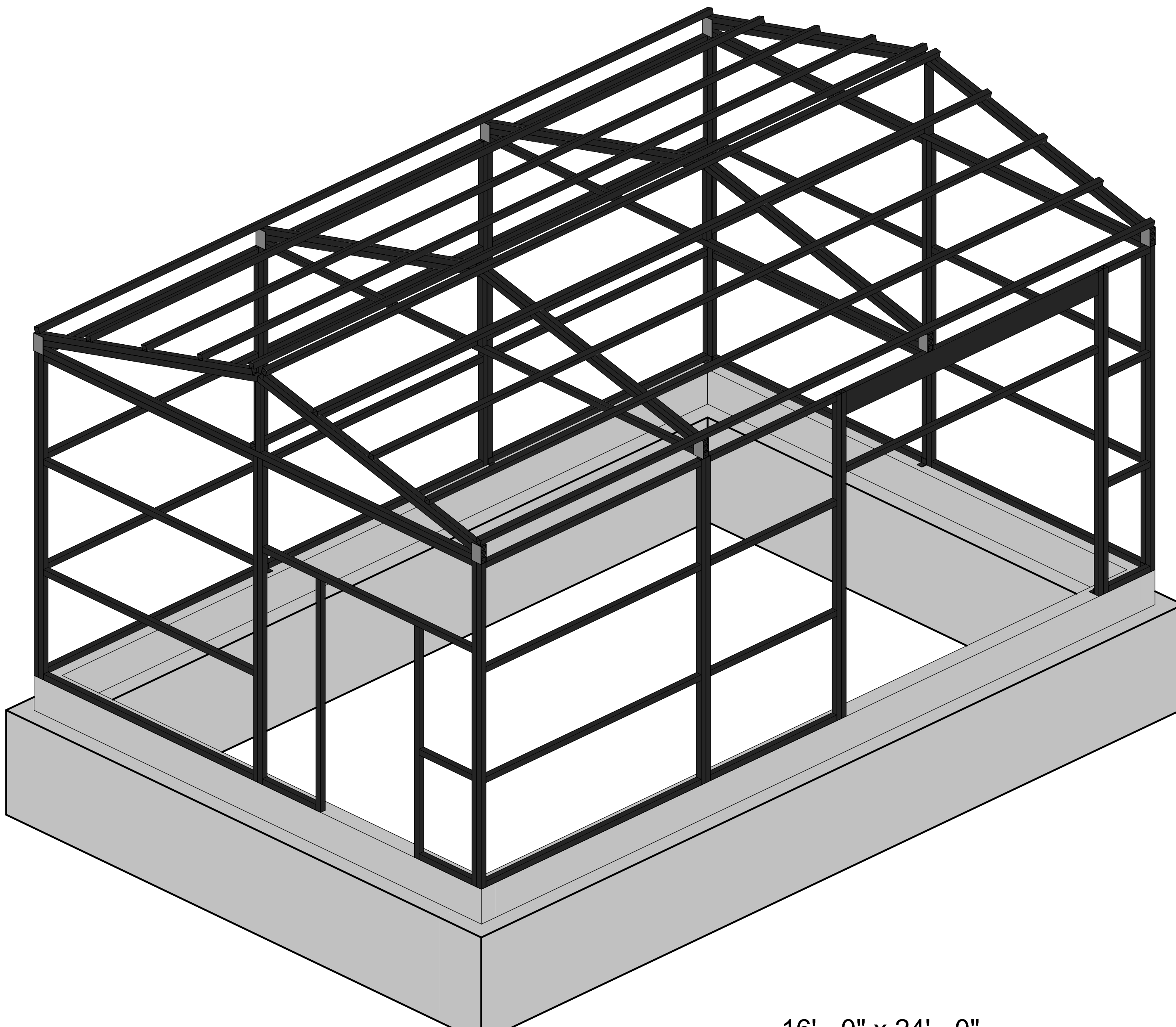
- A. OBTAIN CONCRETE FOR REQUIRED TESTS AT POINT OF PLACEMENT. IF CONCRETE IS PLACED, OBTAIN CONCRETE AT DISCHARGE END.

28. FINISHES:

- A. PER ACI 117, SURFACES OF INTERIOR SLABS ON GRADE ARE TO BE FINISHED TO THE FOLLOWING TOLERANCES: FLOOR FLATNESS (f1)-30 AND LEVELNESS (F10) UNLESS NOTED OTHERWISE IN SPECIFICATIONS.

29. CURING:

- A. CURING IS TO COMMENCE IMMEDIATELY AFTER CONCRETE PLACEMENT AND CONTINUE FOR AT LEAST 7 DAYS. DO NOT ALLOW CURING TO BE DELAYED OVERNIGHT.



16' - 0" x 24' - 0"

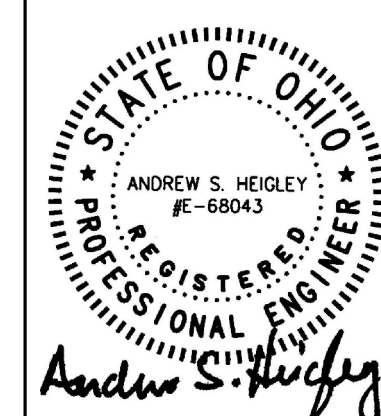
Table with 4 columns: TRIBUTARY AREA, POSITIVE PRESSURE (PSF), NEGATIVE PRESSURE (PSF), PRESSURE WITHIN 10 FT. OF CORNERS (PSF). Includes sections for WALL ELEMENTS, ROOF ELEMENTS, and PARAPETS OR SCREEN WALL ELEMENTS.

C. & C. PRESSURE SCHEDULE NOTES:

- 1. LINEAR INTERPOLATION IS ACCEPTABLE FOR TRIBUTARY AREAS BETWEEN THOSE SHOWN. 2. LOADS GIVEN ARE ULTIMATE LOADS OBTAINED FROM ASCE 7-10. MULTIPLY VALUES BY 0.6 TO OBTAIN SERVICE-LEVEL LOADS.

Jezerinac Geers Structural Engineering logo and contact information: PROJECT NUMBER: 20.34.085, DESIGNED BY: LG, DRAWN BY: MJM, CHECKED BY: ASH.

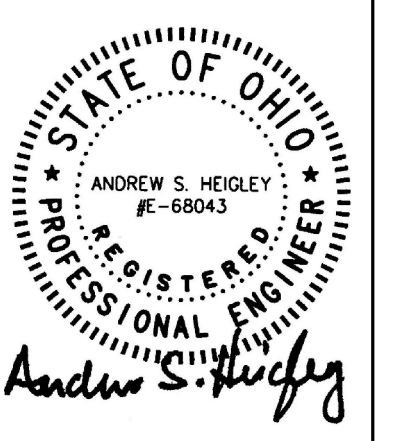
Document status and revision table. Includes checkboxes for PROGRESS, PERMIT, BIDDING, CONSTRUCTION. Revision table with columns for NUMBER and DATE.



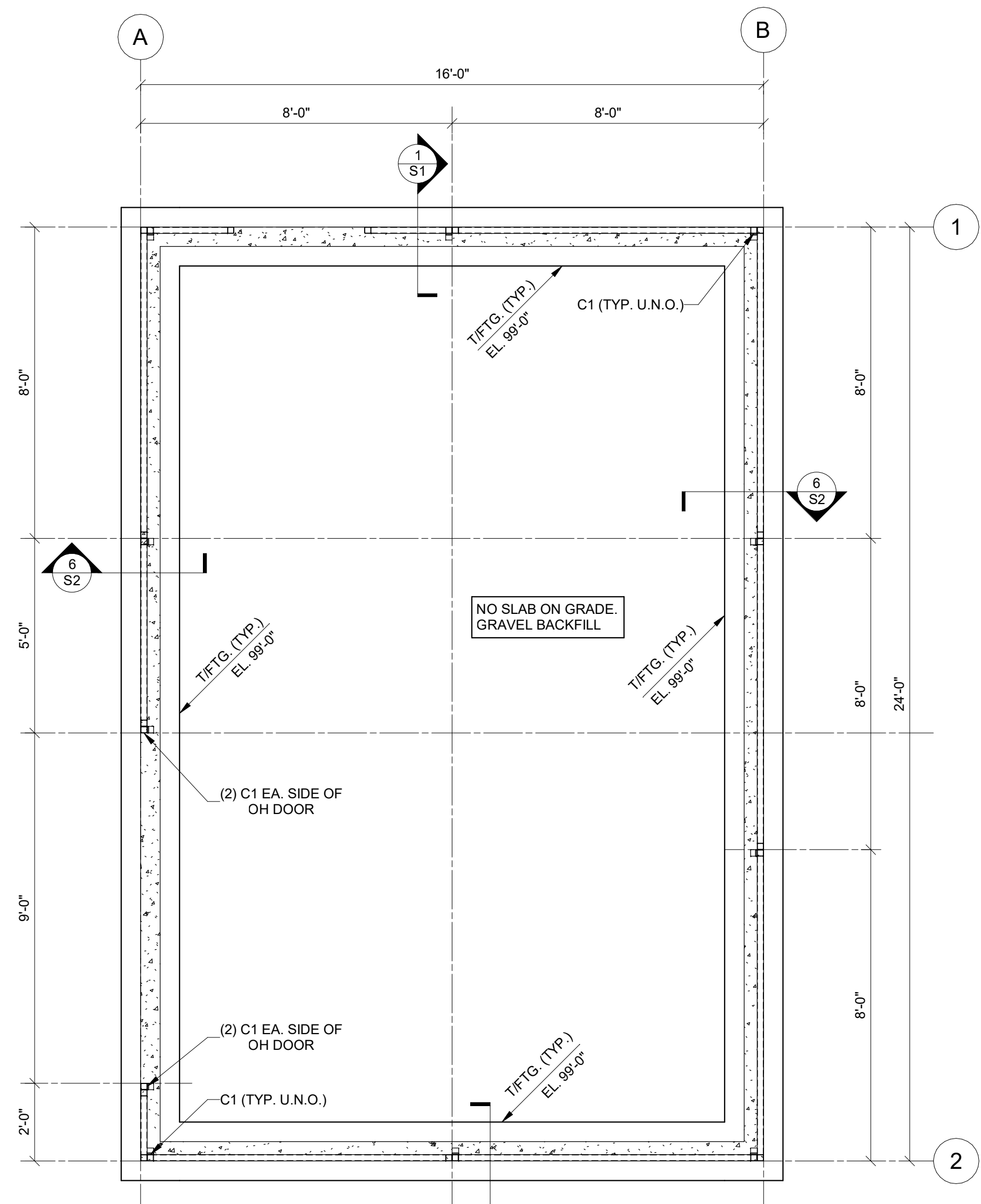
WILDCAT BUILDING #8326
63523 BOBS RUN
CAMBRIDGE, OHIO 43725

