

**MACEDONIA PLANNING COMMISSION
VIRTUAL MEETING
JUNE 21, 2021**

Location: Macedonia City Hall
Council Chambers
9691 Valley View road
Macedonia, Ohio 44056

Time: 5:30 P.M.

Call to Order

Roll Call:

- Mr. Westbrooks
- Mr. Schiavone
- Mr. Cox
- Mr. Roberts

Approval of the May 17, 2021 Planning Commission meeting minutes

Agenda Items:

- 1) Ms. Arko with Heritage Sign & Lighting is proposing signage for Premier Martial Arts located at 8210 Macedonia Commons Blvd.

Melinda Arko
Heritage Sign & Lighting
38348 Apollo Parkway Ste 1
Willoughby, Oh 44094
440-413-3696
Melarko.heritage@gmail.com

- 2) Ms. Belknap with Agile Sign & Lighting Maintenance, Inc. is proposing signage for T-Mobile located at 663 Aurora Rd.

Cione Belknap
Agile Sign & Lighting
35280 Lakeland Blvd.
Eastlake, Oh 44095
440-897-3189
Cione.belknap@aginesign.com

- 3) Ms. Noble with Ellet Neon Sales & Service is proposing new signage for Target located at 8282 Golden Link Blvd.

Amy Noble
Ellet Neon Sales & Service, Inc.
3041 E. Waterloo Rd.
Akron, Oh 44312
330-628-9907
anoble@elletneon.com

- 4) Mr. Macias with Fastsigns is proposing new signage for Silgan Dispensing located at 1224 E. Highland Rd.

Gil Macias
Fastsigns
8900 Darrow Rd.
Twinsburg, Oh 44087
330-269-4000
2230@fastsigns.com

- 5) Mr. Antonius with Dominion Energy is proposing a Transmission Station replacement and new building at 9796 Shepard Rd.

Michael Antonius
Dominion Energy
320 Springside Dr.
Akron, Oh 44333
330-203-7560
Ryan.j.smith@dominionenergy.com

- 6) Mr. Waltz with LP Architecture is proposing conversion of the former Pizza Hut building to a new IHOP restaurant located at 613 E. Aurora Rd.

Paul Waltz
LP Architecture
2138 N. Cleveland-Massillon Rd.
Akron, Oh 44333
330-659-3161 x 242
pwaltz@landparchitecture.com

- 7) Ms. Leonetti with Heights Venture Architects is proposing a new building for Panda Express restaurant located at 8261 Golden Link Blvd.

Linda Leonetti
Heights Venture Architects
1111North Loop West Suite 800
Houston, TX 77008
281-854-6107
Linda.leonetti@hva.cc

Miscellaneous:

Adjournment

Tabled Items:

- 5/17/ 2021 Proposed Transmission Station replacement for Dominion Energy located at 9796 Shepard Rd.
- 5/17/2021 Proposed new building for Optima Dermatology located at 8183 Golden Link Blvd.

The next regularly scheduled meeting is set for July 19, 2021.

All requests & documentation for the Planning Commission must be submitted by June 25, 2021

Tabled items will be removed after one (1) year of inactivity.



City of Macedonia

Building, Engineering, Zoning & Planning Dept.

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056

330 / 468-8360 • Fax: 330 / 468-8396

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MAY 05 2021

CITY OF MACEDONIA
BUILDING DEPARTMENT

APPLICATION FOR HEARING BEFORE THE MACEDONIA PLANNING COMMISSION

ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.

DATE OF APPLICATION: 4-26-21

LOCATION OF PROPERTY INVOLVED: 8210 Macedonia Commons #3

NATURE OF REQUEST: new signs

APPLICANT NAME & PHONE: Melinda Arko 440 413 3696

APPLICANT ADDRESS: 38348 Apollo Pkwy Ste 1 Willoughby Oh 44094

APPLICANT EMAIL ADDRESS: Melarko.heritage@gmail.com

APPLICANT SIGNATURE: *M Arko*

NOTES: Install new wall sign over entrance. Install new graphics on overhead/undercanopy identification sign.

MEETING DATE: _____

FILING FEE: _____

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish THIRTEEN sets of sketches, maps, drawings, descriptions, or photographs of the property in question. THIRTEEN copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE. ADDITIONAL FEES MAY BE REQUIRED.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
City of Macedonia

Please submit plans to:
Macedonia Building Department
9691 Valley View Rd.
Macedonia, OH 44056

Premier Martial Arts

8210 Macedonia Commons Blvd #3

Macedonia, OH 44056

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MAY 05 2021

CITY OF MACEDONIA
BUILDING DEPARTMENT

Channel Letters - Raceway Mount

Front Facade

Quantity:

1

Trim:

1" Black Gemtrim

Return Color:

Black

Face:

1/8" White Acrylic w/ Applied Vinyl

Vinyl Color:

3M Lime Green (3630-136)

Letter Interior:

Gloss White

Internal Illumination:

White LED's

Raceway Color:

SW 6105 Divine White

Raceway Size:

4" x 7" 0.125 Extruded Aluminum

Mounting:

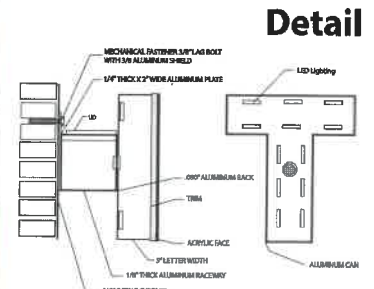
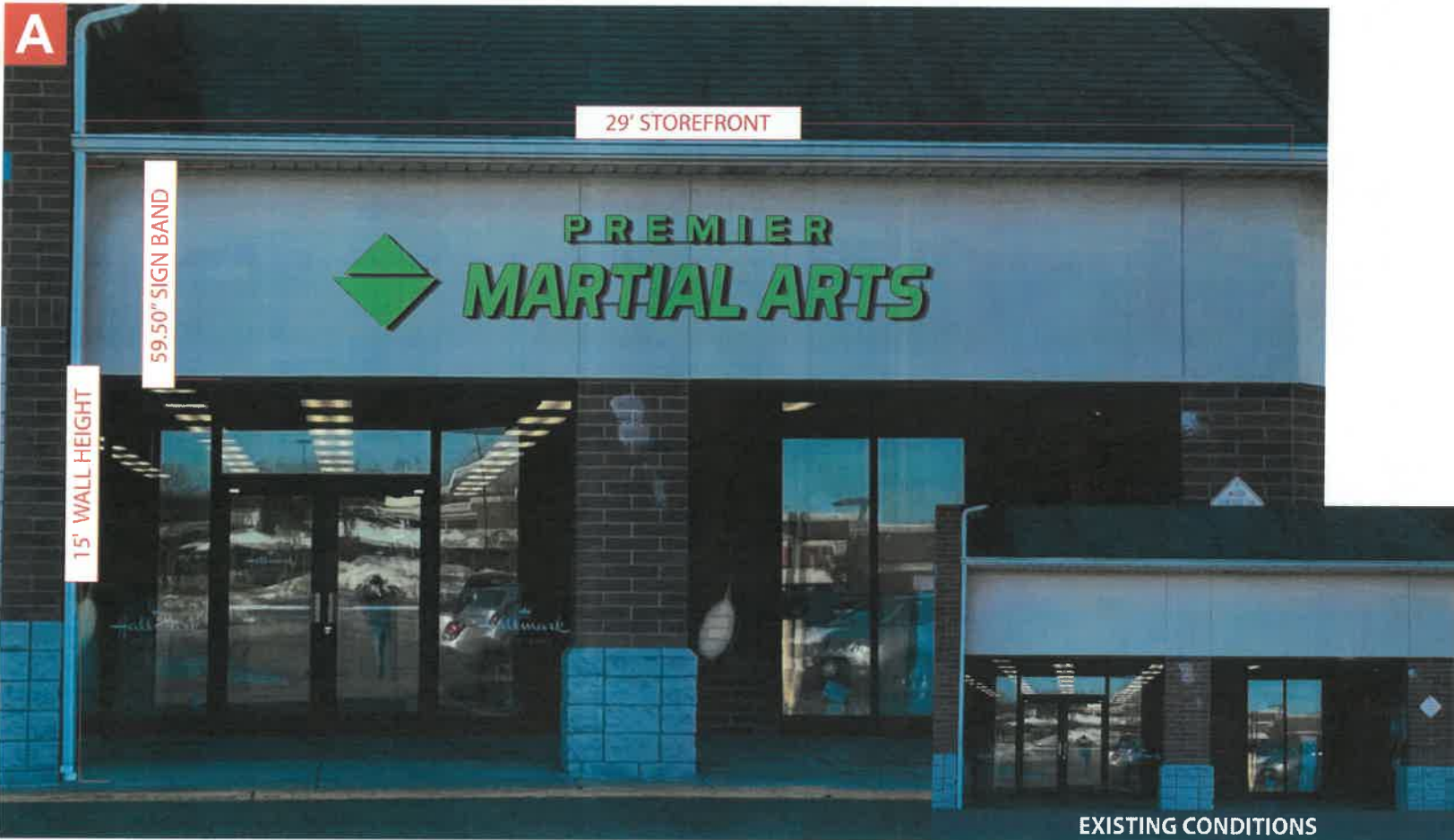
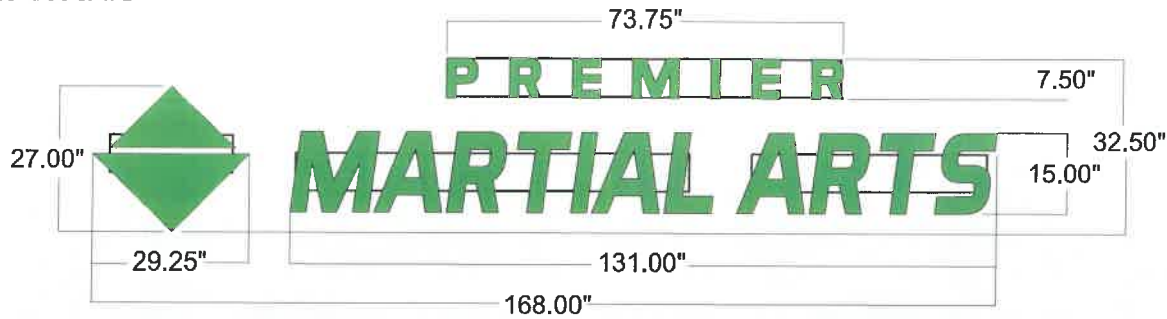
Hanging Bars Flush to Fascia

Sq. Ft. Signage:

37.92

Sq. Ft. Allowance:

TBD



Claude Ballbe	claude@signsunlimitedusa.com
919-552-8689	www.signsunlimitedusa.com
3/10/21	Underwriters Laboratories Inc. • UL File #E225670

Approval Signature:

Please check all spelling, quantities, colors, and materials before approving

Notes: **NEED SURVEY TO CONFIRM SCALE PRIOR TO MANUFACTURE**

SIGNS UNLIMITED
communicate your identity
6801 Mount Hermon Church Rd, Building C
Durham, NC 27705

Premier Martial Arts

8210 Macedonia Commons Blvd #3

Macedonia, OH 44056

Site Plan



Claude Ballbe	claude@signsunlimitedusa.com
919-552-8689	www.signsunlimitedusa.com
3/10/21	 Underwriters Laboratories Inc.® UL File #E225670

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Durham, NC 27705

Premier Martial Arts

8210 Macedonia Commons Blvd #3
Macedonia, OH 44056

Double-Sided Blade Sign Vinyl

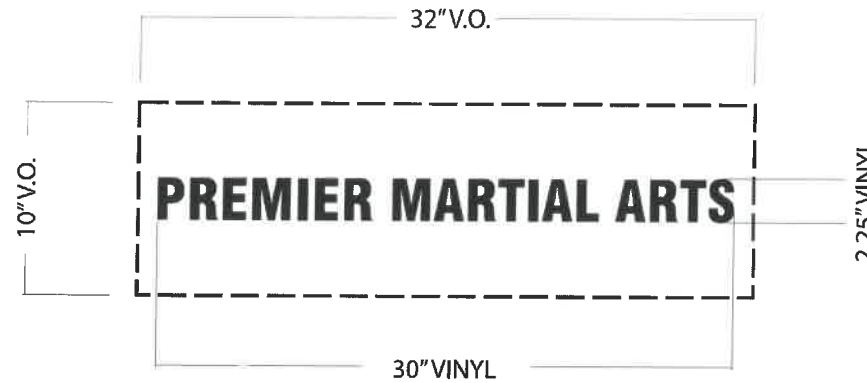
Quantity:
2

Material:
Applied Vinyl

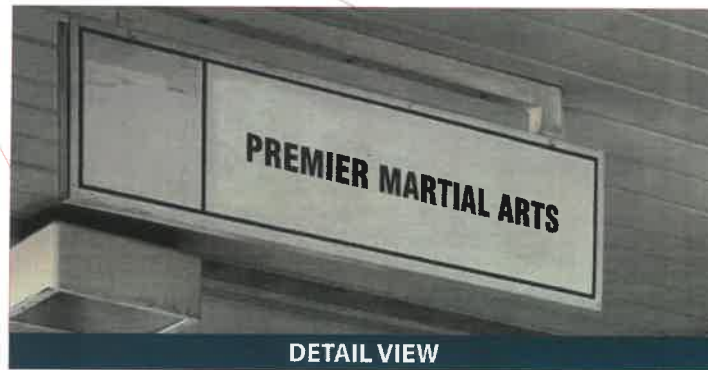
Vinyl Color:
Opaque Black

Mounting:
Onto Existing Panel

Sq. Ft. Signage:
0.46 Each



SUPERIMPOSED VIEW



DETAIL VIEW



EXISTING VINYL TO BE REMOVED AND DISPOSED OF BY LABOR PARTNER AT TIME OF INSTALLATION

EXISTING CONDITIONS

Claude Ballbe	claude@signsunlimitedusa.com
919-552-8689	www.signsunlimitedusa.com
3/10/21	Underwriters Laboratories Inc. • UL File #E225079

Approval Signature:

Notes:

Please check all spelling, quantities, colors, and materials before approving

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Durham, NC 27705



City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

APPLICATION FOR HEARING BEFORE THE MACEDONIA PLANNING COMMISSION

All Plans for Submittal Must be **FOLDED**.
No Rolled Plans will be Accepted.

Address of Property Involved: 663 Aurora Road

Nature of Request: Install New Signage as per Drawings

Applicant Name: Cione Belknap

Phone: (440) 897-3189

Applicant Address: 35280 Lakeland Blvd. Eastlake, Ohio 44095

Applicant Email Address: cione.belknap@agilesign.com

Applicant Signature: 

Date: 05/10/2021

Notes: The old signage no longer fits their "standards" for presentation and nationwide rebranding.

They would like to have a cleaner and overall professional updated appearance.

They are asking for a full approval as submitted with appreciation.

Meeting Date: 05/10/2021

Filing Fee: _____

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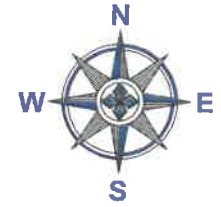
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Please submit plans to:
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9691 Valley View Road
Macedonia, Ohio 44056

SITE PLAN

NTS



FRONT: TMO-30W-RW

StratusTM

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:

T Mobile

P.O. NUMBER:

583962

PROJECT NUMBER:

N/A

SITE NUMBER:

3214

PROJECT MANAGER:

DAVE SUTTON

ADDRESS:

MACEDONIA COMMONS
663 AURORA ROAD UNIT 2-2,
MACEDONIA, OH 44056

PAGE NO.

2

ELECTRONIC FILE NAME:

TMO\2020\OH\CORPORATE\8165_SD.SRP_Macedonia_OH

REV	DATE	DESCRIPTION	BY	CHKD	APPD
Original	142766	05/29/20 DN			
REV 1	000000	07/08/21 056-R1			Updated to new template
REV 2	163265	04/19/21 056-M			Revised to TMO-30W-RW

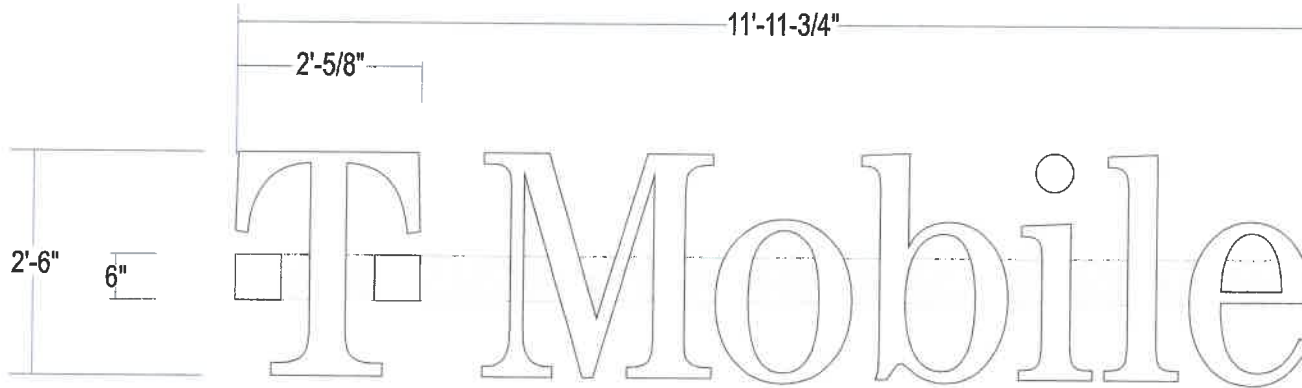
PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

FACE LIT CHANNEL LETTERS




Scale: 3/4" = 1'-0"

TMO-30W-RW

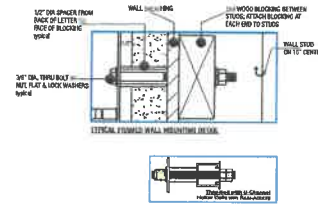
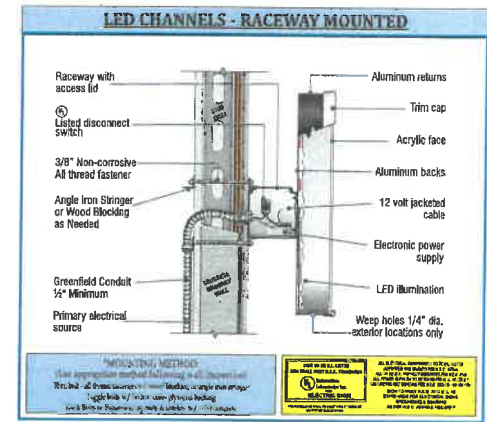
29.9 square feet



COLOR PALETTE

-  Black Satin finish / standard Alum. coil
-  #2447 White Autoglas or Equal
-  Raceway: Pittsburgh #429-7

- FACES:** 3/16" thick #2447 White autoglas or equal
- TRIMCAP:** 1" White Jewelite trimcap
- RETURNS:** .040 aluminum 3" deep painted Black Satin finish
- BACKS:** .063 alum. - pre-finished alum White
- LED:** Principal (≥20°) SF Mini 6500K; (<20°) Qwik Mod 3 6500K White LED's
- RACEWAY:** 7" x 4-1/2" raceway to house all electrical components; Raceway painted to match building
- INSTALL:** Raceway thru bolted flush to wall surface using min. 3/8" all thread fasteners with wood blocking as required; *Need to verify if access is available for thru bolting*
- WALL TYPE:** Signband is brick construction
- JOB NOTE:** UL label location - one to be visible from ground, others to be placed on top of letters and one on power supply
- QUANTITY:** (1) ONE LETTERSET REQUIRED FOR STOREFRONT ELEVATION



StratusTM
stratusunlimited.com
8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT: T Mobile	P.O. NUMBER: 583962	PROJECT NUMBER: N/A
ADDRESS: MACEDONIA COMMONS 663 AURORA ROAD UNIT 2-2, MACEDONIA, OH 44056	SITE NUMBER: 3214	PROJECT MANAGER: DAVE SUTTON
PAGE NO. 3	ELECTRONIC FILE NAME: TMO\2020\OH\CORPORATE\8165_SD.SRP_Macedonia_OH	

DATE	ISSUE	DESCRIPTION	BY	CHKD	APPROVED	DATE
Original	142766	05/29/20 DN				
REV 1	000000	02/08/21 DSG-RA			Updated to new template	
REV 2	163255	04/19/21 DSG-NI			Revised to TMO-30W-RW	

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STOREFRONT ELEVATION

Scale: 1/8" = 1'-0"

TMO-30W-RW



EXISTING CONDITIONS



EXISTING CHANNEL LETTERS TO BE REMOVED & DISCARDED;
PATCH AND REPAIR AS REQUIRED

6'-0"

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stratusunlimited.com
8859 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:
T-Mobile

ADDRESS:
MACEDONIA COMMONS
663 AURORA ROAD UNIT 2-2,
MACEDONIA, OH 44056

PAGE NO.
4

P.O. NUMBER:
583962

SITENUMBER:
3214

ELECTRONIC FILE NAME:
TMO\2020\OH\CORPORATE\8165_SD.SRP_Macedonia_OH

PROJECT NUMBER:
N/A

PROJECT MANAGER:
DAVE SUTTON

REV#	REV#	DATE	DESCRIPTION	BY	CHKD	APP'D	DATE
Original	142786	05/29/20 DN					
REV 1	000000	02/08/21 DSF-RA	Updated to new template				
REV 2	163265	04/19/21 DSF-W	Revised to TMO-30W-RW				

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City of Macedonia
Building, Engineering, Zoning & Planning Dept.
The Crossroads of Northeast Ohio

9691 Valley View Road ° Macedonia, Ohio 44056

330 / 468-8360 ° Fax: 330 / 468-8396

**APPLICATION FOR HEARING BEFORE THE
MACEDONIA PLANNING COMMISSION**

ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.

DATE OF APPLICATION: 05/27/21

LOCATION OF PROPERTY INVOLVED: 8282 Golden Link Blvd. Target

NATURE OF REQUEST: Face replacement for existing multi-tenant sign due to brand update

APPLICANT NAME & PHONE: Ellet Neon Sales & Service, Inc.

APPLICANT ADDRESS: 3041 E. Waterloo Rd. Akron, OH 44312

APPLICANT EMAIL ADDRESS: anoble@elletneon.com

APPLICANT SIGNATURE: _____

NOTES:

MEETING DATE: June 21, 2021

FILING FEE: 50.00
200.00 ESCROW .

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish THIRTEEN sets of sketches, maps, drawings, descriptions, or photographs of the property in question. THIRTEEN copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

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9691 Valley View Rd.
Macedonia, OH 44056



Project No. 1778

Target Signage Package

8282 Golden Link Blvd
Northfield, OH 44067



SIGNAGE | BRANDED ENVIRONMENTS | MAINTENANCE

LEGEND	
Monument	S2



Site Plan - Overview

Project No.	1778
Project	Target Signage Package
Location	8282 Golden Link Blvd Northfield, OH 44067
Orig. Draft	04.13.2021
Project Mgr.	Rob Fehlinan
Designer	Adam
Rev. Art	N/A
Rev. Date	00.00.00
Page Rev.	000
Rev. Details	N/A

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IDENTITI
 425 N Martingale Rd
 18th Floor
 Schaumburg, IL 60173
 Office 847.301.0510
 identity.net

D/F Monument - Tenant Panel

S2-1'

Proposed Signage = 78.4 SF

Relevant Signage Code
Face replacement

Sign Type
Alum. Tenant Panel w/ Acrylic Lettering/Logo
317.1

Mounting
Shed Mounted into Cabinet

Color Palette

- Face: White Flex
- Vinyl: 3M 3630-59 Cardinal Red
- N/A
- N/A
- N/A

Project No. 1778
 Project Target Signage Package
 Location 5282 Golden Link Blvd
 Northfield, OH 44067
 Orig. Draft 04.13.2021
 Project Mgr. Rob Fehman
 Designer Adam
 Rev. Art N/A
 Rev. Date 00.00.00
 Page Rev. 000
 Rev. Details N/A

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IDENTITI
 425 N Martingale Rd
 10th Floor
 Schaumburg, IL 60173
 Office: 847.301.0510
 identiti.net



▲ EXISTING



▲ PROPOSED



Flange: 0.625 in
 Returns: 1.75 in

LOCATION OF
EXISTING FRONT OF BUILDING SIGN



Imagery ©2021 Google, Imagery ©2021 Maxar Technologies, State of Ohio / OSIP, Map data ©2021 20 ft

LOCATION OF
EXISTING MONUMENT SIGN
- DOUBLE SIDED

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MAY 28 2021

CITY OF MACEDONIA
BUILDING DEPARTMENT



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BUILDING DEPARTMENT



84"w x 45"h Max Metal Panel

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CITY OF MACEDONIA
BUILDING DEPARTMENT



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RECEIVED

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CITY OF MACEDONIA
 BUILDING DEPARTMENT

Building/Engineering/Zoning/Planning Department

**APPLICATION FOR HEARING BEFORE THE
 MACEDONIA PLANNING COMMISSION**

All Plans for Submittal Must be **FOLDED**.
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Address of Property Involved: 1224 E Highland Rd

Nature of Request: Wall sign + monument sign panels

Applicant Name: FASTSIGN) Twinsburg Phone: 330-269-4000

Applicant Address: 8906 Darrow Rd Ste H 101

Applicant Email Address: 2230 @ fastsigns.com

Applicant Signature: Arlene C. Macina Date: 5/27/21

Notes: COBRA PLASTICS WAS PURCHASED BY SILGAM AND IS UPDATING THE
 FRONT OF BUILDING SIGN AND MONUMENT SIGN.

Meeting Date: JUNE 21, 2021

Filing Fee: 300.00

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RECEIVED

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 BUILDING DEPARTMENT

Building/Engineering/Zoning/Planning Department

**APPLICATION FOR HEARING BEFORE THE
 MACEDONIA PLANNING COMMISSION**

All Plans for Submittal Must be **FOLDED**.
 No Rolled Plans will be Accepted.

Address of Property Involved: 9796 Shepard Road

Nature of Request: Dominion Energy - transmission station replacement, building removal, new building

Applicant Name: Dominion Energy-Ryan Smith, Mike Antonius Phone: (330) 203-7560

Applicant Address: 320 Springside Drive. Akron, Ohio. 44333

Applicant Email Address: ryan.j.smith@dominionenergy.com

Applicant Signature: Michael R. Antonius Date: 05/27/2021

Notes: Resubmitting per May Planning Commission Meeting. DEO is requesting preliminary plan approval contingent on combining both DEO parcels and Macedonia BZA approval. DEO will install screening subject to Planning Commission approval.

Meeting Date: 06/21/2021 Filing Fee: _____

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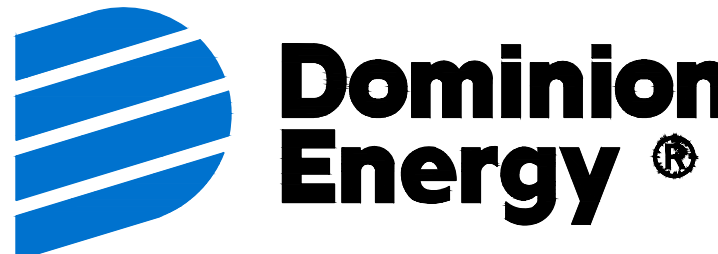
Please submit plans to:
 Macedonia Building Department
 9691 Valley View Road
 Macedonia, Ohio 44056



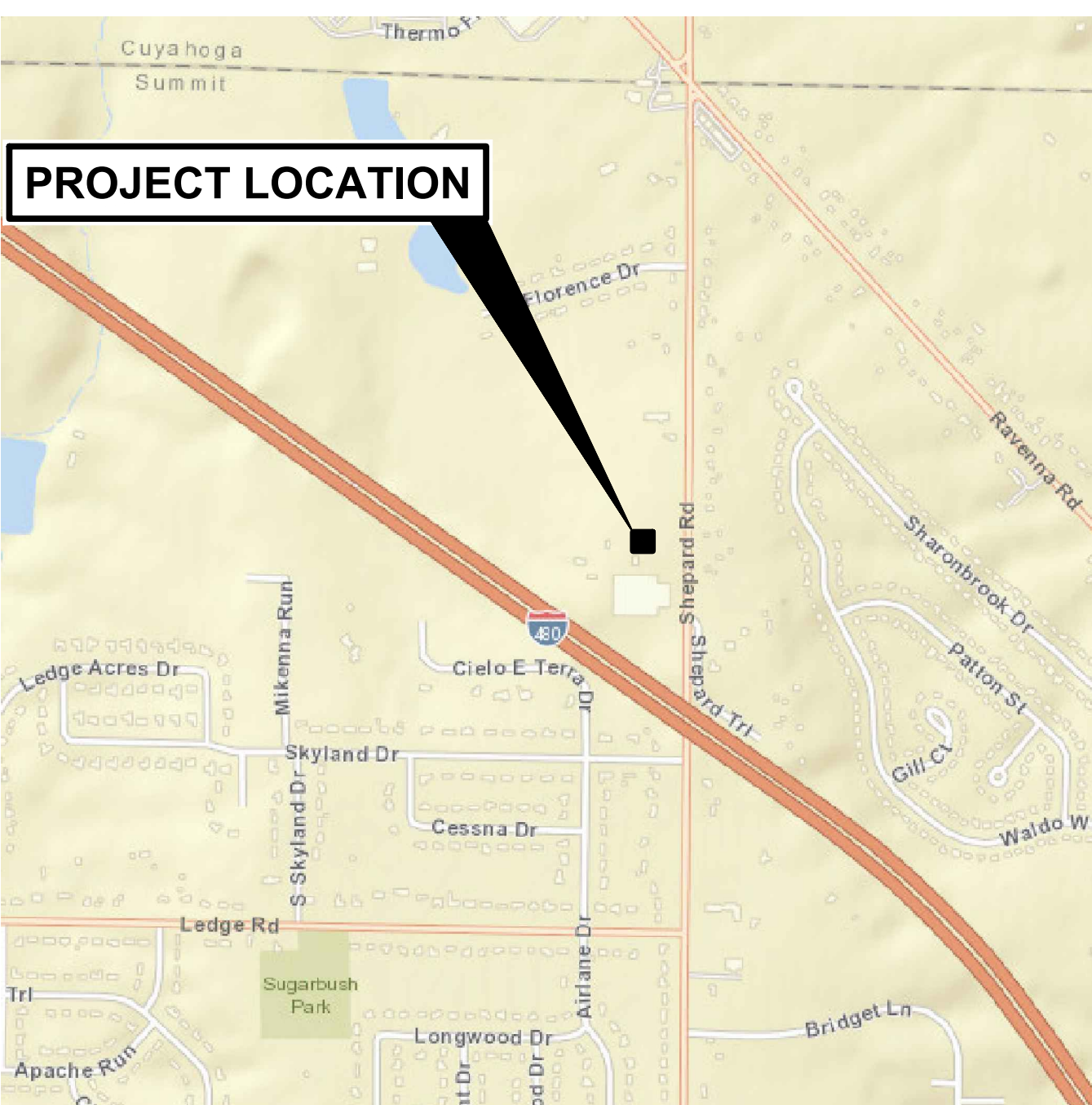
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SYMBOL LEGEND

- | | | | |
|--|------------------------|--|---------------------------|
| | I.P. FOUND | | SATELLITE DISH |
| | MONUMENT BOX | | FLAG POLE |
| | BENCHMARK | | ROCK |
| | STORM SEWER MANHOLE | | MAIL BOX |
| | CURB INLET | | POST |
| | CATCH BASIN | | SIGN |
| | SANITARY SEWER MANHOLE | | GAS MARKER |
| | SEPTIC TANK | | ELECTRIC MARKER |
| | WATER MANHOLE | | TELEPHONE MARKER |
| | WATER METER | | CABLE MARKER |
| | WATER VALVE | | ADA RAMP |
| | FIRE HYDRANT | | EX. GAS VALVE |
| | MONITOR WELL | | EX. GAS METER |
| | LIGHT POLE | | PROP. GAS METER |
| | SUPPORT POLE | | EX. GAS TEST BOX |
| | POWER POLE | | EX. GAS DRIP |
| | TELEPHONE POLE | | EX. COUPLING |
| | GUY | | EX. REDUCER |
| | TOWER POLE | | EX. END CAP |
| | YARD LIGHT | | PROP. GAS VALVE |
| | RAILROAD CROSSING | | PROP. CRITICAL GAS VALVE |
| | ELECTRIC MANHOLE | | PROP. REDUCER |
| | ELECTRIC PEDESTAL | | PROP. CAP |
| | TELEPHONE MANHOLE | | PROP. 3-WAY/SPHERICAL TEE |
| | TELEPHONE PEDESTAL | | PROP. COUPLING |
| | FIBER OPTIC MANHOLE | | PROP. STOPPER |
| | CABLE MANHOLE | | CAUSE FOR PAUSE |
| | CABLE PEDESTAL | | TREE |
| | UTILITY MANHOLE | | REMOVE |
| | TRAFFIC PEDESTAL | | EVERGREEN TREE |
| | PULL BOX | | SHRUB |
| | FLOOD PLAIN | | STUMP |
| | BROWNFIELD | | BAT TREE |
| | WETLANDS | | |



**TWINSBURG STATION REPLACEMENT
PLANNING COMMISSION RESUBMITTAL**
9796 SHEPARD RD, MACEDONIA OH 44056
P400364614 - MWO 63592651