Jezerinac Geers Structural Engineering logo and contact information: Jezerinac Geers & Associates, Inc., 5640 Frantz Road, Dublin, OH 43017.

SHEET DESCRIPTION: GENERAL STRUCTURE INFORMATION. SHEET NUMBER: S0.



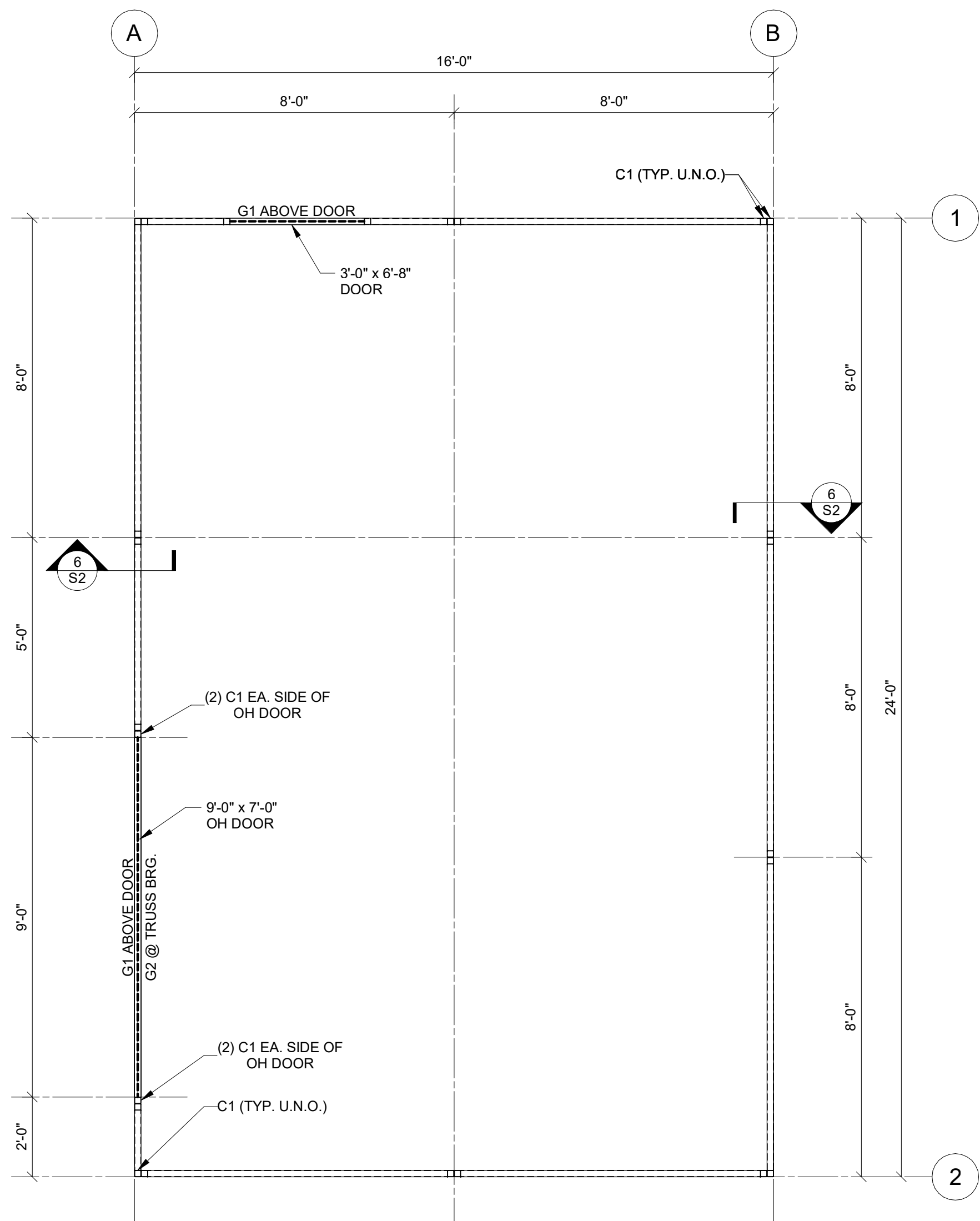
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63523 BOBS RUN
CAMBRIDGE, OHIO 43725



BASE PLAN

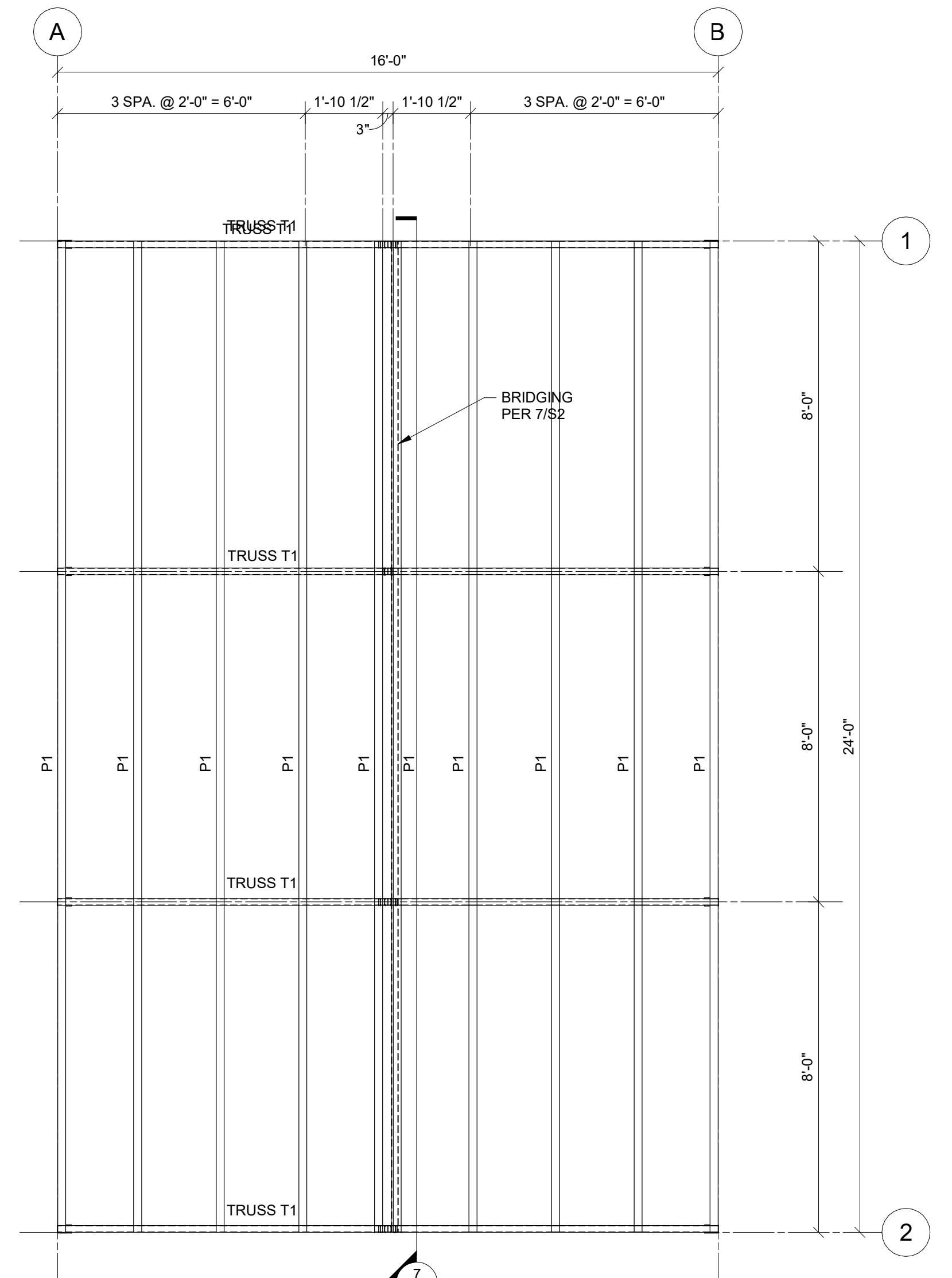
3/8" = 1'-0"

NOTES:
1) PROVIDE "G1" FRAMING AROUND LOUVER OPENINGS.