LOCATION MAP

GENERAL LINE LEGEND

- | | | | |
|---|--|------------------------------------|--|
| PROPOSED LP GAS LINE | | PROPERTY LINE | |
| PROPOSED MP GAS LINE | | CORPORATION LINE | |
| PROPOSED IP GAS LINE | | EXISTING EASEMENT | |
| PROPOSED HP GAS LINE | | EXISTING UNDERGROUND STEAM | |
| PROPOSED TPL GAS LINE | | EXISTING UNDERGROUND CHILLER WATER | |
| PROPOSED STORAGE GAS LINE | | EXISTING UNDERGROUND CABLE | |
| PROPOSED GATHERING GAS LINE | | EXISTING UNDERGROUND TELEPHONE | |
| PROPOSED PRODUCTION GAS LINE | | EXISTING UNDERGROUND ELECTRIC | |
| PROPOSED SERVICE LINE | | EXISTING UNDERGROUND FIBER OPTICS | |
| PROPOSED DEO EASEMENT | | EXISTING SANITARY SEWER | |
| EXISTING GAS LINE TO BE ABANDONED | | EXISTING STORM SEWER | |
| EXISTING LOW PRESSURE GAS LINE | | EXISTING WATERMAIN | |
| EXISTING MEDIUM PRESSURE GAS LINE | | EXISTING GUARDRAIL | |
| EXISTING INTERMEDIATE PRESSURE GAS LINE | | EXISTING RAILROAD | |
| EXISTING HIGH PRESSURE GAS LINE | | | |
| EXISTING CASING PIPE | | RIGHT OF WAY | |
| EXISTING TRANSMISSION LINE | | | |
| EXISTING PRODUCTION GAS LINE | | CENTER LINE | |
| EXISTING STORAGE LINE | | EXISTING ROAD PAVEMENT | |
| EXISTING GATHERING LINE | | EXISTING WALK/DRIVE | |
| EXISTING SERVICE LINE | | FENCE | |
| ABANDONED GAS LINE | | TREE LINE | |
| OVERHEAD UTILITY LINE | | | |

INDEX OF SHEETS

- | | |
|----------------------|----------|
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| EXISTING SITE PLAN | 2 |
| PROPOSED SITE PLAN | 3 |
| BUILDING PLOT PLAN | 4 |
| LIGHTING PLAN | 5 |
| LARGE BUILDING PLANS | A-1, A-2 |
| SMALL BUILDING PLANS | S0-S2 |

CONTACTS

PROJECT MANAGER:
RYAN SMITH - 330-203-7560

DESIGN COORDINATOR:
N/A

DESIGNER:
RANDAL FERNANDEZ - 330-203-2814

CONSTRUCTION SUPERVISOR:
DAVID CROFT - 330-575-7208

ENVIRONMENTAL:
DAVE FREDLE - 330-703-3603

LAND SERVICES:
N/A

CORROSION:
DAVID CUTLIP - 330-323-0064

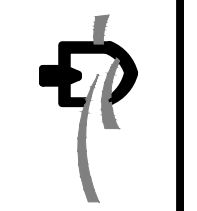
IN CASE OF EMERGENCY CALL 9-1-1, THEN:
PRIMARY EMERGENCY LINE FOR CUSTOMERS 877-542-2630

MUNICIPALITY(IES):
CITY OF MACEDONIA - BOB RODIC - 330-468-8362

REFER TO MATERIAL LIST OR BID SHEET(S) FOR ACTUAL QUANTITIES. CONTACT PROJECT MANAGER FOR QUESTIONS.



Ohio Utilities Protection Service
Call 2 Working Days Before You Dig
Toll Free 1-800-362-2764



REV	DATE	BY	DESCRIPTION



**M&R REPLACEMENT
TWINSBURG STATION**

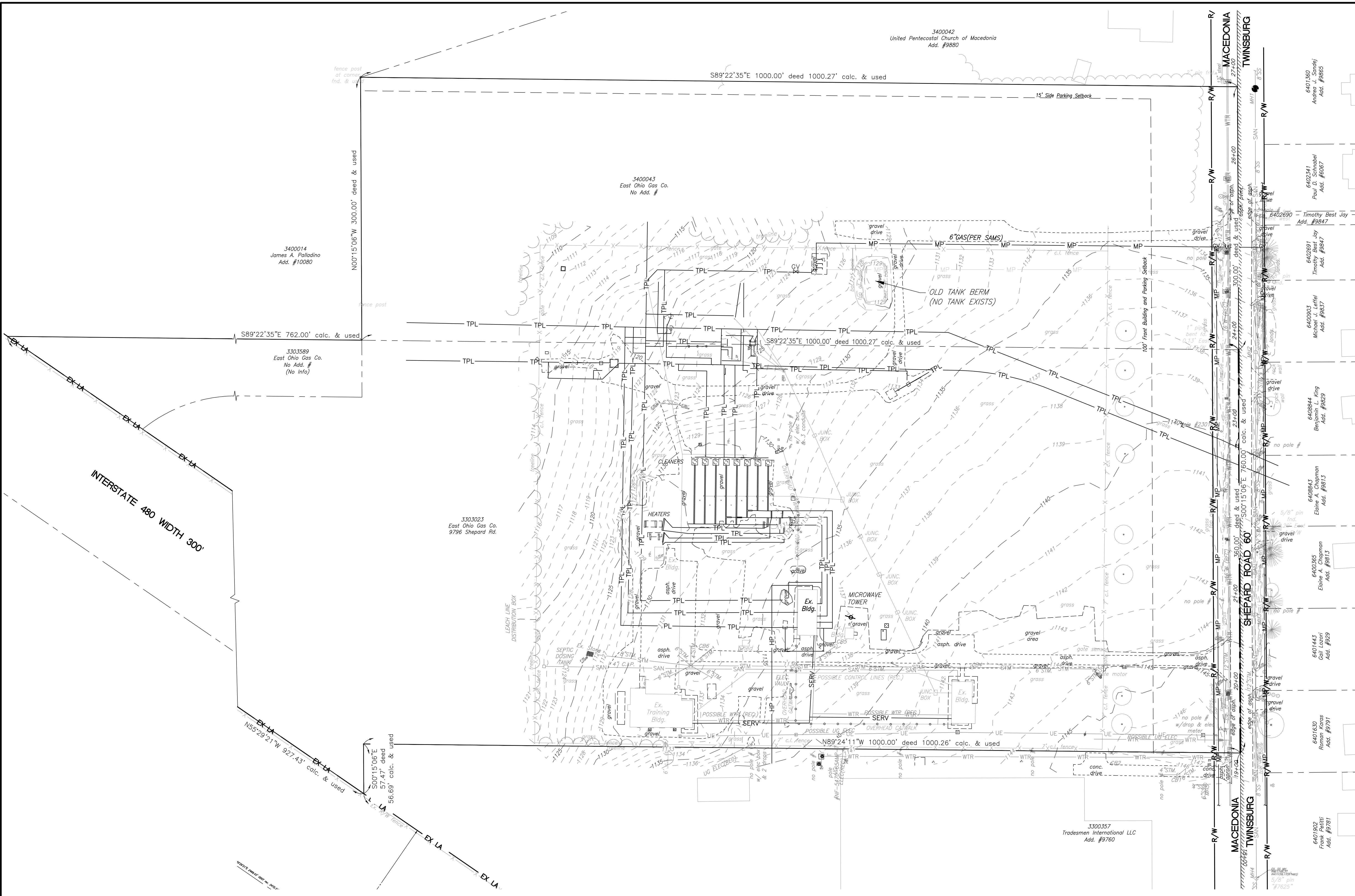
TITLE SHEET

MUNICIPALITY: Macedonia City Nord Hills CSD Nhw	
INV. DIV. 500	COUNTY: SUMMIT
OPERATING AREA: RANDALL	COORD: 41.341759, -81.489642
CLASS LOCATION: 3	DESIGN CLASS LOCATION: 3
X-RAY: 100%	WELL NO: N/A
FACILITY ID: -	REGULATOR NO: N/A
SPECIFIED MINIMUM YIELD STRENGTH (SMYS): N/A	

DATE: MAY 2021
PROJECT ID #: P400364614

1

THE OWNER DOES NOT WARRANT THE ACCURACY, SUFFICIENCY, OR COMPLETENESS OF THIS DRAWING OR MAP FOR ANY PURPOSE, AND RELIANCE HEREON AND USE HEREOF IS AT THE RISK OF THE USER, WHO AGREES TO HOLD HARMLESS AND INDEMNIFY THE OWNER AGAINST ANY AND ALL LIABILITY IN CONNECTION WITH ITS USE.



DATE: MAY 2021
 PROJECT ID #: P400364614
 2

EXISTING SITE PLAN

M&R REPLACEMENT TWINSBURG STATION

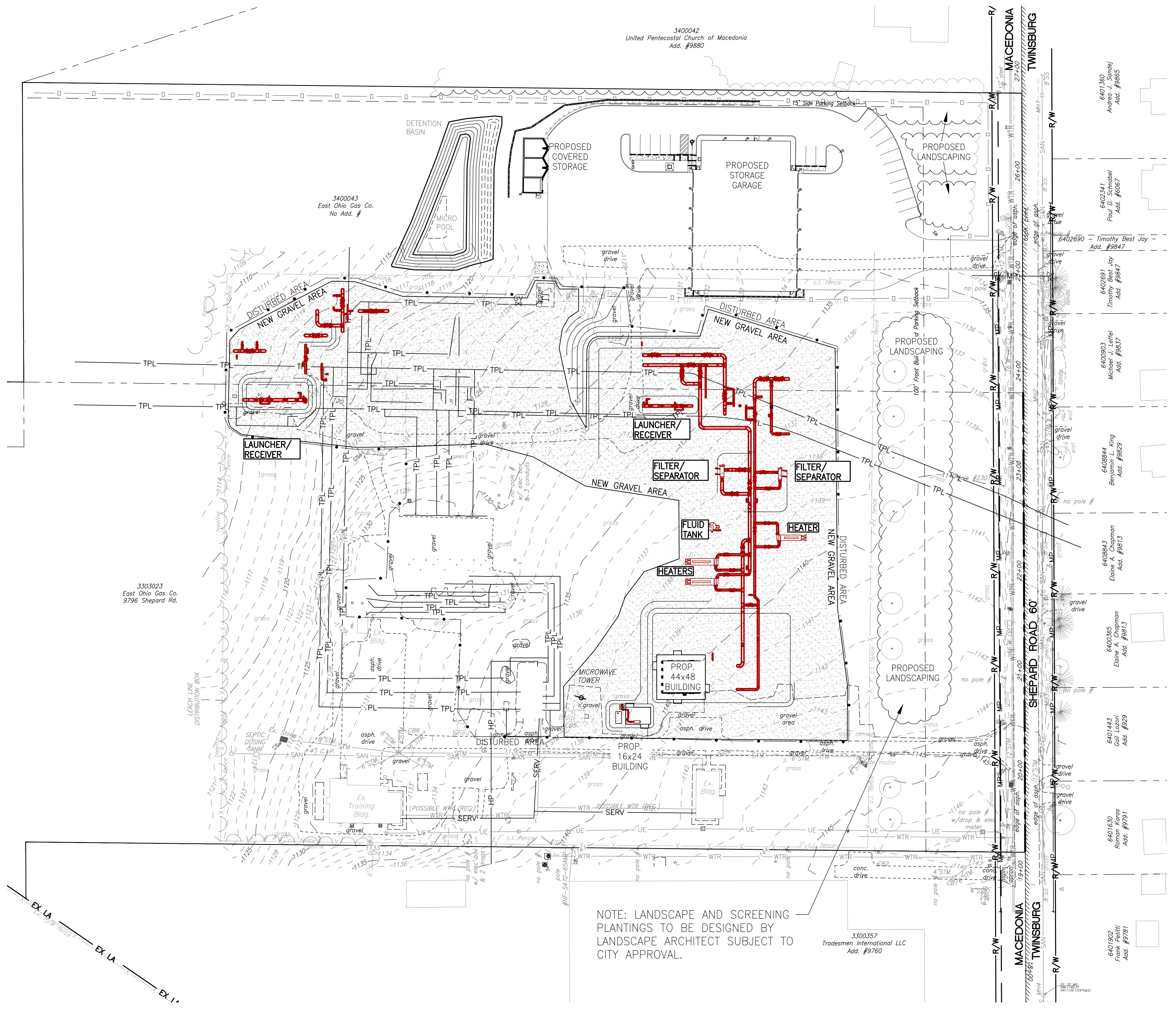
Dominion Energy

DRAWING SCALE
 0 50' 100'

NORTH

LINE	BT	DESCRIPTION
6401802	FRANK	6401802 Frank #9781
6401630	FRANK	6401630 Frank #9791
6401443	GAIL	6401443 Gail #929
6400865	ELINNE	6400865 Elinne #9813
6408843	ELINNE	6408843 Elinne #9813
6408844	BENJAMIN	6408844 Benjamin #9829
6409903	MICHAEL	6409903 Michael #9837
6402891	TIMOTHY	6402891 Timothy #9847
6402690	TIMOTHY	6402690 Timothy #9847
6402341	PAUL	6402341 Paul #9867
6401360	ANDREA	6401360 Andrea #9885

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NORTH

DRAWING SCALE
0 50' 100'

REV	DESCRIPTION	DATE	BY

Dominion Energy

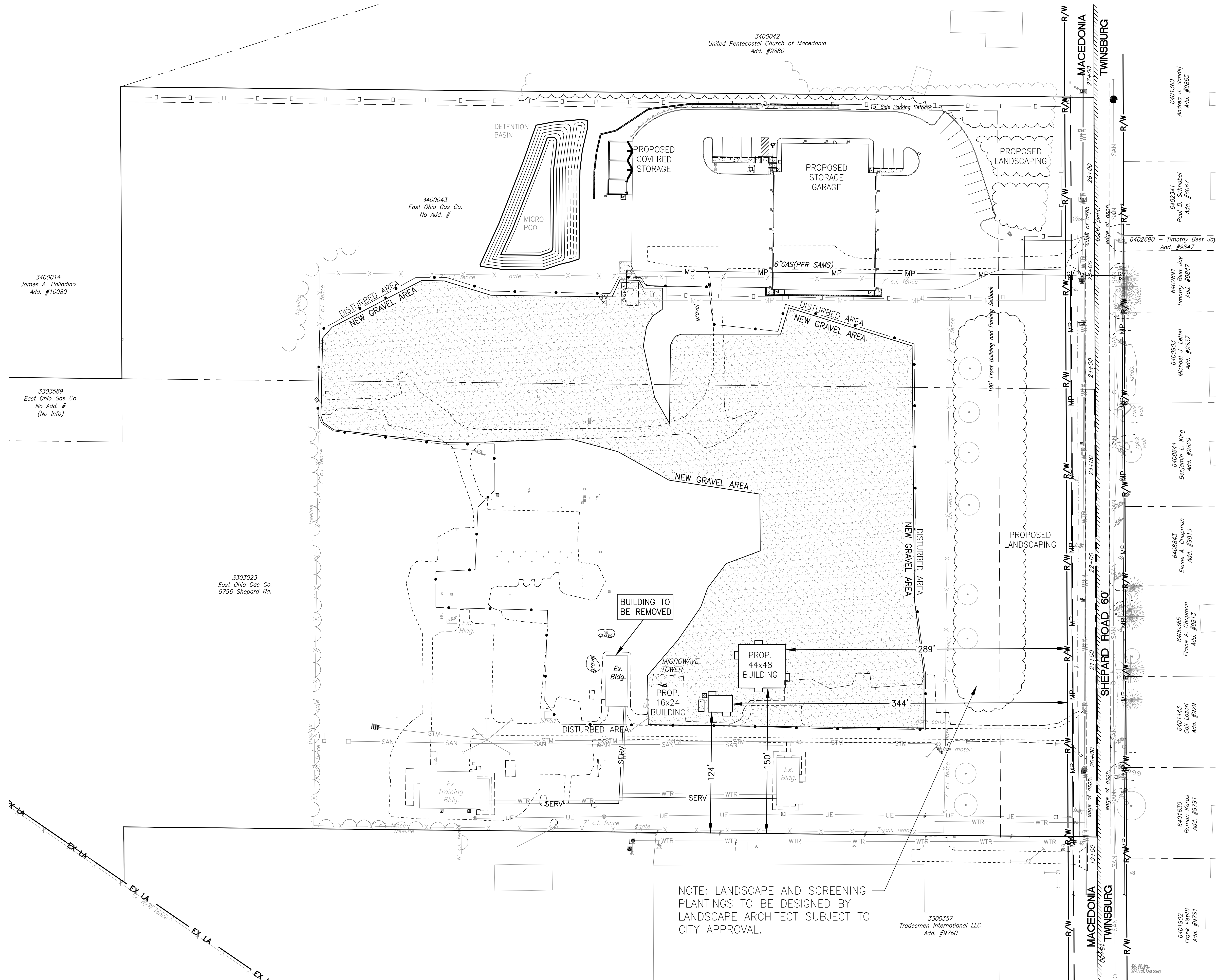
**M&R REPLACEMENT
TWINSBURG STATION**

**PROPOSED
SITE PLAN**

DATE: MAY 2021
PROJECT ID #: **P400364614**

3

THE OWNER DOES NOT WARRANT THE ACCURACY, SUFFICIENCY, OR COMPLETENESS OF THIS DRAWING OR MAP FOR ANY PURPOSE, AND RELIANCE HEREON, AND USE HEREOF IS AT THE RISK OF THE USER, WHO AGREES TO HOLD HARMLESS AND INDEMNIFY THE OWNER AGAINST ANY AND ALL LIABILITY IN CONNECTION WITH ITS USE.



NOTE: LANDSCAPE AND SCREENING PLANTINGS TO BE DESIGNED BY LANDSCAPE ARCHITECT SUBJECT TO CITY APPROVAL.

3300357
Tradesmen International LLC
Add. #9760

3400014
James A. Palladino
Add. #10080

3303589
East Ohio Gas Co.
No Add. #
(No info)

3303023
East Ohio Gas Co.
9796 Shepard Rd.

3400043
East Ohio Gas Co.
No Add. #

3400042
United Pentecostal Church of Macedonia
Add. #9880

6401360
Andrea J. Schaefer
Add. #9865

6402341
Paul D. Schaefer
Add. #9867

6402690
Timothy Best Jay
Add. #9847

6402691
Timothy Best Jay
Add. #9847

6409903
Michael J. Leffel
Add. #9837

6408844
Benjamin L. King
Add. #9829

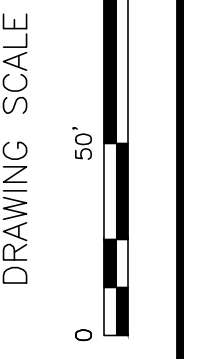
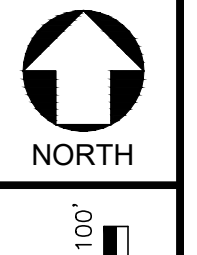
6408843
Elaine A. Chapman
Add. #9813

6400985
Elaine A. Chapman
Add. #9813

6401443
Gail Lopez
Add. #929

6401630
Rick Cross
Add. #9791

6401800
Frank Cross
Add. #9781



REV	DESCRIPTION	DATE	BY



M&R REPLACEMENT TWINSBURG STATION

BUILDING PLOT PLAN

DATE: MAY 2021
PROJECT ID #:
P400364614

Champ[®] FMV LED floodlights

Reliable floodlights. FMV LED luminaires are engineered to deliver high lumen output and maintenance-free long life in the toughest conditions.

Versatile design

- Can be used for outdoor or indoor applications, and for a wide range of mounting heights depending on model and light level requirement

Smaller and lighter

- 25% smaller footprint than previous model
- 10 lbs. (4.5 kg) less weight than previous model

Full frame yoke

- Designed to utilize the SCADA splitter and SW96 wall mount bracket, making it ideal for retrofit or new installations

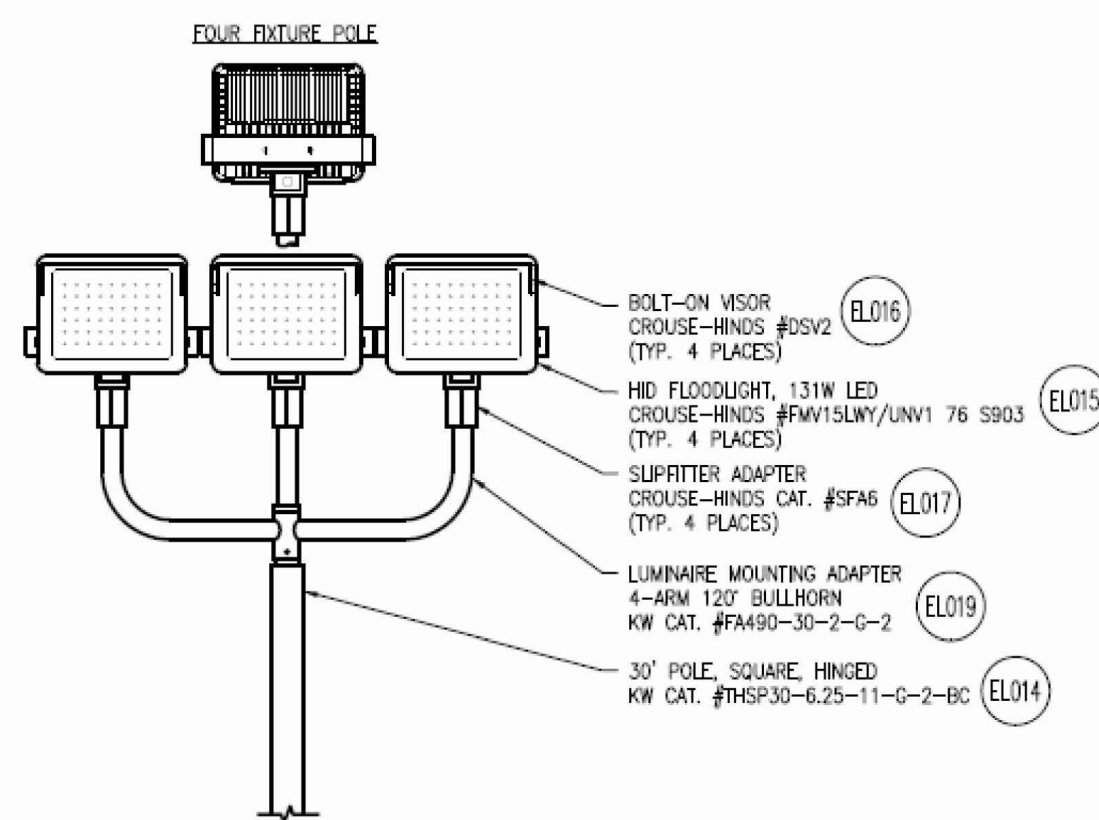
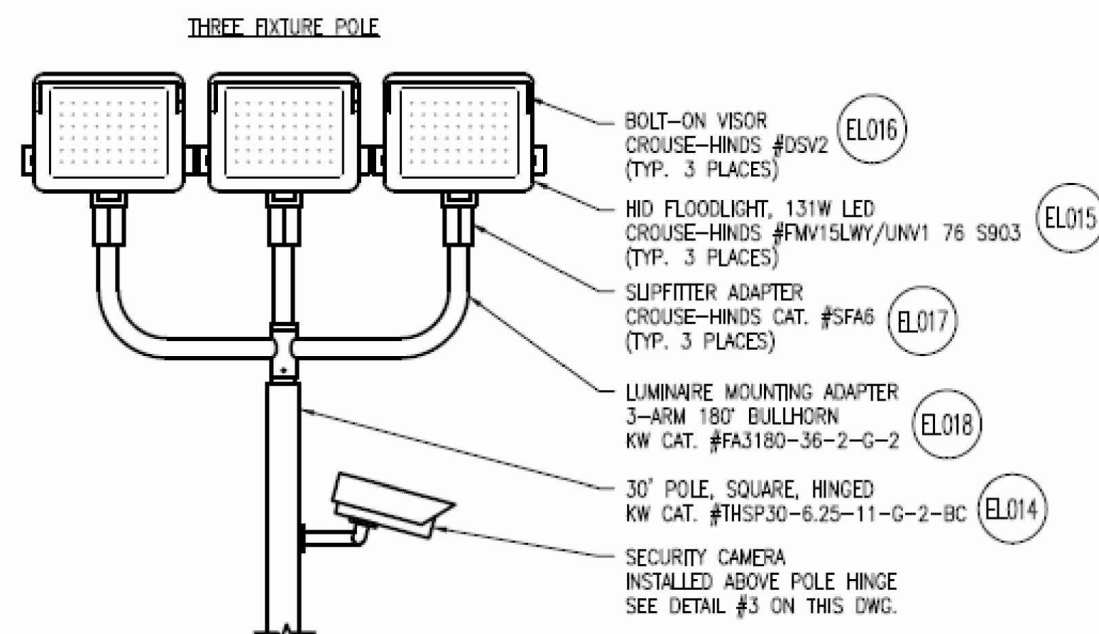
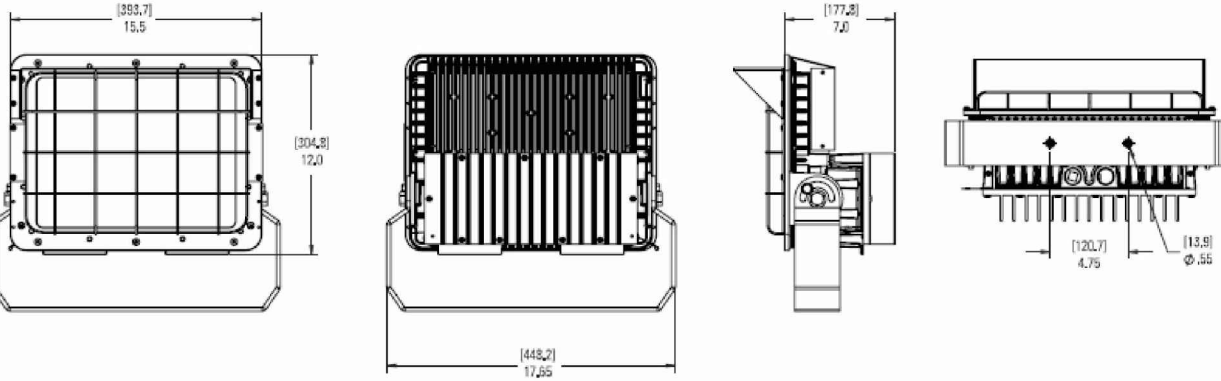


- High lumen output:**
- Up to 117 lumens per watt
 - Up to 72% energy savings over traditional HID fixtures (compared to 400W MH)

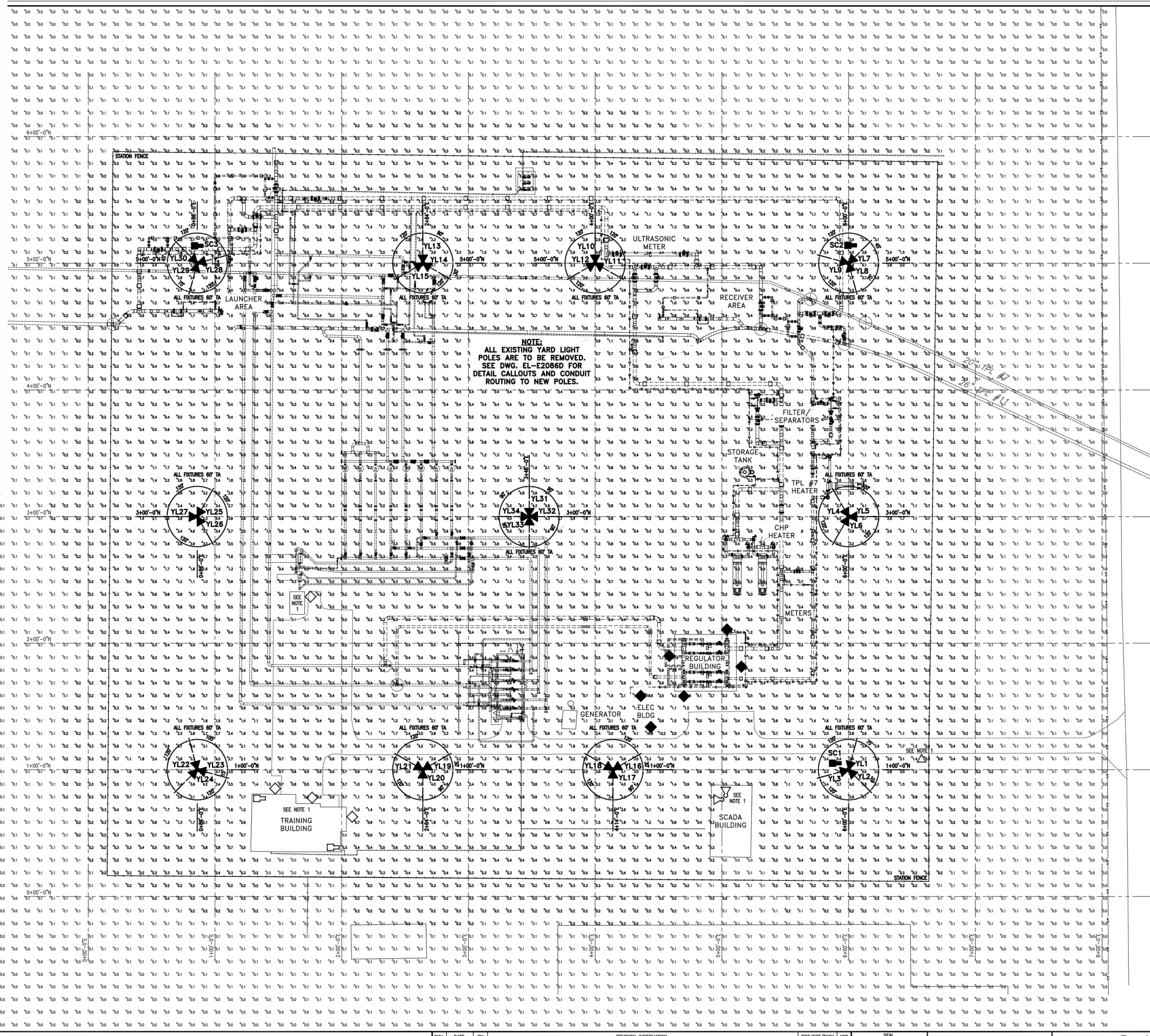
- Multiple lens options:**
- Tempered clear glass lens standard
 - Polycarbonate and diffused glass lens options available

Rugged heat sink

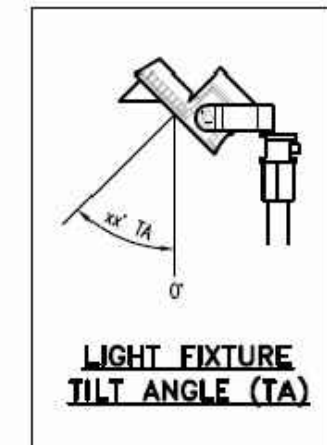
- Heat sink designed to perform and provide maximum light levels in high ambient temperatures up to +65°C and as low as -40°C
- Thick walled castings make for a tough, rugged housing that keeps the internal driver and LED temperature down



DETAIL #4
LIGHT POLE FIXTURES

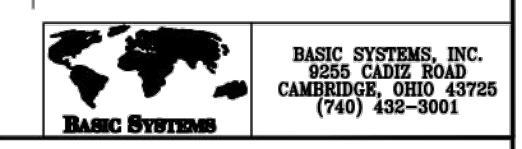


NOTE:
ALL EXISTING YARD LIGHT POLES ARE TO BE REMOVED. SEE DWG. EL-E2086D FOR DETAIL CALLOUTS AND CONDUIT ROUTING TO NEW POLES.



- LEGEND:**
- ▲ POLE FLOODLIGHT (NEW)
 - POLE FLOODLIGHT (EXISTING)
 - ◆ WALL LIGHT (NEW)
 - ◇ WALL LIGHT (EXISTING)
 - YARD LIGHT (EXISTING)
 - SECURITY CAMERA (NEW)
 - ◻ SECURITY CAMERA (EXISTING)
 - xx TA LIGHT FIXTURE TILT ANGLE (SEE DETAIL ON THIS DWG.)