FLOOR PLAN

3/8" = 1'-0"



ROOF PLAN

3/8" = 1'-0"

PURLIN SCHEDULE

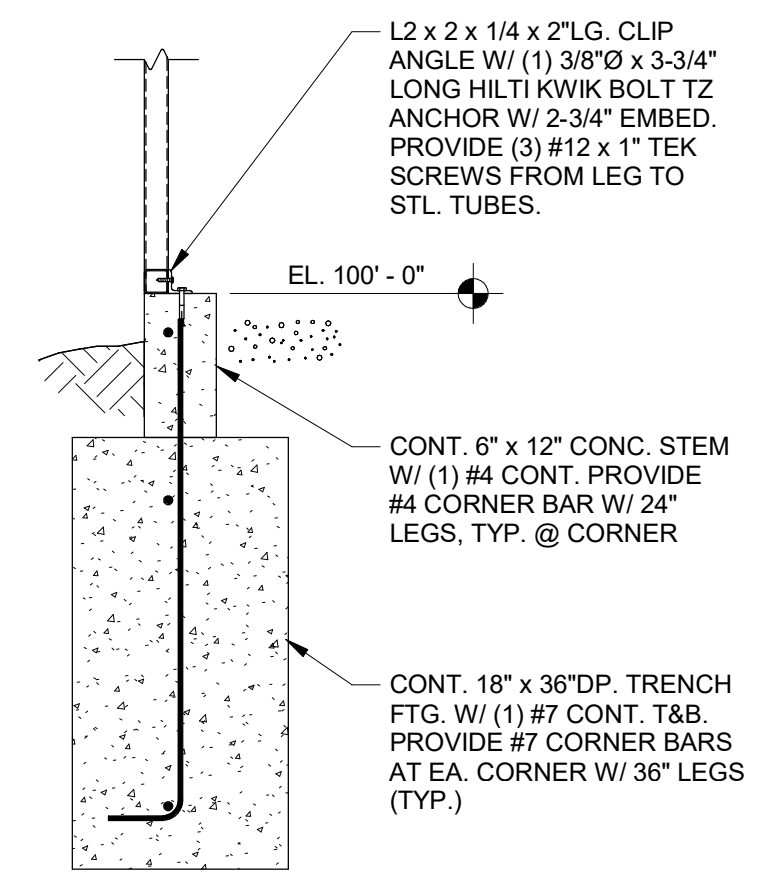
MARK	SIZE
P1	HSS2x2x0.083

WALL GIRT SCHEDULE

MARK	SIZE	OPTIONAL SIZE
G1	HSS2x2x0.083	
G2	HSS8x2x1/8	HSS6x2x3/16

COLUMN SCHEDULE

MARK	SIZE
C1	HSS2x2x0.083



SECTION

3/4" = 1'-0"

REVISIONS:

NUMBER	DATE

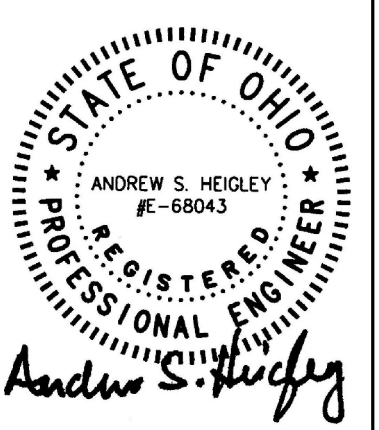
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DESIGNED BY: LG
DRAWN BY: MJM
CHECKED BY: ASH
ISSUED DATE: 08/26/2020

ISSUED FOR:

PROGRESS	PERMIT	BIDDING	CONSTRUCTION

SHEET DESCRIPTION:
PLANS

SHEET NUMBER:
S1



WILDCAT BUILDING #8326
63523 BOBS RUN
CAMBRIDGE, OHIO 43725

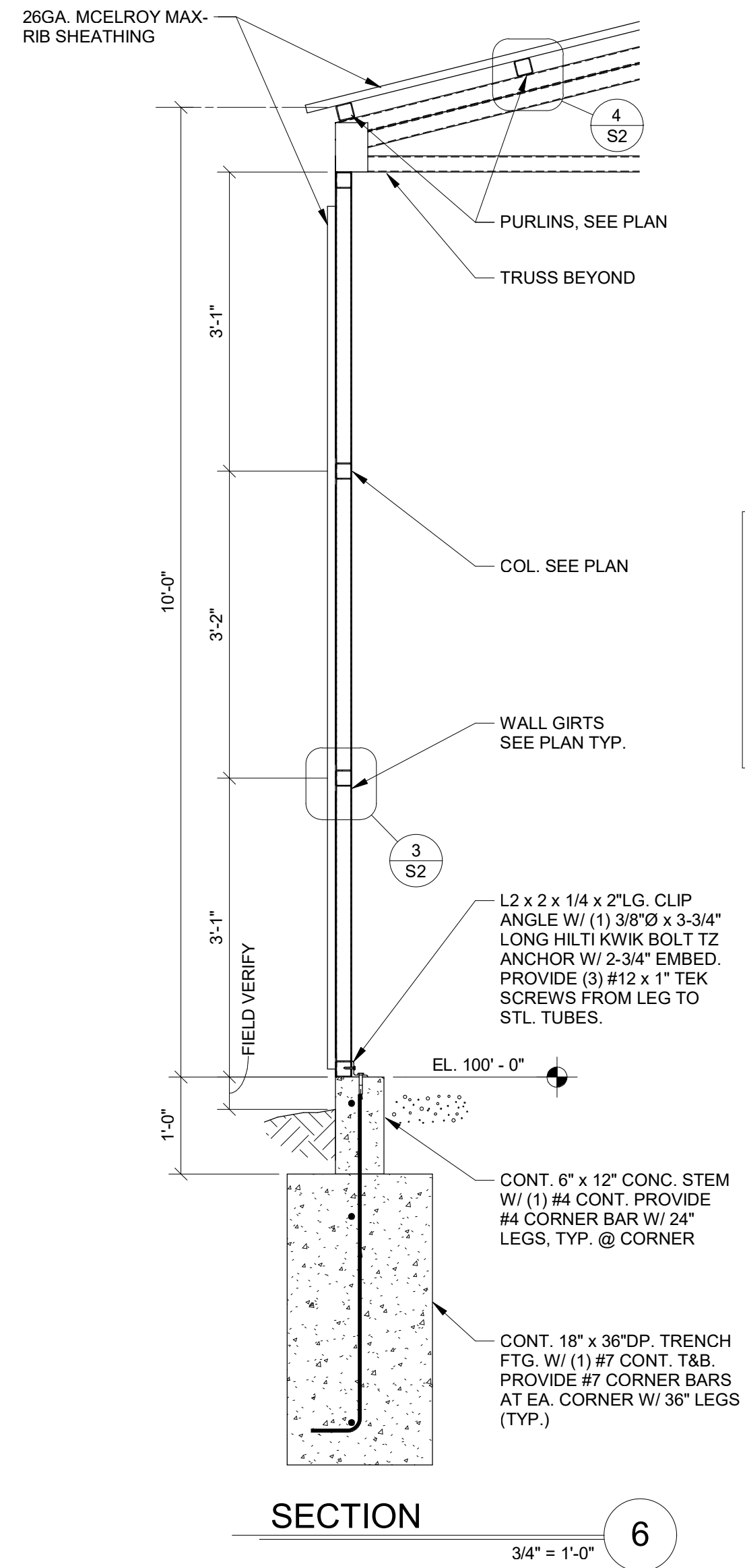
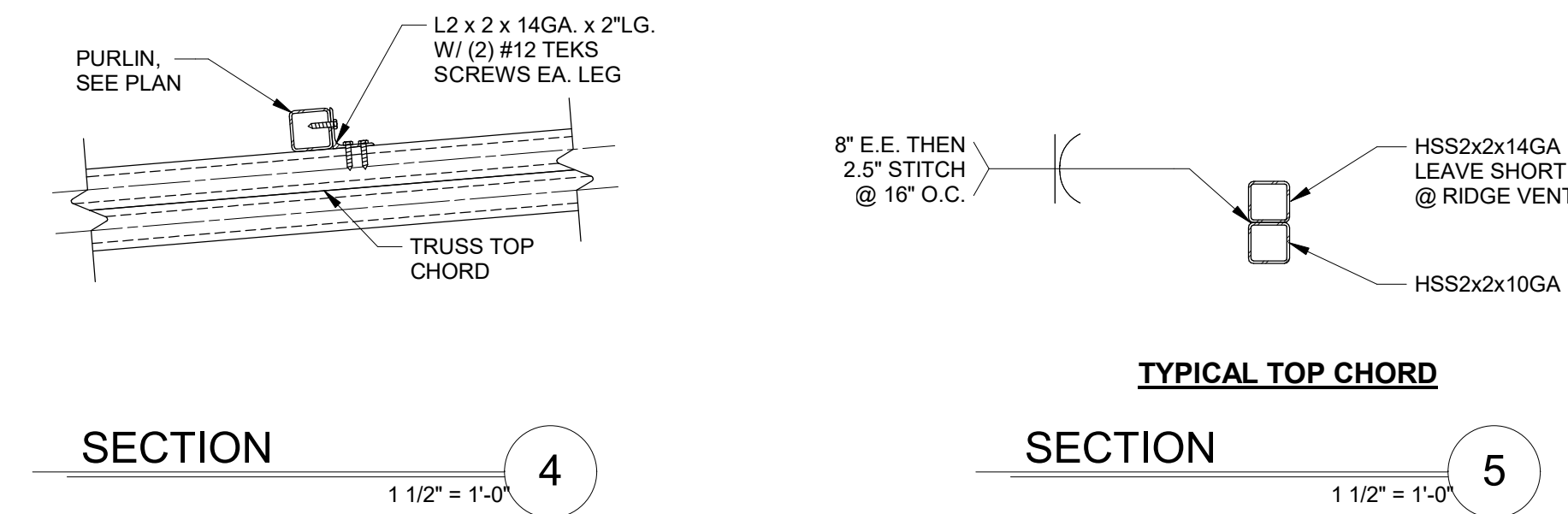
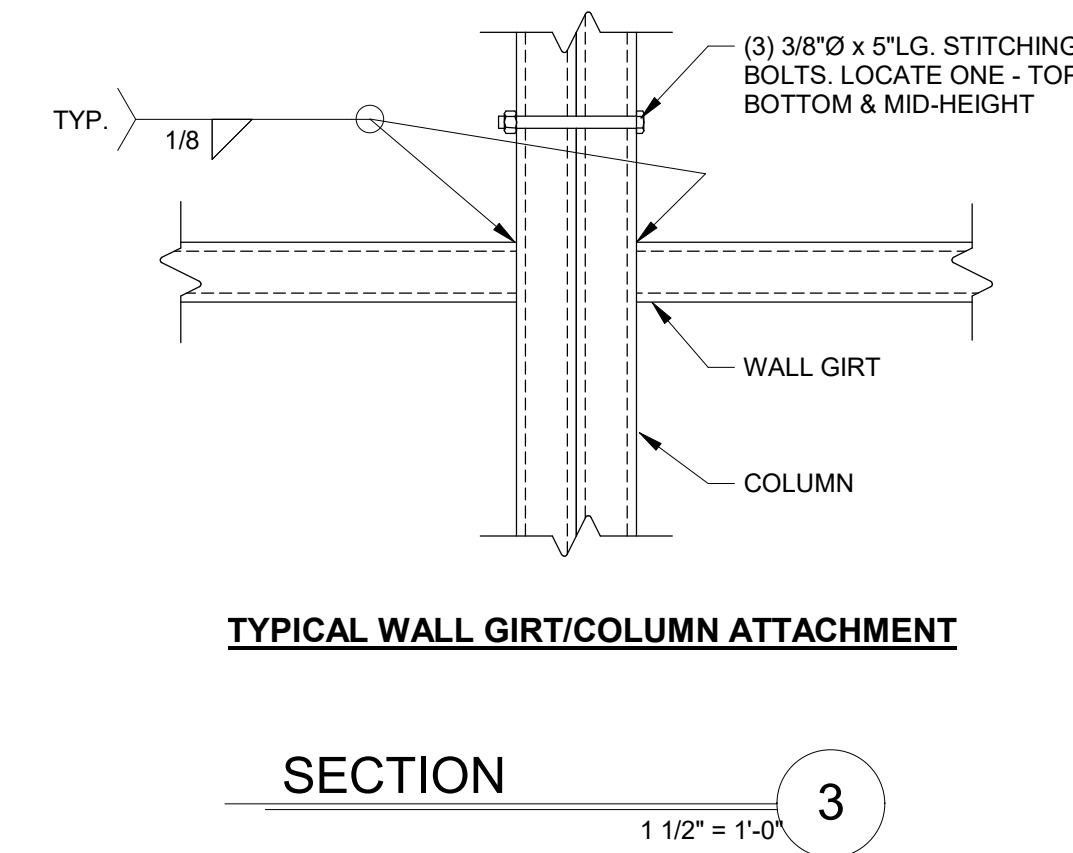
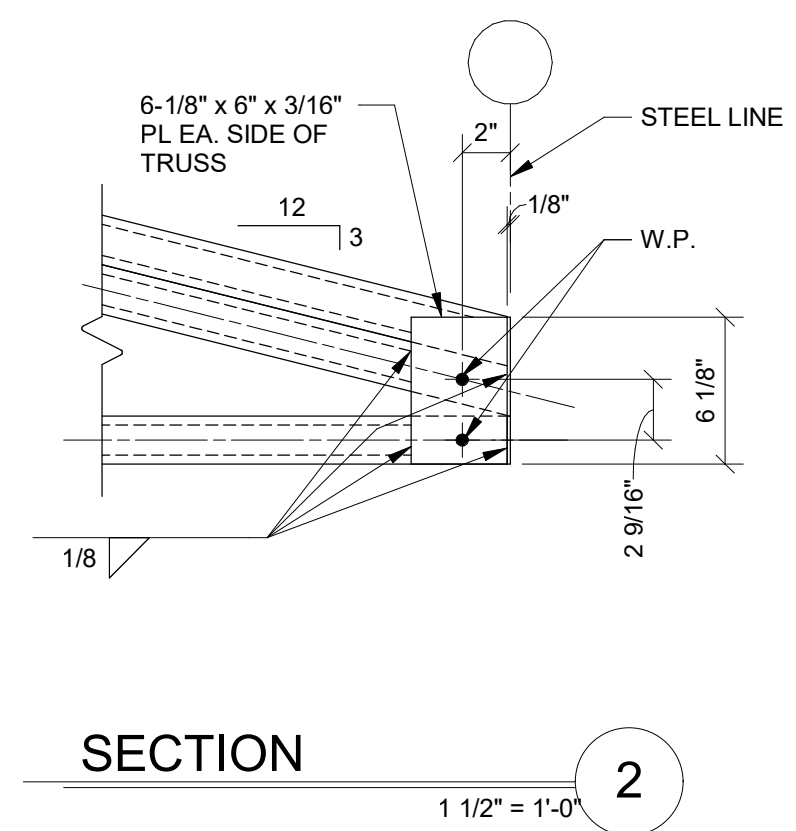
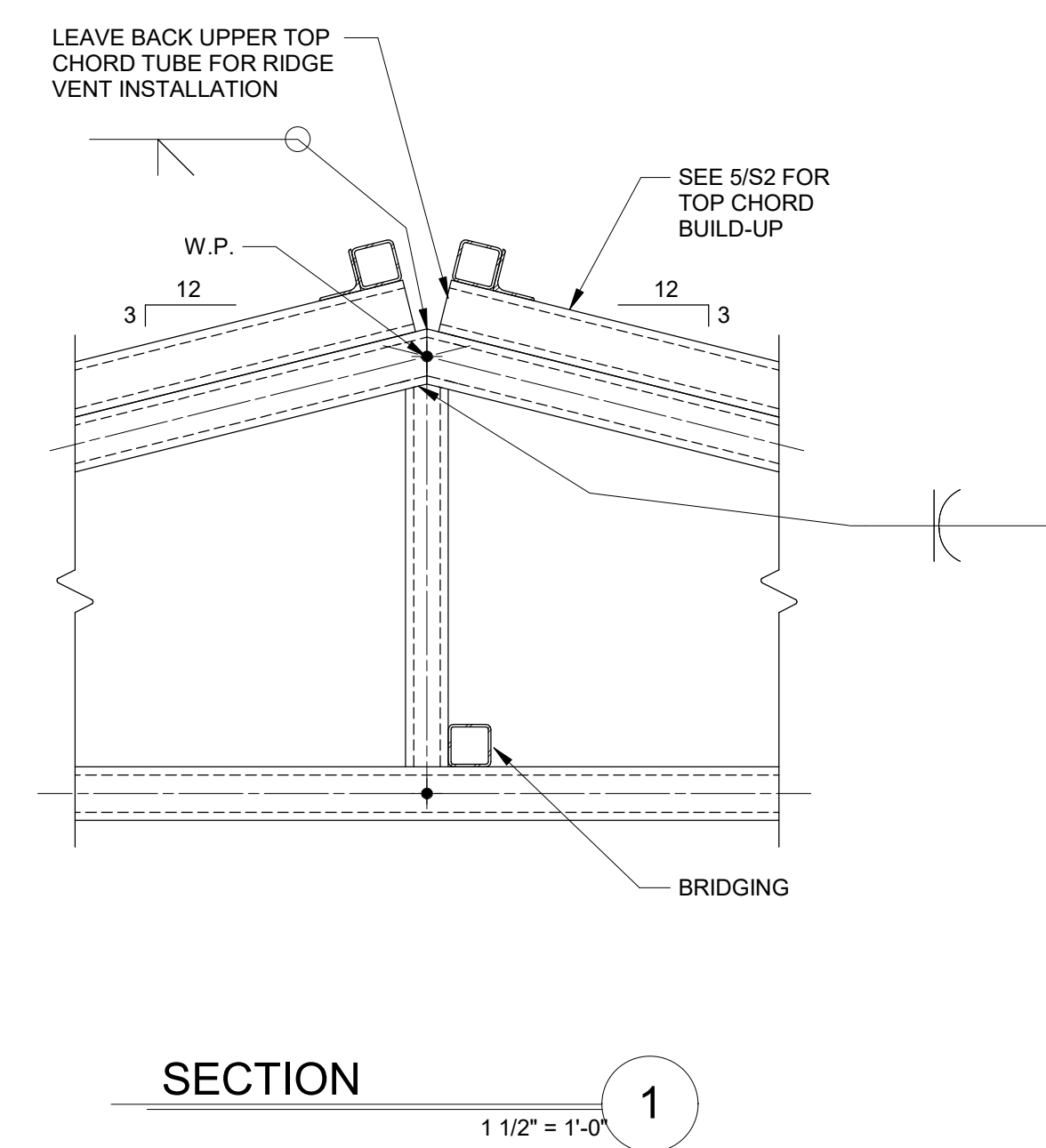
REVISIONS	
NUMBER	DATE