ISSUED FOR
01/29/2021
CONSTRUCTION



Dominion Energy Ohio
320 SPRINGSIDE DR., AKRON, OH 44333 / Phone: (330) 268-2164

Twinsburg M&R Station
ELECTRICAL STATION LIGHTING

SYMBOL	DATE	BY	REVISION INFORMATION	PROJECT/TASK	APP.	SCALE
▲	01/29/21	BSC	ISSUED FOR CONSTRUCTION			1" = 30'-0"
○	10/19/18	BSC	ISSUED FOR CONSTRUCTION			

ORIGINAL CONSTRUCTION INFORMATION		FOR	
PROJECT/TASK:	BSC	DATE:	08/15/18
CHECKED:		TITLE:	
APP. FOR BLDG.:		TOWN:	MACEDONIA, OH
APP. FOR CONST.:		COUNTY:	SUMMIT
		GROUP:	EL
		DWG. NO.:	E2086DE
		REV.:	1

NORTH

NOT TO SCALE

DATE: MAY 2021

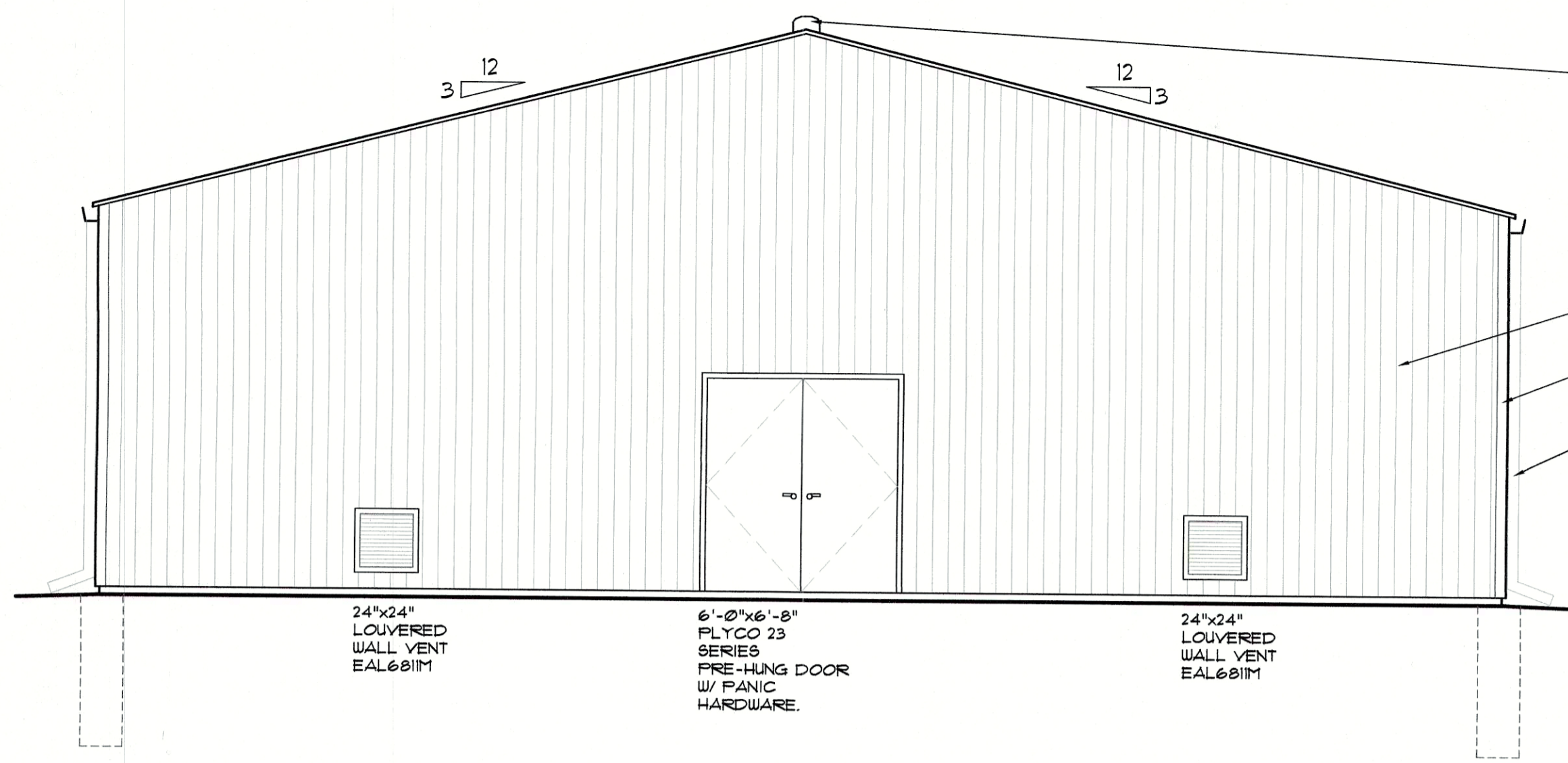
PROJECT ID #: P40364614

5

Dominion Energy

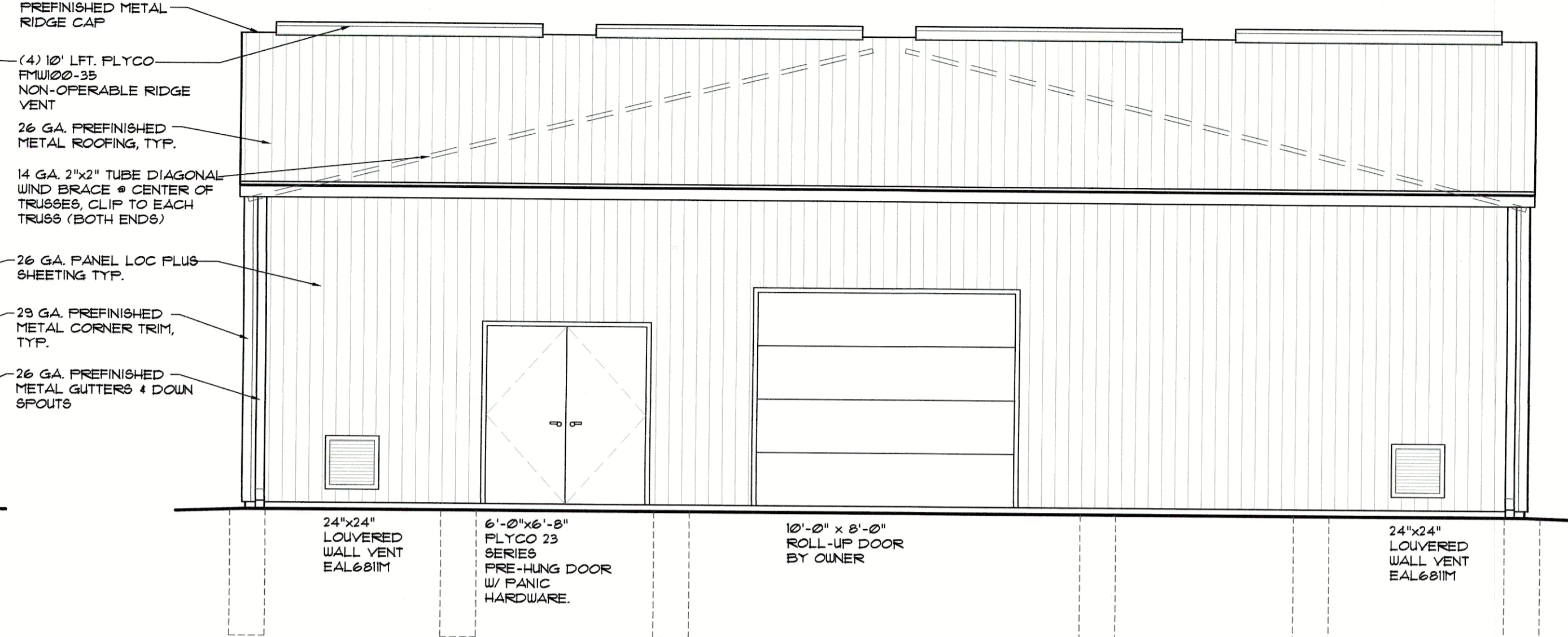
M&R REPLACEMENT TWINSBURG STATION LIGHTING PLAN

THE OWNER DOES NOT WARRANT THE ACCURACY, SUFFICIENCY, OR COMPLETENESS OF THIS DRAWING OR MAP FOR ANY PURPOSE, AND RELIANCE HEREON AND USE HEREOF IS AT THE RISK OF THE USER, WHO AGREES TO HOLD HARMLESS AND INDEMNIFY THE OWNER AGAINST ANY AND ALL LIABILITY IN CONNECTION WITH ITS USE.



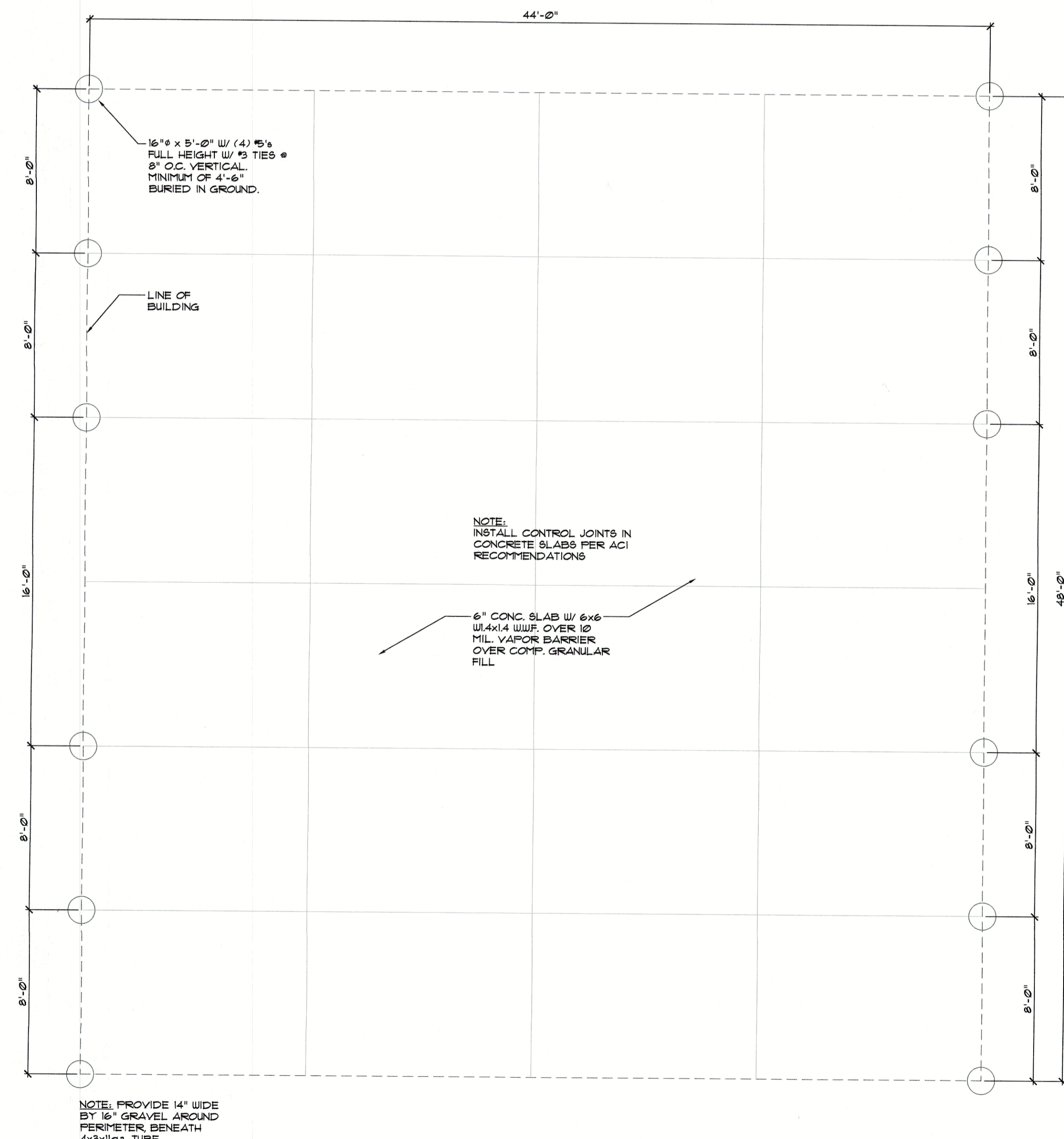
FRONT ELEVATION

SCALE: 1/4" = 1'-0"
NOTE: REAR ELEVATION SIMILAR



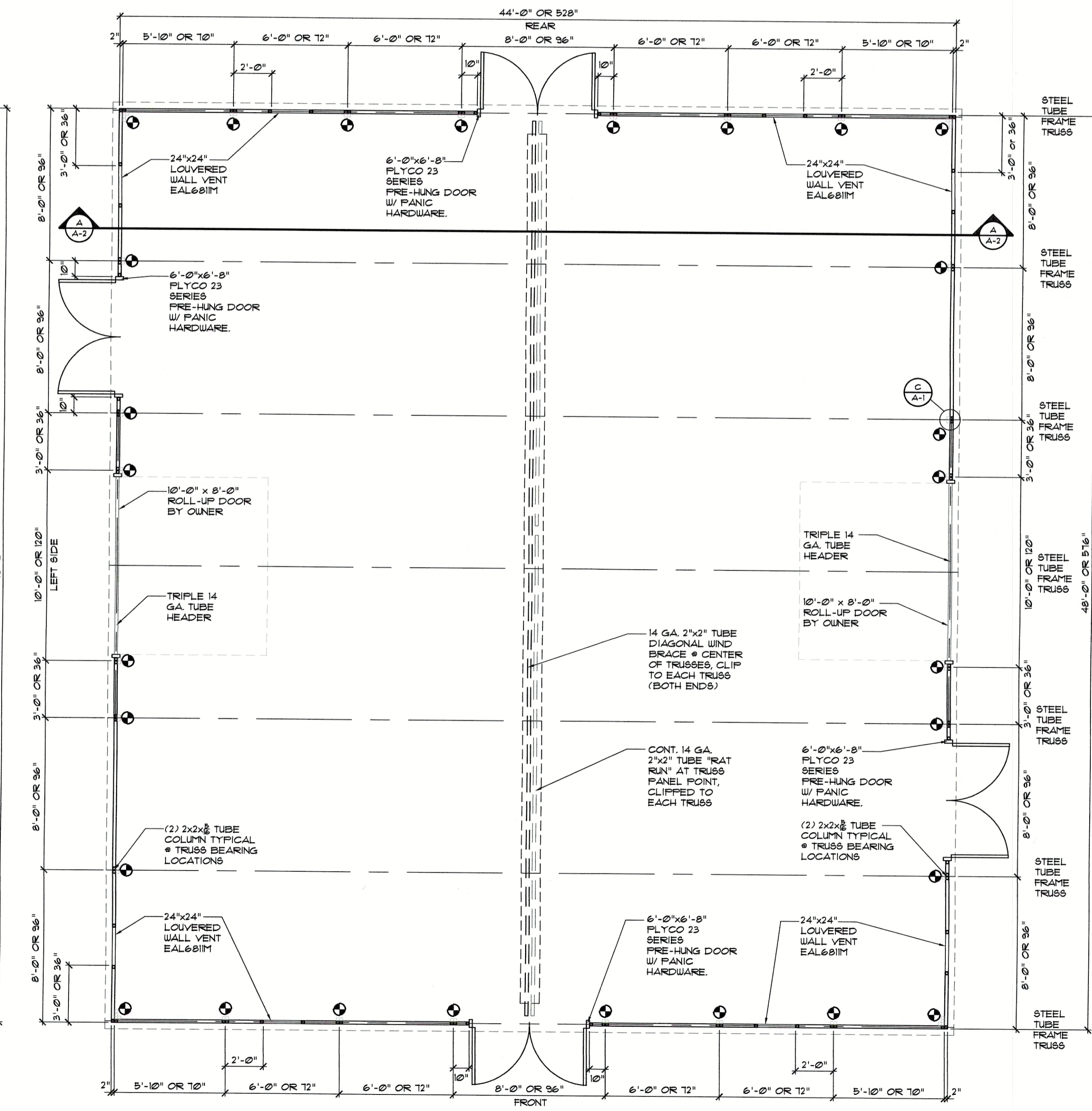
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"
NOTE: LEFT ELEVATION SIMILAR



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



FLOOR/ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- CONSTRUCTION TO COMPLY WITH THE 2011 OBC W/ MARCH 2011 ICC/ANSI A111-10 UPDATE, 2011 OMC, 2011 OPC & 2011 NEC.
- DO NOT SCALE DRAWINGS, (USE DIMENSIONS). VERIFY ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS BEFORE INSTALLATION.
- ALL BUILDING PLANS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR PLAN REVIEW NOTIFY ARCHITECT OF ANY PLAN REVIEW COMMENTS PRIOR TO CONSTRUCTION.
- TUBE STEEL SHALL BE ASTM A-500 GRADE "C". ALL OTHER STEEL SHALL BE A 36 GRADE.
- ALL WELDING SHALL BE PERFORMED ACCORDING TO AISC AND AISC STANDARDS.
- PORTABLE FIRE EXTINGUISHERS NOT REQUIRED IN USE GROUP UTILITY TYPE "U" CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETE IN ACCORDANCE WITH THE PLANS.