JOB NUMBER: 20.34.085
DESIGNED BY: LG
DRAWN BY: MJM
CHECKED BY: ASH
ISSUED DATE: 08/26/2020

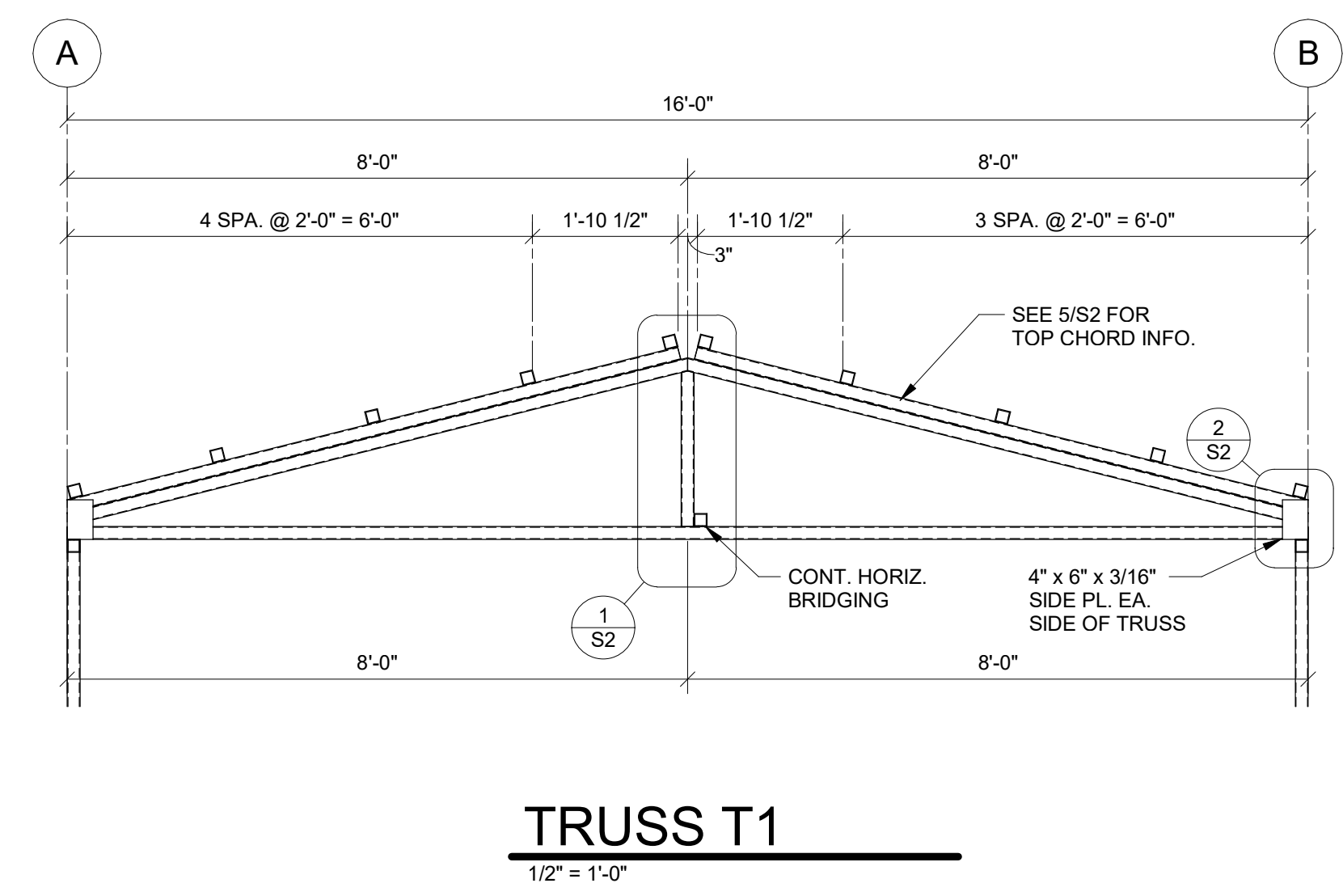
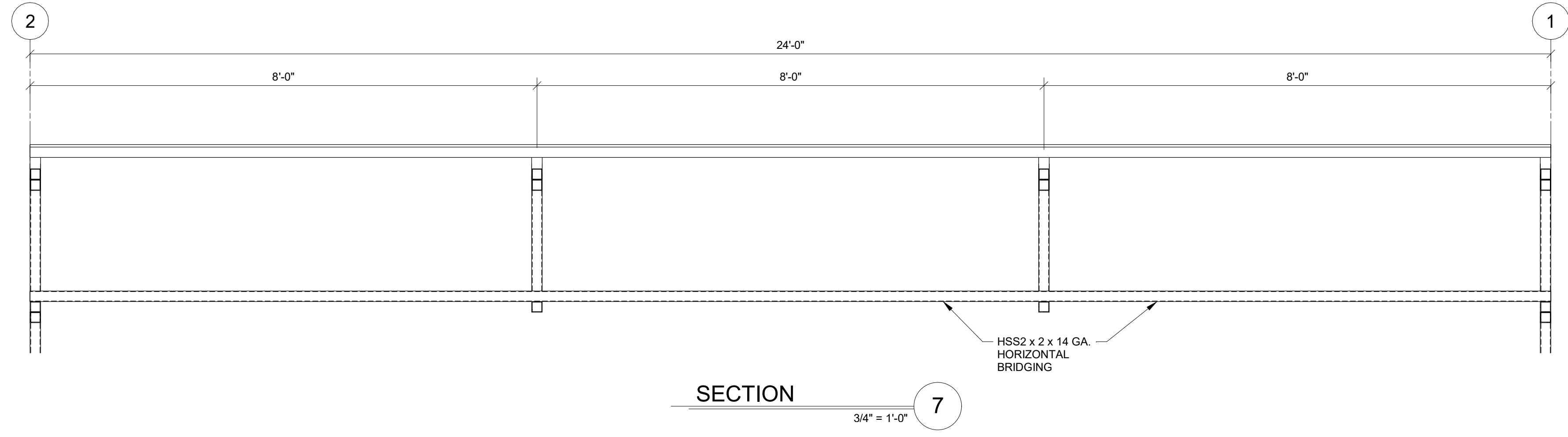
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PROGRESS	PERMIT	X
BIDDING	CONSTRUCTION	X