NOTE: THIS EQUIPMENT BUILDING WILL NOT BE USED BY THE GENERAL PUBLIC AND IS NOT DESIGNED FOR ACCESSIBILITY, SEE EXCEPTION "EQUIPMENT SPACES"

LOAD SUMMARY

GROUND SNOW LOAD = $P_g = 20$ P.S.F.
EXPOSURE FACTOR = $C_e = 1.0$
THERMAL FACTOR = $C_t = 1.2$
IMPORTANCE FACTOR = $I =$ CATEGORY I = 0.85
SNOW LOAD ON FLAT ROOF = P_f
 $P_f = 0.7 (C_e) (C_t) (I) (P_g) = 14.28$ P.S.F.
ROOF SLOPE FACTOR = $C_s = 1.0$
SLOPED ROOF LOAD = P_s
 $P_s = (C_e) (P_f) + (1.0) (14.28) = 14.28$ P.S.F.
MINIMUM LIVE LOAD = 20 P.S.F.
TOP CHORD DEAD LOAD = 5 P.S.F.
BOTTOM CHORD DEAD LOAD = 5 P.S.F.
TOTAL ROOF LOAD = 30 P.S.F.
BASIC WIND SPEED 125 MPH FOR CAT. I BLDGS, 80 MPH (WIND SPEED CONVERSION).
MAXIMUM HORIZONTAL DESIGN WIND PRESSURE 16.1 P.S.F.
MAXIMUM VERTICAL DESIGN WIND PRESSURE -15.4 P.S.F.
SOIL BEARING CAPACITY 2,000 PSF ASSUMED
SEISMIC INFORMATION:
DESIGN $S_d = 0.19$, $S_{d1} = 0.294$
SITE CLASS: "D", OCCUPANCY USE GROUP: I
SEISMIC DESIGN CATEGORY: "B"
SEISMIC SHEAR FORCE = 3.06 KIPS

CODE COMPLIANCE

CODE: 2011 OBC W/ MARCH 2011 UPDATED ICC/ANSI A111-10, 2011 OMC, 2011 OPC & 2011 NEC
USE GROUP: "U" UTILITY NATURAL GAS REGULATION EQUIPMENT HOUSING
TYPE OF CONSTRUCTION: 2-B NON COMBUSTIBLE WITHOUT AUTOMATIC SPRINKLER SYSTEM
HEIGHT AND AREA LIMITATION
2 STORY, 35 FEET
ACTUAL BUILDING HEIGHT: $\pm 11'-11"$
TABULAR AREA: 8,500 SF
ACTUAL BUILDING AREA: 2,112 SF
OCCUPANT LOAD: 1 PERSON
NOTES:
1. THIS BUILDING SHALL BE LOCATED GREATER THAN 10' FROM ANY PROPERTY LINE OR GREATER THAN 20 FEET FROM ANY OTHER BUILDING ON THE SAME SITE. NOTIFY ARCHITECT IF LESS.
2. THE VINYL FACED BUILDING INSULATION SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPMENT INDEX NOT GREATER THAN 450. THE BUILDER SHALL PROVIDE TO THE BUILDING OFFICIAL MANUFACTURERS LITERATURE WITH THIS INFORMATION FOR THEIR RECORDS.

- FURNISH AND INSTALL (4) FLYCO 23 SERIES 6'0" x 6'-8" FREE-HUNG DOORS WITH PANIC HARDWARE.
- FURNISH AND INSTALL (8) RUSKIN EAL681M 24"x24" ACOUSTICAL ADJUSTABLE LOUVERS.

- ROOFING FASTENERS TO BE #2 -14 x 1" "BUILDEX" SELF DRILLING CARBON STEEL SCREWS AT 9" O.C. AT EACH FURLIN WITH NEOPRENE WASHER SIDING FASTENERS TO BE #2 -14 x 1" "BUILDEX" SELF DRILLING CARBON STEEL SCREWS AT 9" O.C. AT EACH WALL GIRT

PRE-FINISHED METAL ROOFING AND SIDING SHALL BE 26 GAUGE "PANEL LOC PLUS" BY CENTRAL STATES MANUFACTURED TO MEET ASTM A792 SPECIFICATIONS FOR GALVALUME WITH A MINIMUM YIELD OF 80,000 P.S.I. PANEL LOC PLUS ALSO HAS A UL 2218 CLASS 4 IMPACT RESISTANCE RATING AND UL 790 FOR FIRE RESISTANCE.
THEORETICAL ALLOWABLE LIVE AND WIND LOADS FROM THE MANUFACTURER
2'-6" ROOF SPANS - ALLOWABLE LIVE LOAD DEFLECTION LIMITATION OF L/240 = 1.18 P.S.F. MINIMUM DEFLECTION L/180 PER CODE, 16@4.3 4'-0" WALL SPANS - ALLOWABLE WIND LOAD = 42.8 P.S.F. MAXIMUM HORIZ. DESIGN WIND PRESSURE 16.1 P.S.F.

- INDICATED 3/4" DIA. x 1" LONG REDHEAD ANCHORS WITH 3"x3"x1/4", 4" LG. STEEL CLIP ANGLE AT EACH PANEL POINT, OR AS SHOWN SECURE TO STEEL TUBE FRAME BASE WITH (2) #4x1" TEK SCREWS

ARCHITECTURE
CONSTRUCTION MANAGEMENT
DEVELOPMENT

1104 S. MITCHELL ST.
CADILLAC, MICHIGAN 49601
(231) 779-4002
(231) 779-4022 FAX

New Regulation Equipment Housing for:
Dominion East Ohio - Twinsburg Station
9796 Shepard Rd., Macedonia, OH 44056
Summit County

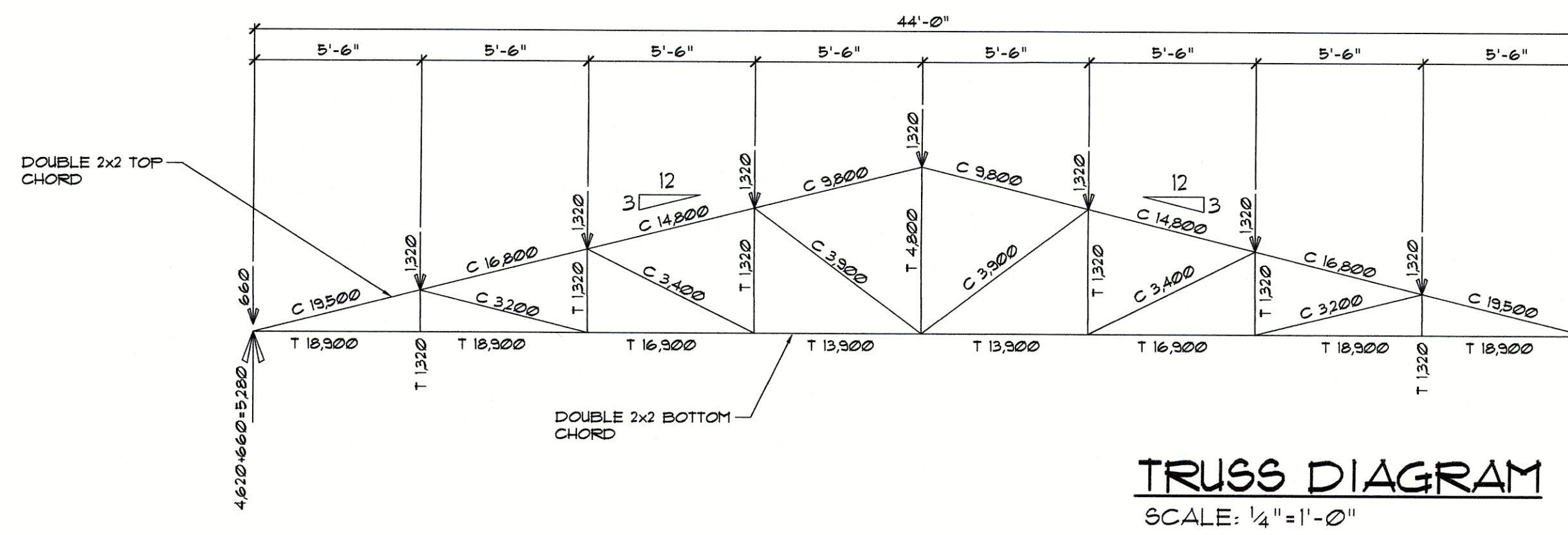
WILDCAT PROJECT NUMBER:
8277

Dean M. DeKryger License # 0714427
Expiration Date: 12/31/2019

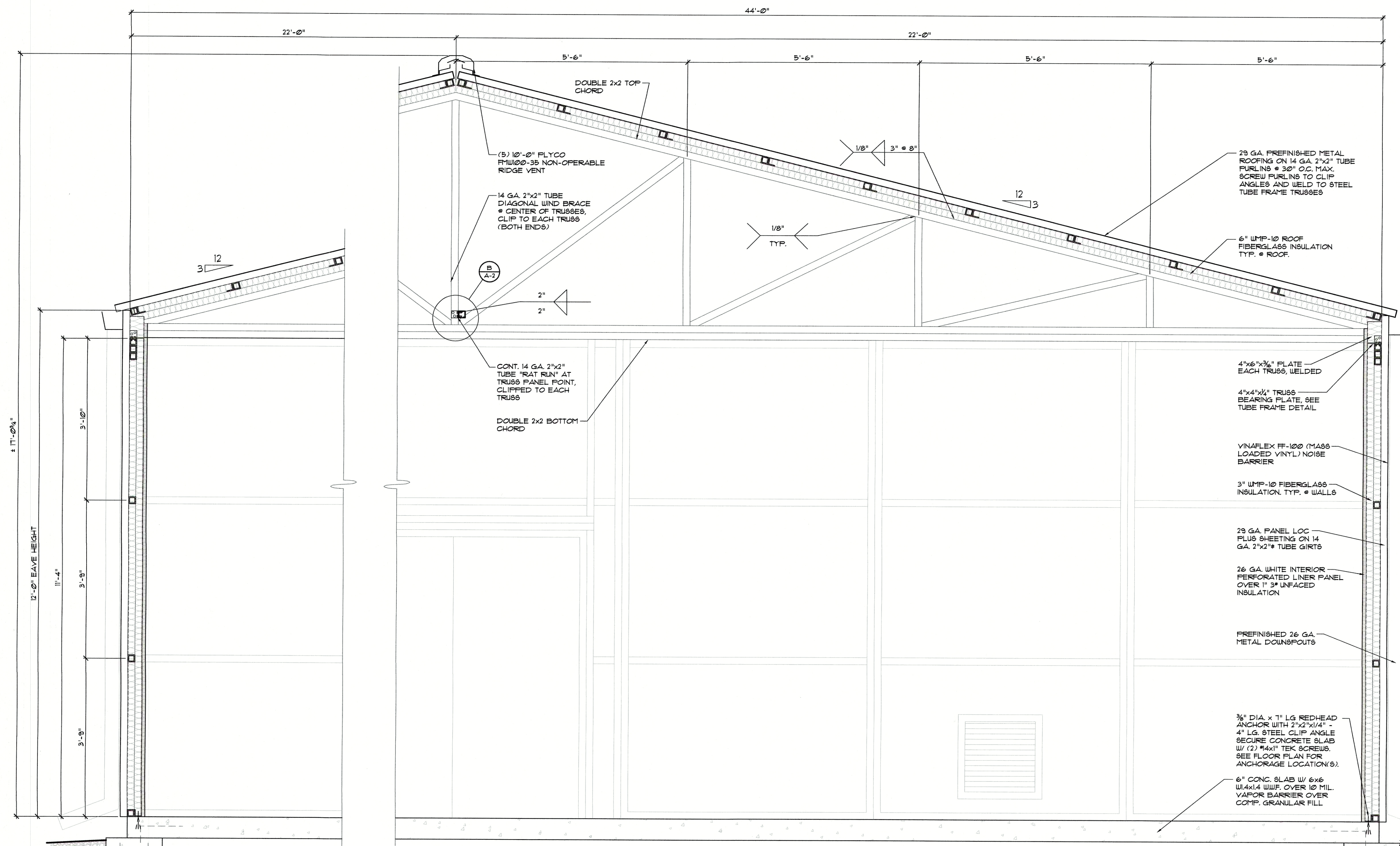
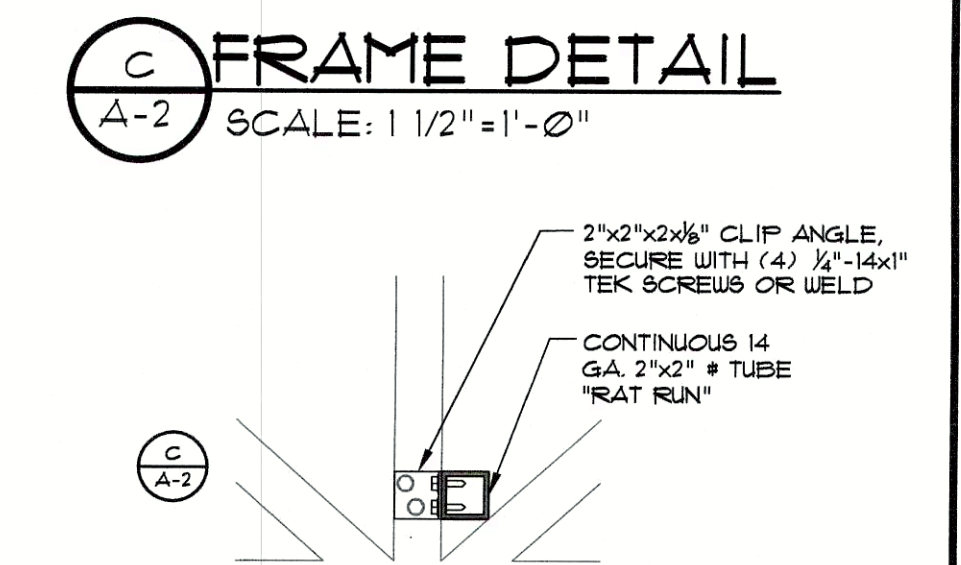
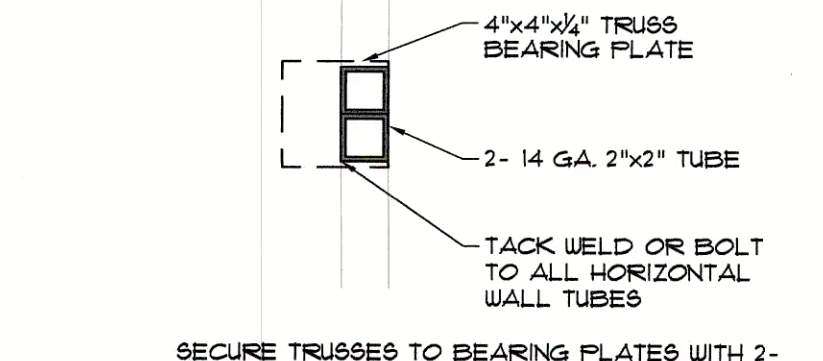
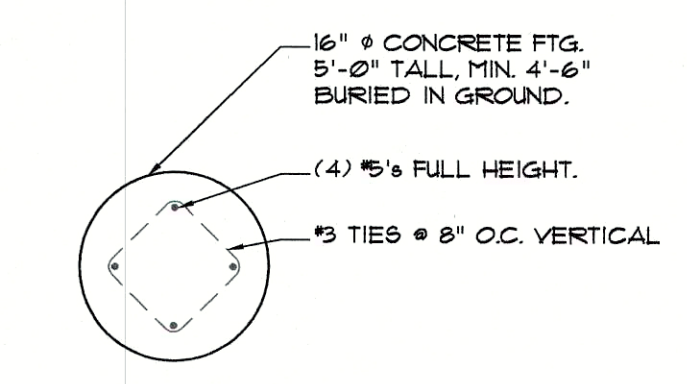
ARCHITECT OF RECORD:
D. DeKryger
DRAWN BY:
B. King, K. Taylor
DATE ISSUED:
Nov. 1, 2018 Permits & Construction

SHEET NUMBER:
A-1

DK DESIGN PROJECT NUMBER:
18103F

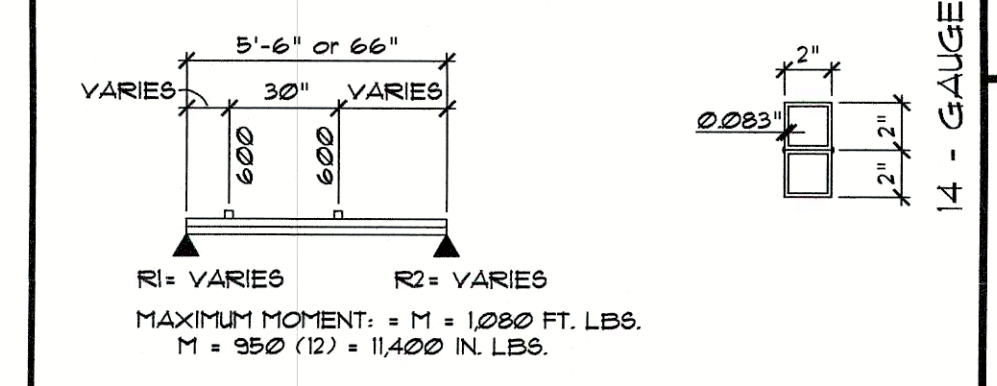


D TYP. FOOTING DETAIL
SCALE: 3/4" = 1'-0"