SHEET DESCRIPTION:
DETAILS

SHEET NUMBER:
S2

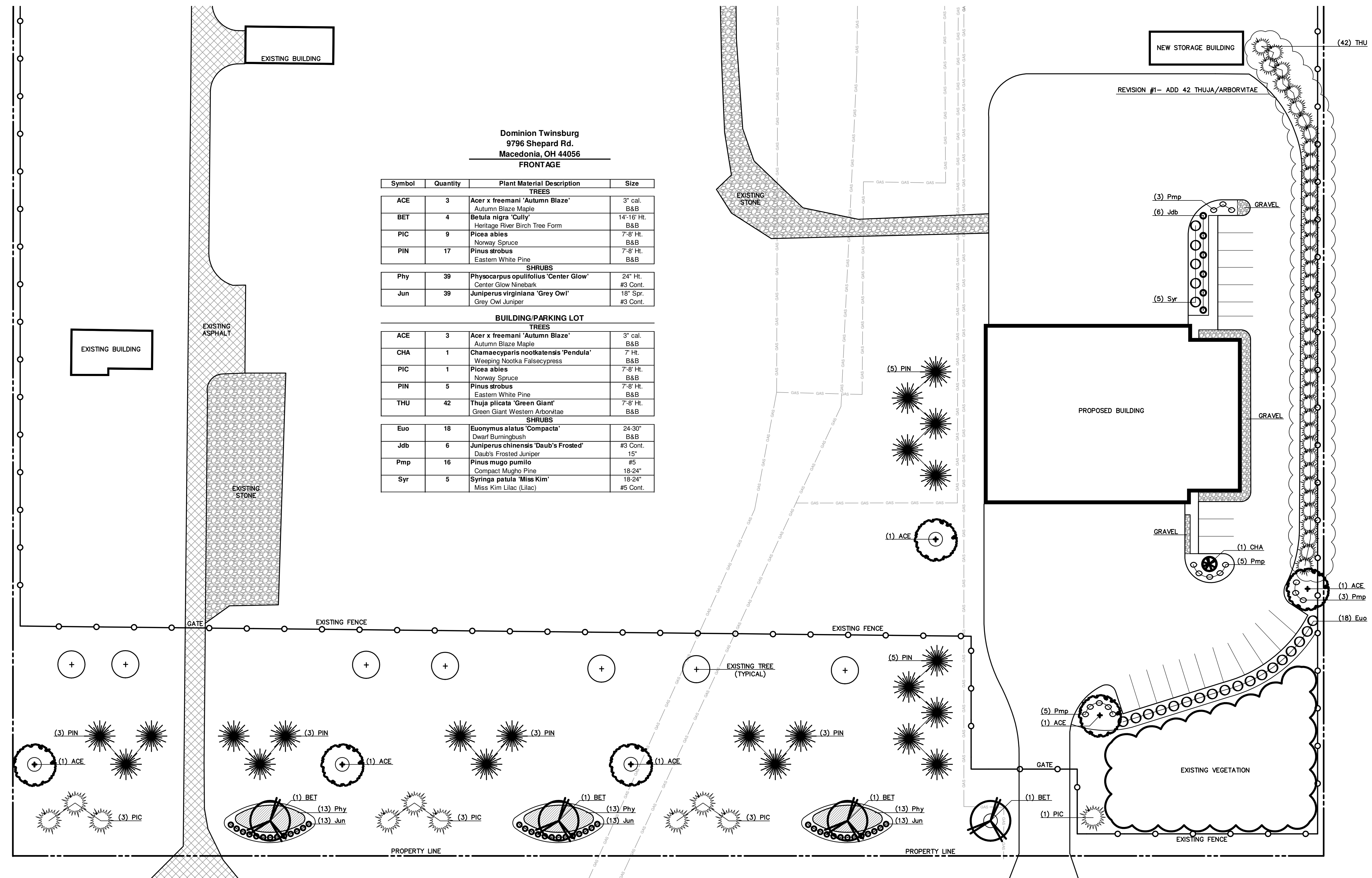


BUILDING FINISHES	
NON-STRUCTURAL FINISHES INCLUDE:	
WALLS	- 29GA MAX RIB II STANDARD COLOR EXTERIOR WALL & ROOF SHEETING
	- 3" WMP10 INSULATION
	- (1) 3068 PLYCO 99 SERIES PRE-HUNG DOOR
	- (1) 9 x 7 STANDARD COLOR OVERHEAD DOOR
ROOF:	- 3" WMP10 INSULATION
	- (1) METALIC V4DWLFL 10'-0" WHITE OPERABLE RIDGE VENT
MISC.:	- 29 GA TRIM ACCESSORIES



TRUSS T1
1/2" = 1'-0"

NOTES:
1) ALL MEMBERS ARE HSS2x2x14GA (0.083) U.N.O.
2) TOP CHORD IS HSS2x2x14GA TOP HSS2x2x10GA BOTTOM
3) MITER ALL JOINTS TO A TIGHT FIT
4) WORK POINTS ARE DEFINED FROM CL. OF TUBES. DOUBLE TOP CHORD WORK POINT IS CL. OF BOT. TUBES



Dominion Twinsburg
 9796 Shepard Rd.
 Macedonia, OH 44056
FRONTAGE

Symbol	Quantity	Plant Material Description	Size
TREES			
ACE	3	Acer x freemani 'Autumn Blaze'	3" cal. B&B
BET	4	Betula nigra 'Cully'	14'-16" Ht. B&B
PIC	9	Picea abies Norway Spruce	7'-8' Ht. B&B
PIN	17	Pinus strobus Eastern White Pine	7'-8' Ht. B&B

SHRUBS			
Phy	39	Physocarpus opulifolius 'Center Glow'	24" Ht. #3 Cont.
Jun	39	Juniperus virginiana 'Grey Owl'	18" Spr. #3 Cont.

BUILDING/PARKING LOT TREES			
ACE	3	Acer x freemani 'Autumn Blaze'	3" cal. B&B
CHA	1	Chamaecyparis nootkatensis 'Pendula'	7' Ht. B&B
PIC	1	Picea abies Norway Spruce	7'-8' Ht. B&B
PIN	5	Pinus strobus Eastern White Pine	7'-8' Ht. B&B
THU	42	Thuja plicata 'Green Giant'	7'-8' Ht. B&B

SHRUBS			
Euo	18	Euonymus alatus 'Compacta'	24-30" B&B
Jdb	6	Juniperus chinensis 'Daub's Frosted'	#3 Cont. 15"
Pmp	16	Pinus mugo pumilo Compact Mugh Pine	#5 18-24"
Syr	5	Syringa patula 'Miss Kim'	18-24" #5 Cont.

DATE	NOTES
6/18/21	LANDSCAPE PLAN
6/22/21	REVISION #1
8/06/21	REVISION #2

LANDSCAPE PLAN
DOMINION ENERGY
 9796 SHEPARD RD.
 MACEDONIA, OHIO 44056



NORTH
 ARROW

0 30 60

SCALE: 1" = 30'-0"
 DESIGNER: SERAFIN

L-1

M E M O

To: Mayor and Planning Commission

From: Joe Gigliotti, P.E.

Date: 03-08-22

Re: Plan Review Comments: Dominion – 9796 Shepard Rd., Station Replacement

We have reviewed the plans submitted on 02-24-22 for the above named project, and we offer the following comments:

1. Previously submitted plans for the Station Replacement show a large proposed gravel driveway/parking area for the “station replacement” site. Storm water management, with regards to both quality and quantity, needs to be provided, in conformance with Chapter 920 of Macedonia Codified Ordinances, as only storm water management for the proposed “Vehicle Storage Garage” is currently shown on the plans. No storm water management is shown for the “Station Replacement” site, this is required as the amount of grass is being reduced and replaced with hard surface or gravel. This project will increase storm water runoff, thus management is required. This comment was not addressed from the previous Planning Commission submittal and meeting of Sept., 2021.

MEMORANDUM

To: Mr. Nicholas Molnar, Mayor
Mr. Bob Rodic, Building Commissioner

From: Pam Schultz, Architectural review Consultant

Subject: Dominion Energy
9796 Shepard Road
Macedonia, OH

Date: March 9, 2022

I have reviewed the submitted plans for Dominion Energy.

The site plans submitted are for the proposed 44' x 48' building and a proposed 16' x 24' building. Two site plans were included and show different locations for what is being proposed. Two buildings on the North side of the site and two buildings on the South side, adjacent to the existing brick buildings are shown. One site plan indicates the buildings located on the North side of the site have been approved. The following comments/recommendations refer to the proposed 44' x 48' and 16' x 24' building plans and not their placement on the site.

The buildings are located in the area covered by the Macedonia Design Standards, specifically, the Applicable City-Wide Standards (1172.02). With these standards in mind, I offer the following for consideration:

1. The design of the proposed buildings are "inappropriate" and "generally unacceptable" which includes pre-engineered metal buildings (e.g. "pole buildings"). Please see 1172.02 (a)(10)B. Sheet metal is not permitted except as rain gutter/downspouts. Please see 1172.02 (a)(10)E. Materials shall be compatible and harmonious with and not in stark contrast to the materials used on adjacent structures. Please see 1172.02(a)(2) and (3). Material details will need to be added to coordinate with the neighboring building made of brick and limestone.
2. The buildings should contain reasonable details and ornamentation . . . and harmonious with adjacent structures. Please see 1172.02(a)(5). I would suggest split faced brick or red brick with limestone cap details. Adding three-dimensional details with soldier course would also be appropriate.
3. If the commission agrees, please verify the colors and quality of all materials proposed adhere to Macedonia Standards.
4. Drawings do not show any locations for HVAC. Please note, all mechanicals shall be screened. Please see 1172.02 (a)(4).
5. The chain link fence located along the South property line allows visibility by the neighboring property and traffic. (The proposed landscaping may not adequately shield any proposed buildings). Please confirm privacy of new landscaping).
6. The site plan show a "microwave tower". Please verify this has been reviewed/addressed.

Page 2

Memorandum re: Dominion Energy
9796 Shepard Road
Macedonia, OH
March 9, 2022

Recommendation:

Due to the proposed design of “pole buildings” to the property, I recommend a redesign of materials and details which meets the City design standards. I believe the applicant could reasonably alter the design to adhere to Macedonia’s Architectural Design criteria by utilizing upgraded materials such as Split face block and brick materials and by creating more visual interest in the proposed buildings. This would allow the buildings to be harmonious with the existing building, the neighboring property, as well as be more appropriate for the neighboring residential area. Please feel free to contact me with any questions or comments.

Thank you!

Pam Schultz
Architectural Review Consultant



City of Macedonia
The Crossroads of Northeast Ohio
 9691 Valley View Road • Macedonia, Ohio 44056
 (330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

**APPLICATION FOR HEARING BEFORE THE
 MACEDONIA PLANNING COMMISSION**

All Plans for Submittal Must be **FOLDED**.
 No Rolled Plans will be Accepted.

Address of Property Involved: 7860 Empire Parkway, Macedonia, OH 44056

Nature of Request: Tree Clearing for future development

Applicant Name: Russell Clark Phone: (513) 384-8961

Applicant Address: 8180 Corporate Park Drive, Cincinnati, OH 45242

Applicant Email Address: rclark@arco1.com

Applicant Signature:  Date: 03/15/2022

Notes: We are seeking initial approval for tree clearing within our property to prepare for future development.
The future development is scheduled to occur during the summer of 2022 through spring of 2023. It
will include a 300,000sf speculative warehouse and office space for future tenants.

Meeting Date: 03/22/2022 Filing Fee: \$200.00
ESCROW 3000.00

Deadline for submitting applications is **21 DAYS** prior to the meeting date. When applying for a hearing, please furnish **THIRTEEN** sets of sketches, maps, drawings, descriptions, or photographs of the property in question. **THIRTEEN** copies of the site plans are required. **PLANS MUST BE FOLDED, NOT ROLLED.** No rolled plans will be accepted. If new construction is involved, the landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commissioner's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: Permit fees are not included in the filing fee, additional fees may be required.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
 City of Macedonia

Please submit plans to:
 Macedonia Building Department
 9691 Valley View Road
 Macedonia, Ohio 44056

ArcGIS Web Map



3/14/2022, 11:48:03 AM

- Parcels
- Road Labels
- Jurisdictions

ArcGIS Web Map



Legend	Description
	Parcel Owned

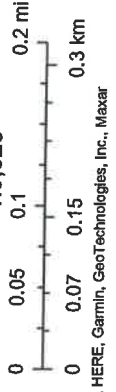
3/14/2022, 11:48:03 AM

Parcels

Road Labels

Jurisdictions

1:9,028



Est., HERE, Garmin, GeoTechnologies, Inc., Maxar

Web AppBuilder for ArcGIS
 Disclaimer: Users of this map accept all risk, not intended to serve as professional advice.



7860 Empire Parkway – Future Development

Beginning in the summer of 2022, construction will take place to build a 300,000 SF speculative warehouse. The warehouse will be located at 7860 Empire Parkway, Macedonia, OH 44056. It will encompass and develop three parcels of land (3303804, 3303805, and 40000533). An initial site plan showing the building location and parking has been attached to the planning commission application. Also attached to the application is the area involving the tree clearing.

The future 300,000 SF speculative warehouse is initially being designed to accommodate two prospective tenants. Each tenant will have the ability to utilize the space as both office and warehouse space. Car parking will be provided to the North and South of the building. Truck parking will be available to the West, and dock positions will be provided along the North and West of the building. The warehouse will be constructed of tilt-up concrete panels to be painted. The Northwest corner of the building is anticipated to have a storefront glass system as one of the tenant's main entrances. This will also be the first corner visible when entering from Empire Parkway.

Along with the building development, we will also add additional landscaping and stormwater structures to the site. Our initial plans include adding a detention pond to the East of the building pad. The detention pond will be sized to accommodate all stormwater drainage from the newly added impervious surfaces. During construction, additional measures and plans will be created to accommodate stormwater and erosion control to ensure limited disturbance to the areas outside of our construction limits. Once paving has been completed, landscaping will occur, adding additional plants and grass to areas disturbed during the construction process.

The warehouse and exterior site work construction should be completed by the spring of 2023. Once the building is complete, the site will consist of a new 300,000 SF warehouse, parking to accommodate both trucks and cars, an updated stormwater drainage system, and landscaping to improve the surrounding site.

We look forward to working with the city of Macedonia on a successful project bringing economic development to the city.

INTEROFFICE MEMORANDUM

TO: PLANNING COMMISSION MEMBERS
FROM: ROBERT RODIC, BUILDING COMMISSIONER
SUBJECT: MARCH PLANNING COMMISSION MEETING
DATE: MARCH 15, 2022
CC: MAYOR MOLNAR

Two items have been added to this month's Planning Commission agenda that I thought it necessary to discuss in advance of the meeting.

Tree Clearing, 7860 Empire Parkway

This project was brought forth after the application cut-off date. It deals with tree-clearing on the former Bedford Anodizing site in anticipation of future development. Timing is critical due to the migration of the Indiana bat who are listed as federally endangered under the Endangered Species Preservation Act and migrate primarily in late March or early April and are active until late October. (In this case March 31st is the cut-off date for tree removal) During this time certain species of trees used by the bats for roosting cannot be cut down.

The owner's representative has indicated there will be development of the site and included a conceptual site plan in addition to the tree clearing plan.

A formal tree-clearing plan and a storm water pollution protection plan will be submitted for review and approval by my office and the City Engineer.

Wave Car Wash, 309 Highland Road

This application was continued to the March meeting by the Planning Commission in February as details regarding the storm water, site grading, etc. were unclear. The applicant walked-in architectural plans at the February meeting which have since been reviewed by the City's architectural consultant.

I have attached the consultant's comments and the designer's response to this memo. I have reviewed the modified plans and have found them to be consistent with the consultant's comments.

The applicant has also submitted full construction documents for building code plan review that include civil plans. The civil plans are currently under review by the Engineer's Office. I have attached the undated site plan to this memo.

I recommend final approval of both plans pending administrative review and approvals.

MEMORANDUM

To: Mr. Nicholas Molnar, Mayor
Mr. Bob Rodic, Building Commissioner

From: Pam Schultz, Architectural review Consultant

Subject: Wave Car Wash REVIEW 4
307 Highland Road
Macedonia, OH

Date: February 27, 2022

The following are comments and notes on the submitted set of drawings dated 2.11.22 which I received 2.15.22.

1. I previously recommend changing the EIFS color from white to buff which I regret was a typo. White would stand out and would also be a nice contrast to the red brick. (It would also compliment the adjacent/neighborhood KFC building). This is a recommendation, and could be discussed with the Commission.
2. Please verify the backside of the gables are finished appropriately to match the front. I believe these gables and their finishes will be visible from I-271 and therefore should be considered. (The drawings I received for review did not address this previously made comment).
3. The location of the trash enclosure gives maximum visibility to customers. A more appropriate location should be addressed. Please confirm the "primed and painted" gate will be maintenance free. Could the gate be powder-coated to help with longevity?. Color of gate to match EIFS color noted above.
4. I appreciate the glass door addition on the visible elevation facing Route 8. My drawings don't show soldier course details with the brick and it's difficult to understand the awning above the doors and it's side elevation detail with the computer generated drawings. Please verify the details at the side of the awning.
5. Drawings I received didn't confirm HVAC equipment would be hidden from all views. Please confirm.
6. I appreciate the added roof details at the entry/payment canopy. Please confirm color to match all other trim work. I also appreciate the brick detail and ask to confirm detail at the base. Will there be base trim?

I appreciate the changes made to the previous drawings. Most of the comments are clarification comments and will add to the overall appearance of the Wave Car Wash. As always, please don't hesitate to call should you have any questions.

Kind regards,
Pam Schultz



MDM Central Florida
1055 Kathleen Road
Lakeland, FL 33805
O: (863) 646-9130
F: (863) 648-1106

MDM South Florida
1412 SW 34th Avenue
Deerfield Beach, FL 33442
O: (954) 427-3076
F: (954) 427-3420

MDM Atlanta
8014 Cumming Highway
Suite 403, PMB #352
Canton, GA 30115
O: (770) 406-8925
F: (678) 771-8006

March 3, 2022

City of Macedonia, Ohio
Macedonia Planning Commission
9691 Valley View Rd.,
Macedonia, OH - 44056

Re: Project No: 21160
Wave Wash – Architectural Review
307 Highland Rd., Macedonia, OH

Dear Sir or Madam,

We have reviewed your comments received on 02-27-2022 and have addressed them as noted below.

Architectural Review:

Created by: Pam Schultz – Architectural Review Consultant on 02-27-22

Comments from the Reviewer:

1. *Comment - I previously recommend changing the EIFS color from white to buff which I regret was a typo. White would stand out and would also be a nice contrast to the red brick. (It would also compliment the adjacent/neighborhood KFC building). This is a recommendation, and could be discussed with the Commission.*

Response: Acknowledged. The plans have been revised from the Sherwin Williams “Buff 7683” color to show Sherwin Williams “White Snow 9541”. Please see the resubmitted revised elevations and renderings for the project.

2. *Comment - Please verify the backside of the gables are finished appropriately to match the front. I believe these gables and their finishes will be visible from I-271 and therefore should be considered. (The drawings I received for review did not address this previously made comment).*

Response: Acknowledged. The plans and renderings have been revised to show the rear of the gables finished in the primary brick color. Please see the resubmitted revised elevations and renderings for the project.

3. *Comment - The location of the trash enclosure gives maximum visibility to customers. A more appropriate location should be addressed. Please confirm the “primed and painted” gate will be maintenance free. Could the gate be powder-coated to help with longevity?. Color of gate to match EIFS color noted above.*

Response: Acknowledged. The plans are being revised to show a more appropriate location for the trash enclosure. The gate to the trash enclosure has been revised to a Polyurethane gate to match the color of the EIFs material and will also be maintenance free please see the project renderings for review of this portion of the project.

4. *Comment - I appreciate the glass door addition on the visible elevation facing Route 8. My drawings don't show soldier course details with the brick and it's difficult to understand the awning above the doors and it's side elevation detail with the computer generated drawings. Please verify the details at the side of the awning.*

Response: Acknowledged. Please refer to the projects renderings for clarification on the projects façade details at the buildings elevation facing route 8.

5. *Comment - Drawings I received didn't confirm HVAC equipment would be hidden from all views. Please confirm.*

Response: Acknowledged. The building's mechanical system has been revised to a split system, where it will be hidden from view on-site. The condenser unit will utilize a concrete pad on grade at its final location.