TOP CHORD CALCULATIONS

LENGTH / RADIUS OF GYRATION = $l/r = 66 / 121 = 0.54$
 ALLOWABLE AXIAL COMPRESSIVE STRESS = $F_A = 24.19$ K.S.I.
 ALLOWABLE BENDING STRESS = $F_B = 30.02$ K.S.I.
 COMPUTED AXIAL STRESS = $f_a =$ MAXIMUM FORCE/AREA OF TUBE
 $f_a = 19,500 / 121 = 161$ K.S.I.
 COMPUTED BENDING STRESS = $f_b =$ MAX. MOMENT/SECTION MODULUS
 $f_b = 11,400 / 121 = 94$ K.S.I.
 COMBINED AXIAL COMPRESSION AND BENDING:
 $(f_a / F_A) + (f_b / F_B)$ LESS THAN OR EQUAL TO 1
 $(161 / 24.19) + (94 / 30.02) = 6.63 + 3.13 = 9.76 > 1$ OK
 SECTION MODULUS = $S =$ MOMENT / ALLOWABLE BENDING STRESS
 $S = 11,400 / 30.02 = 380$
 USE 2-14 GAUGE TUBES = $S = 1271$
 $0.36 < 1.271$ OK



PURLIN CALCULATIONS

TOTAL ROOF LOAD: 30 P.S.F.
 PURLIN SPACING: 2'-6" O.C. = 30 (25) x 15 P.L.F.
 VARIES
 15 P.L.F. 6'-6" (N/A) 8'-0" (N/A) 10'-0" (N/A)
 R1 = 300 R2 = 300
 MOMENT: $M = W \cdot L \cdot L^2 / 8$
 $M = 235 (12) = 2820$ IN. LBS.
 SECTION MODULUS = $S =$ MOMENT / ALLOWABLE BENDING STRESS
 $S = 2820 / 30.02 = 94$
 USE 1-14 GAUGE TUBES = $S = 2391$
 $0.24 < 0.391$ OK

SPAN	REACTION	MOMENT	S _x REQUIRED
6'-6" (N/A)	245 LBS	400 FT. LBS	158 < 39
8'-0"	300 LBS	600 FT. LBS	240 < 39 meets code
10'-0" (N/A)	375 LBS	940 FT. LBS	375 < 39

TUBE STEEL PROPERTIES

ASTM A-500, GRADE "C", $F_y = 50,000$ P.S.I.
WALL FRAME GIRTS, TRUSS WEBS, PURLINS, BRACING AND TOP & BOTTOM CHORD
 DIMENSIONS: 2" x 2" x 0.030"
 AREA: $A = 0.6364$ IN.²
 MOMENT OF INERTIA: $I = 0.391$ IN.⁴
 SECTION MODULUS: $S = 0.391$ IN.³
 RADIUS OF GYRATION: $r = 0.183$ IN.
 MAXIMUM TENSION STRENGTH: 14 K.S.I.

ARCHITECTURE
CONSTRUCTION MANAGEMENT
DEVELOPMENT

1104 S. MITCHELL ST.
CADILLAC, MICHIGAN 49601
(231) 778-4002
(231) 778-4022 FAX

New Regulation Equipment Housing for:
Dominion East Ohio - Twinsburg Station
 9796 Shepard Rd., Macedonia, OH 44056
 Summit County

WILDCAT PROJECT NUMBER:
8277

Dean M. DeKryger License # 0714427
Expiration Date: 12/31/2019

ARCHITECT OF RECORD:
D. DeKryger

DRAWN BY:
B. King, K. Taylor

DATE ISSUED:
Nov. 1, 2018 Permits & Construction

SHEET NUMBER:
A-2

DK DESIGN PROJECT NUMBER:
18103F

ABBREVIATIONS

Table of abbreviations and their corresponding terms, including ANCHOR BOLT, ADDITIONAL ALUMINUM ARCHITECTURAL, BOTTOM OF BOITOM FLANGE BRACE, BUILDING BEAM BOTTOM, COLD-FORMED METAL FRAMING, etc.

GENERAL STRUCTURAL NOTES

- GENERAL
1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE CONSTRUCTION IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIEDOWNS WHICH MIGHT BE NECESSARY. SUCH MATERIAL IS TO REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.
2. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
3. MECHANICAL EQUIPMENT, LOADS, OPENINGS AND STRUCTURE IN ANY WAY RELATED TO MECHANICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR IS TO OBTAIN APPROVAL OF MECHANICAL AND OTHER TRADES BEFORE PROCEEDING WITH SUCH PORTION OF THE WORK. EXCESS COST RELATED TO VARIATION ON MECHANICAL REQUIREMENTS TO BE BORNE BY MECHANICAL CONTRACTOR.
4. DO NOT SCALE THE DRAWINGS WHERE DIMENSIONS ARE NOT SPECIFICALLY GIVEN. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS NOT SHOWN. COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE NOT INTENDED TO ADJUST. NOR SURPRISE THOSE SHOWN ON THE ARCHITECTURAL DRAWINGS.
5. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY WHERE CONFLICTS EXIST WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND FIELD CONDITIONS. COORDINATE ELEVATIONS AND OTHER TRADES.
6. THROUGHOUT THESE PLANS, THE TERM 'PROVIDE' IS DEFINED AS 'SUPPLY AND INSTALL'.
7. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, THE SPECIFICATIONS OR EITHER OTHER, THE STRICTEST PROVISION WILL GOVERN.
8. CODE INFORMATION
GOVERNING CODE: 2017 OHIO BUILDING CODE
BUILDING RISK CATEGORY:
ROOF LIVE LOADS
ORDINARY FLAT, PITCHED, AND CURVED ROOFS 20 PSF
SNOW LOADS
GROUND SNOW LOAD (P) 20 PSF
SLOPED ROOF SNOW LOAD (P) 12.4 PSF
SNOW EXPOSURE FACTOR (Ce) 1.0
SNOW LOAD IMPORTANCE FACTOR (Ib) 0.8
TERRAIN FACTOR (Kt) 1.2
WIND LOADS
WIND IMPORTANCE FACTOR 1.0
BASIC ULTIMATE WIND SPEED (V) 80 MPH
BASIC ALLOWABLE WIND SPEED (V) 40 MPH
SITE EXPOSURE CATEGORY C
INTERNAL PRESSURE COEFFICIENT +/- 0.18
SEISMIC LOADS
SEISMIC IMPORTANCE FACTOR 1.0
MAPPED SPECTRAL RESPONSE ACCELERATION (Sa) 0.3XX
MAPPED SPECTRAL RESPONSE ACCELERATION (S1) 0.3XX
SEISMIC SITE CLASS 2
DESIGN SPECTRAL RESPONSE ACCELERATION (Sds) 0.3XX
DESIGN SPECTRAL RESPONSE ACCELERATION (Sd1) 0.3XX
SEISMIC DESIGN CATEGORY B
RESPONSE MODIFICATION COEFFICIENT (R) 6.5
SEISMIC RESPONSE COEFFICIENT (Ca) 0.045
SEISMIC DESIGN BASE SHEAR (V) 0.25 K
ANALYSIS PROCEDURE EQUIVALENT LATERAL FORCE
BASIC SEISMIC FORCE RESISTING SYSTEM: LIGHT-FRAMED WALLS WITH STEEL SHEET PANELS RATED FOR SHEAR RESISTANCE
SPECIAL LOADS
INTERIOR WALLS & PARTITIONS 5 PSF HORIZONTAL
HANDRAIL LOADS (ANY DIRECTION) 50 PSF/2000 CONC.
RETAINING WALLS 50 PCF
BASEMENT WALLS 60 PCF
GEOTECHNICAL:
GEOTECHNICAL ENGINEER: N/A
REFERENCE REPORT ID OR NUMBER: N/A
REFERENCE REPORT DATE: N/A
ALLOWABLE DESIGN BEARING PRESSURE: 1,500 PSF BASED UPON PRESUMPTIVE VALUES FROM CHAPTER 18 OF THE OHIO BUILDING CODE
FOUNDATION TYPE: SHALLOW SPREAD FOOTING

METAL DECK & SHEETING

- MATERIALS:
A. WALL & ROOF DECK SHEETING 3/4" DEEP x 29 GA., 80 KSI MAX-RIB PANELS BY MELROY METAL
SPECIFICATIONS:
1. DESIGN, FABRICATION, AND ERECTION TO BE GOVERNED BY THE LATEST REVISIONS OF: AISI "SPECIFICATION OF THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS".
CONNECTIONS:
A. PANEL DECK TO ALL SUPPORTS (ROOF PURLINS, TRUSSES, GIRTS, OR COLUMNS): #12-14 BULDEX TEX SELF-DRILLING STEEL SCREWS SPACED AT 7" O.C. AT ALL PANEL END SUPPORTS AND AT 14" O.C. AT ALL INTERIOR PANEL SUPPORTS. PROVIDE NEOPRENE WASHERS ON SCREWS FOR ROOF FASTENING.
B. PANEL SIDE LAP FASTENING (STITCH SCREW SPACING): #12-14 BULDEX TEX SELF-DRILLING STEEL SCREWS AT 20" O.C. MAX.
FINISH:
A. GALVALUME SUBSTRATE PAINTED WITH MANUFACTURER'S STANDARD PROCESS.
MISCELLANEOUS:
A. UNITS ARE TO BE CONTINUOUS OVER AT LEAST THREE SPANS, WHERE FEWER THAN THREE SPANS ARE NEEDED, GAGE IS TO BE INCREASED AS REQUIRED TO OBTAIN THE SAME DESIGN STRENGTH AS THE THREE SPAN CONDITION. END LAPS ARE ONLY BE LOCATED OVER SUPPORTS.
B. FIELD CUTTING TO BE PERFORMED WITH A SAW.
C. PROVIDE ADDITIONAL SUPPORT FOR ALL DECK OPENINGS THAT ARE EQUAL TO OR GREATER THAN 12" IN WIDTH OR DIAMETER. NOT ALL DECK OPENINGS ARE SHOWN ON THE STRUCTURAL DRAWINGS. COORDINATE SIZE AND LOCATION WITH ARCHITECTURAL, MECHANICAL, PLUMBING AND OTHER TRADES.

POST-INSTALLED ANCHOR SYSTEMS

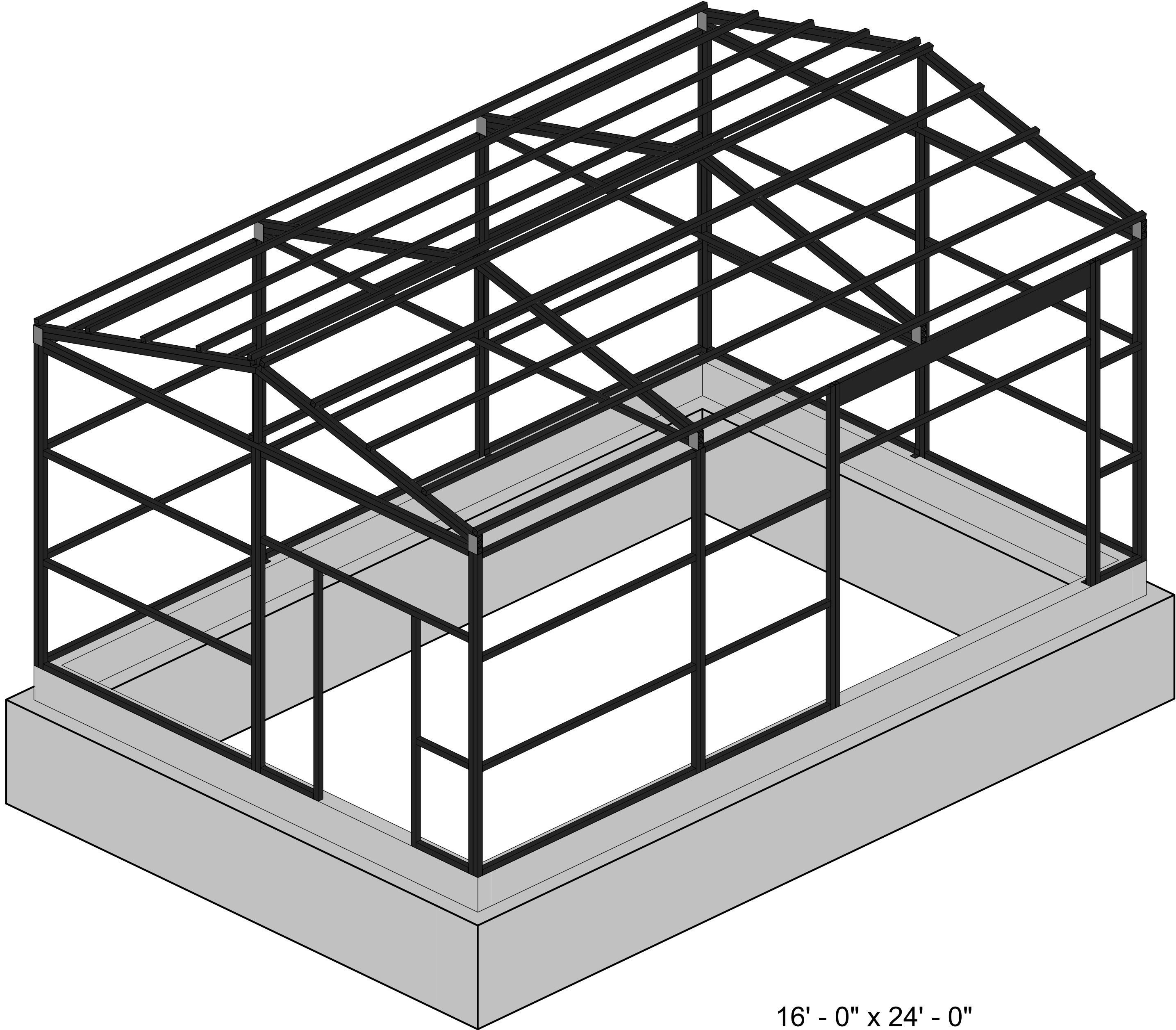
- GENERAL:
A. LISTED ANCHOR PRODUCTS PROVIDED BELOW ARE NOT TO BE USED AS INTERCHANGEABLE PRODUCTS. EACH ANCHOR HAS DEFINED CAPACITIES BASED UPON TESTED PERFORMANCE WITH APPLICABLE SAFETY FACTORS AND WILL VARY ACROSS MANUFACTURERS. TYPES OF ANCHORS INDICATED THROUGHOUT THE DESIGN DOCUMENTS ARE DETAILED FOR THEIR SPECIFIC PURPOSE AND CAPACITY. SUBSTITUTION OF ANCHORS FROM THOSE SPECIFIED ARE ONLY ALLOWED AFTER ENGINEER REVIEW AND APPROVAL OR AMENDMENT FROM WRITTEN REQUEST BY THE CONTRACTOR.
B. PROVIDE ANCHORAGE MATCHING MANUFACTURER, TYPE, DIAMETER, EMBEDMENT, AND BASE MATERIAL AS INDICATED IN THE DOCUMENTS.
C. ALL POST-INSTALLED ANCHORS TO BE HAMMER DRILLED. FOLLOW ALL HOLE CLEANING AND INSTALLATION INSTRUCTIONS AS SUPPLIED BY THE ANCHOR MANUFACTURER. FOLLOW ALL OSHA GUIDELINES FOR CONCRETE DRILLING AS IT PERTAINS TO SILICA DUST.
D. INSTALLATION OF ADHESIVE ANCHORS MUST BE PERFORMED BY PERSONNEL TRAINED TO INSTALL ADHESIVE ANCHORS THROUGH MANUFACTURER TRAINING PROGRAMS.
E. MINIMUM CONCRETE AGE FOR POST-INSTALLED ADHESIVE ANCHORS SHALL BE NOT LESS THAN 28 DAYS.
ANCHORAGE TO CONCRETE:
A. ACCEPTABLE MECHANICAL EXPANSION ANCHORAGE SYSTEMS:
1. DEWALT POWER STUD -SDI WEDGE EXPANSION ANCHOR
2. HELIX HIT-BOLE 1.3 EXPANSION ANCHOR
3. HELIX HIT-BOLE 1.2 EXPANSION ANCHOR
4. SIMPSON STRONG-BOLT 2 WEDGE EXPANSION ANCHOR
B. ACCEPTABLE MECHANICAL SCREW ANCHORAGE SYSTEMS:
1. DEWALT S1000-BOLT
2. HELIX HIT-BOLE 2Z SCREW ANCHOR
3. SIMPSON TITEN HD SCREW ANCHOR