6. *Comment – The awnings shown on the front and rear elevations are unclear. Please provide clarification of material and side elevations of how it will be attached to the building.*

Response: Acknowledged. The awnings for the building are to be an painted aluminum that will be bolted to the buildings structure to meet the area wind and/or snow loading requirements for the projects.

7. *Comment – I appreciate the added roof details at the entry/payment canopy. Please confirm color to match all other trim work. I also appreciate the brick detail and ask to confirm detail at the base. Will there be base trim?*

Response: Acknowledged. The pay-station's canopy will match all trim work of the building. Currently the columns will match the building's pilasters without a base.

Please contact me at 863-646-9130 ext 114, should you have any questions concerns the responses provided herein.

Thank you for your assistance with this project.

Sincerely,

Conrad C Palumbo

Conrad C. Palumbo III
Permitting Manager











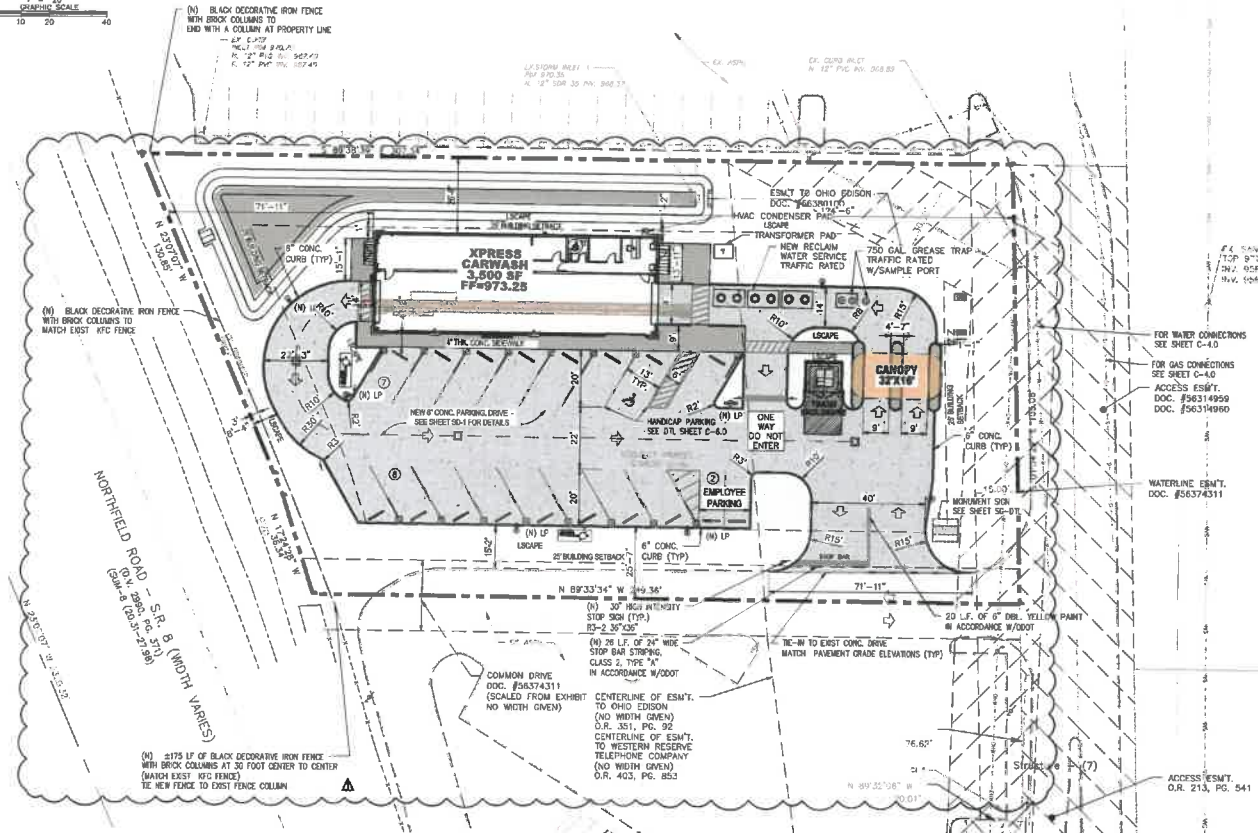
MDM
engineering • environmental • construction



VISETRY MAP

MAGNOLIA
 WASH HOLDINGS
 114 TRELLINGWOOD DRIVE,
 MORRISVILLE, NC 27560
 Phone: 919-760-7577

DESIGN TEAM LEAD:
MDM
SERVICES, INC.
 engineering • environmental • construction
 1595 KATHLEEN ROAD, LAKELAND, FLORIDA 33809
 Phone: 888-888-8888
 CHD 00 9084187



EXISTING SITE AREAS:

TOTAL SITE AREA:	42,847.54 SQ.FT. OR 0.98 ACRES.
TOTAL IMPERVIOUS AREA:	2,350.04 SQ.FT. OR 5.48% OF SITE
TOTAL PERVIOUS AREA:	40,497.50 SQ.FT. OR 94.52% OF SITE

PROPOSED SITE AREAS:

TOTAL SITE AREA:	42,847.54 SQ.FT. OR 0.98 ACRES.
TOTAL IMPERVIOUS AREA:	23,978.18 SQ.FT. OR 55.96% OF SITE
TOTAL PERVIOUS AREA:	18,871.36 SQ.FT. OR 44.04% OF SITE

EXISTING IMPERVIOUS AREA: 2,350.04 SQ.FT. OR 5.48% OF SITE
 PROPOSED IMPERVIOUS AREA: 23,978.18 SQ.FT. OR 55.96% OF SITE
 TOTAL IMPERVIOUS DIFFERENCE AREA: 22,741.27 SQ.FT. OR 53.07% OF SITE

PROPOSED CARWASH AREA:

FLOOR AREAS (1-STORY BUILDING)	TOTAL CARWASH SQ.FT. EXTERIOR	3,500.00 SQ.FT. OR 5.58% OF SITE
HEIGHT MAX		30'-0"

PROPOSED CANOPY AREA:

CANOPY:	PROPOSED 37' x 16'	512 SQ.FT. COVERING 0.82% OF SITE
CANOPY AREA:		13'-0"
TOTAL CANOPY HEIGHT		12'-4"
CANOPY CLEAR HEIGHT		

PROPOSED DUMPSTER ENCLOSURE:

SELF-FACE BLOCK W/ CEDAR FENCE OVER STEEL GATE DUMPSTER	PROPOSED 12'-4" x 11'-9"	144.88 SQ.FT. COVERING 0.23% OF SITE
HEIGHT		7'-0"

CURRENT ZONING/LAND USE:

EXISTING:	B-4
PROPOSED:	B-4

PARKING:

MAXIMUM PARKING ALLOWED:

CARWASH: 3,500 SF GROSS FLOOR AREA (TOTAL):	7
required (3,500 sq.ft. ÷ 205= 2,800 sq.ft./400 sq.ft./1.7 spaces	
TOTAL SPACES REQUIRED:	7

PARKING PROVIDED:

(1) 9'x21' HANDICAP SPACE W/5' UNLOADING ZONE	1
(3) 9'x23' STANDARD PARKING SPACES	3
(14) 13'x23' VALUED PARKING STALLS SPACES	14
(17) TOTAL SPACES PROVIDED > 17 SPACES REQUIRED	17

PARKING SPACES DESIGNED AS LOW IMPACT DEVELOPMENT
 SEC GRADING AND DRAINAGE PLAN SHEET C-2.0

BUILDING SETBACK:

NORTH R = 25' (BACK)
 SOUTH R = 25' (FRONT)
 WEST R = 25' (SIDE)
 EAST R = 25' (SIDE)

OWNER:
 MAGNOLIA WASH HOLDINGS
 CONTACT:

ENGINEER:
 MDM SERVICES, INC.
 1055 KATHLEEN ROAD
 LAKELAND, FLORIDA 33805
 CONTACT: RICHARD R. MORRIS
 PHONE: 888-427-3976

SURVEYOR:
 GBC DESIGN, INC.
 5855 WHITE POND RD.
 AKRON, OH 44320
 330-836-0228

FILE GEOTECHNICAL SUBSURFACE REPORT INVESTIGATIONS FOR RECOMMENDATIONS

REVISIONS

NO.	DATE	REVISION DESCRIPTION

Digitally signed by Michael Robinson Date: 2022.03.11 12:23:33 -05'00'

MICHAEL ROBINSON
 CHD P.E. REG 64670
 BUILDING SURV.

3,500 SQ. FT. CARWASH

WAVE WASH PREMIUM EXPRESS CAR WASH
 300 E HIGHLAND RD
 MACEDONIA, OHIO

SITE PLAN

C-1.0

SCALE:	AS NOTED	SHEET JOB #	21180
DATE:	10-12-2021		
DESIGNED BY:		FILE NAME:	
DRAWN BY:	JAG		
CHECKED BY:			21180CMLDWD
DRAWING TITLE:			



LEGEND:

- (N) 6" CONCRETE PAVEMENT SEE SDI FOR DETAILS
- (H) SOD SEE LANDSCAPE PLANS
- (N) CONCRETE PAVEMENT AND GUTTER
- (N) CONCRETE PAVEMENT
- (N) NEW
- (E) EXIST