REINFORCED CONCRETE

- SPECIFICATIONS: IN GENERAL, COMPLY WITH ACI-301-16, "SPECIFICATIONS FOR STRUCTURAL CONCRETE".
MATERIALS:
A. STRUCTURAL CONCRETE
MIX USAGE Fc (PSI) MAX w/cm AIR CONTENT
LEAN CONCRETE 3,500 0.25 --
PORTLAND CEMENTAL INTERIOR SLABS ON GRADE (IF APPLICABLE) 3,500 0.25 --
B. ALL DEFERRED REINFORCING BARS: Fy = 60,000 PSI
CEMENT: PORTLAND CEMENT: ASTM C150, TYPE I. ALL CEMENT FOR CONCRETE EXPOSED TO VIEW IS TO BE FROM THE SAME MILL.
AGGREGATES: ASTM C33, USE SIZE NO 57 FOR ALL MIXES UNLESS NOTED OTHERWISE.
ADMITTERS:
1. WATER-REDUCING, LOW AND MID RANGE: ASTM C494, TYPE A OR D.
2. HIGH-RANGE WATER-REDUCING, SUPERPLASTICIZER: ASTM C494, TYPE F OR G.
AIR-ENTRAPPING: ASTM C262.
FLY-ASH: ASTM C681, TYPE C OR E.
NON-CHLORIDE, NON-CORROSIVE ACCELERATOR: ASTM C494, TYPE C OR E.
VAPOR RETARDER:
1. CONFORM TO ASTM E1547 "STANDARD SPECIFICATION FOR PLASTIC WATER VAPOR RETARDERS USED IN CONTACT WITH SOL OR GRANULAR FILL UNDER CONCRETE SLABS", CLASS A
2. VAPOR RETARDER SHALL BE INSTALLED IN ACCORDANCE WITH ASTM E1643 STANDARD PRACTICE FOR INSTALLATION OF WATER VAPOR RETARDERS USED IN CONTACT WITH EARTH OR GRANULAR FILL UNDER CONCRETE SLABS. THE VAPOR RETARDER BARRIER SHALL BE A MINIMUM OF 10 MILS THICK AND PLACED DIRECTLY ON THE GRANULAR FILL BELOW THE CONCRETE FLOOR SLAB. LAP Joints A MINIMUM OF 6 INCHES AND SEAL WITH MANUFACTURER'S RECOMMENDED TAPE OR ADHESIVE.
J. GRANULAR FILL BELOW SLABS ON GRADE: PROVIDE AS RECOMMENDED IN PROJECT SPECIFIC SOILS REPORT. IF SOILS REPORT IS NOT PROVIDED FOR PROJECT, USE 4" DEEP OF COMPACTED 0507 3/4 OR APPROVED EQUIVALENT AASHTO DENSE GRADED BASE COURSE. PROVIDE ASTM D48 SIZE #57 STONE UNDER SLABS ON GRADE WHERE RATION EVALUATION IS ANTICIPATED.
FIELD MANUAL: PROVIDE AT LEAST ONE COPY OF THE ACI FIELD REFERENCE MANUAL, SP-15 IN THE FIELD OFFICE AT ALL TIMES.
SUBMITTALS:
A. SUBMIT A MIX DESIGN FOR EACH MIXTURE USAGE REQUIRED FOR THE PROJECT. CONCRETE PROPORTIONS ARE TO BE ESTABLISHED ON THE BASIS OF PREVIOUS FIELD EXPERIENCE OR TRIAL MIXTURES.
B. SUBMIT SHOP DRAWINGS FOR ALL REINFORCING. INDICATE STRENGTH, SIZE, AND DETAILS OF ALL BAR REINFORCING.
C. SUBMIT PRODUCT LITERATURE FOR ADMIXTURES AND CURING COMPOUNDS PROPOSED FOR USE.
D. SUBMIT REPORTS OF ALL REQUIRED TESTING AND INSPECTIONS.
CONTINGENCIES:
A. PROVIDE LEAN CONCRETE UNDER FOUNDATIONS FOR ACCIDENTAL OVER EXCAVATION, SOFT SPOTS, AND UTILITY TRENCHES.
SPICES:
A. LAP SPICE REINFORCING BARS AS SCHEDULED. MINIMUM LAP = 36 DIAMETERS.
CONSTRUCTION JOINTS:
A. CONSTRUCTION JOINTS PERMITTED ONLY WHERE SHOWN OR AS APPROVED BY THE STRUCTURAL ENGINEER.
FINISHES:
A. PER ACI 117, SURFACES OF INTERIOR SLABS ON GRADE ARE TO BE FINISHED TO THE FOLLOWING TOLERANCES: FLOOR FLATNESS (F) +/- 30 AND LEVELNESS (E) +/- 30 UNLESS NOTED OTHERWISE IN SPECIFICATIONS.
B. TYPICAL INTERIOR FLOOR AREAS TO REMAIN EXPOSED - TROWELED FINISH.
CURING:
A. CURING IS TO COMMENCE IMMEDIATELY AFTER CONCRETE PLACEMENT AND CONTINUE FOR AT LEAST 7 DAYS. DO NOT ALLOW CURING TO BE DELAYED OVERNIGHT.
B. SLABS MAY BE EITHER MOIST-CURED OR RECEIVE AN APPLICATION OF CURING COMPOUND.
FIELD QUALITY CONTROL:
A. OBTAIN CONCRETE FOR REQUIRED TESTS AT POINT OF PLACEMENT. IF CONCRETE IS PLACED, OBTAIN CONCRETE AT DISCHARGE END.
B. FOR EACH CLASS OF CONCRETE, OTHER THAN LEAN CONCRETE, PERFORM ONE STRENGTH TEST FOR EACH 50 YARDS, OR FRACTION THEREOF, FOR ONE DAY PLACEMENT.
C. DETERMINE SLUMP FOR EACH STRENGTH TEST.
D. DETERMINE AIR CONTENT FOR EACH STRENGTH TEST OF EXTERIOR EXPOSED CONCRETE.
E. MAINTAIN RECORDS OF ALL TESTS INDICATING EXACT LOCATION OF THE STRUCTURE REPRESENTED BY EACH TEST.

STRUCTURAL STEEL

- MATERIALS:
A. STRUCTURAL STEEL PLATES: UNLESS NOTED OTHERWISE: ASTM A992, Fy = 36 KSI.
B. HIGH STRENGTH BOLTS: ASTM A325 OR A490
C. ANCHOR BOLTS: ASTM F 1554, GRADE 36, UNLESS NOTED OTHERWISE
ELECTRODES: SERIES 100
RECTANGULAR HSS: ASTM A600, GRADE C, Fy = 50 KSI
SPECIFICATIONS:
A. WELDING PERSONNEL AND PROCEDURES ARE TO BE QUALIFIED PER AWS D1.1, UNLESS SPECIFICALLY SHOWN OTHERWISE. DESIGN, FABRICATION AND ERECTION TO BE GOVERNED BY THE LATEST REVISIONS OF:
1. AISI SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
2. AISI CODE OF STANDARD PRACTICE.
3. STRUCTURAL WELDING CODE, AWS D1.1 OF THE AMERICAN WELDING SOCIETY.
4. SPECIFICATIONS FOR STRUCTURAL JOINTS USING AISI A325 OR A490 BOLTS.
COATINGS:
A. PAINT ALL STRUCTURAL TUBING WITH EPOX-Z NOTE PRIMER.



COMPONENTS AND CLADDING ULTIMATE WIND LOAD PRESSURES

Tables for WALL ELEMENTS, ROOF ELEMENTS, and PARAPETS OR SCREEN WALL ELEMENTS showing tributary area, positive/negative pressure, and uplift pressure values.

- C. & C. PRESSURE SCHEDULE NOTES:
1. LINEAR INTERPOLATION IS ACCEPTABLE FOR TRIBUTARY AREAS BETWEEN THOSE SHOWN.
2. LOADS GIVEN ARE ULTIMATE LOADS OBTAINED FROM ASCE 7-10. MULTIPLY VALUES BY 0.6 TO OBTAIN SERVICE-LEVEL LOADS.

Jezerinac Geers Structural Engineering logo and contact information: 5640 Frantz Road, Dublin, OH 43017, 614.766.0066, fax 614.766.1223, www.jgeeng.com

Professional Engineer seal for Andrew S. Hejley, State of Ohio, License # 68043.

WILDCAT BUILDING #8326
63523 BOBS RUN
CAMBRIDGE, OHIO 43725

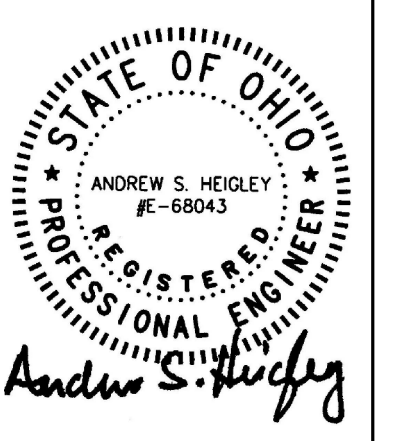
Revisions table with columns for NUMBER and DATE.

Job information table including JOB NUMBER (20.34.085), DESIGNED BY (LG), DRAWN BY (MJM), CHECKED BY (ASH), ISSUED DATE (08/26/2020), and ISSUED FOR (PROGRESS PERMIT X, BIDDING CONSTRUCTION X).

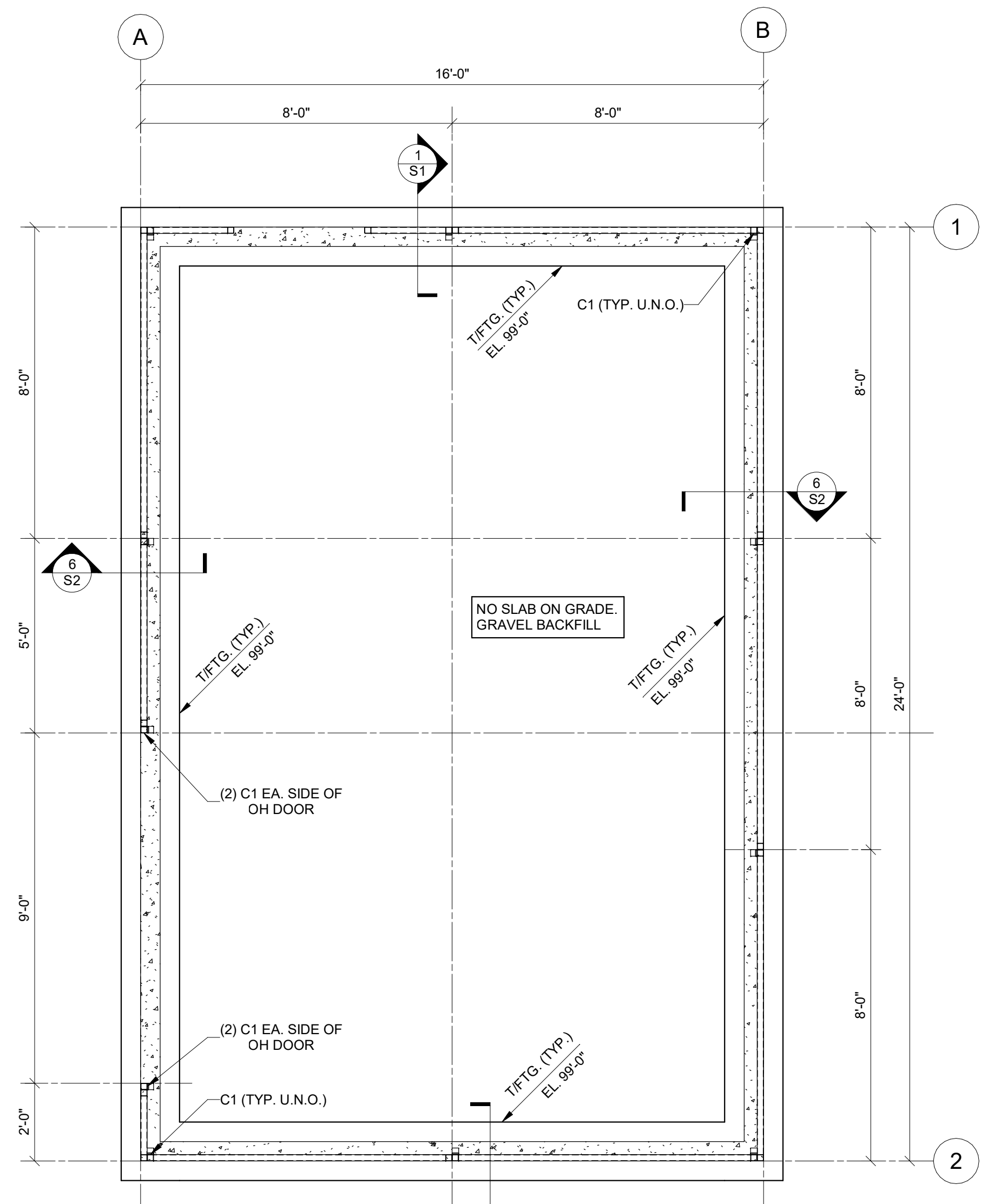
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SHEET NUMBER: S0

Jezerinac Geers Structural Engineering logo and project details: PROJECT NUMBER: 20.34.085, DESIGNED BY: LG, DRAWN BY: MJM, CHECKED BY: ASH, DOCUMENT STATUS: PROGRESS, BIDDING, CONSTRUCTION.

16' - 0" x 24' - 0"

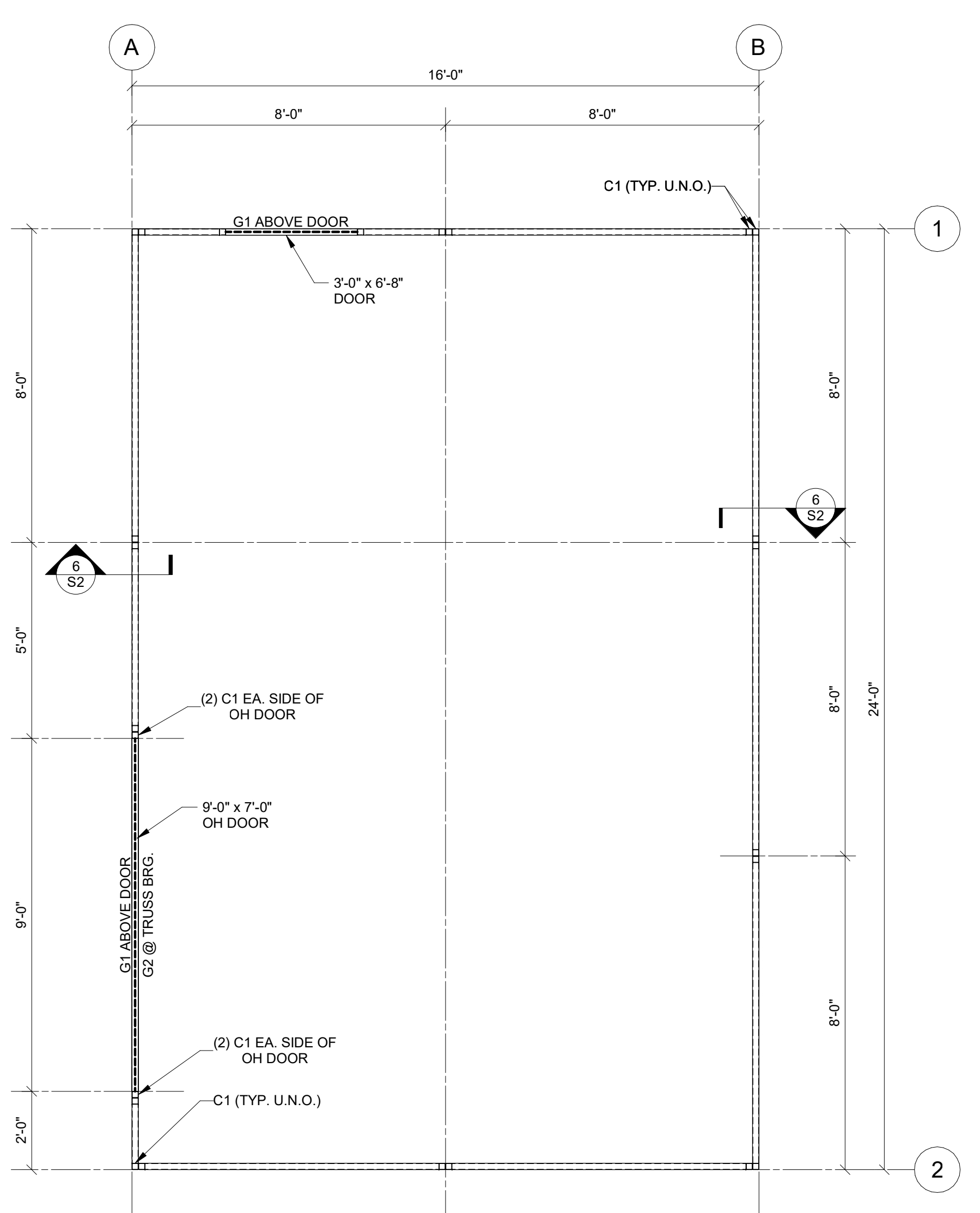


WILDCAT BUILDING #8326
63523 BOBS RUN
CAMBRIDGE, OHIO 43725

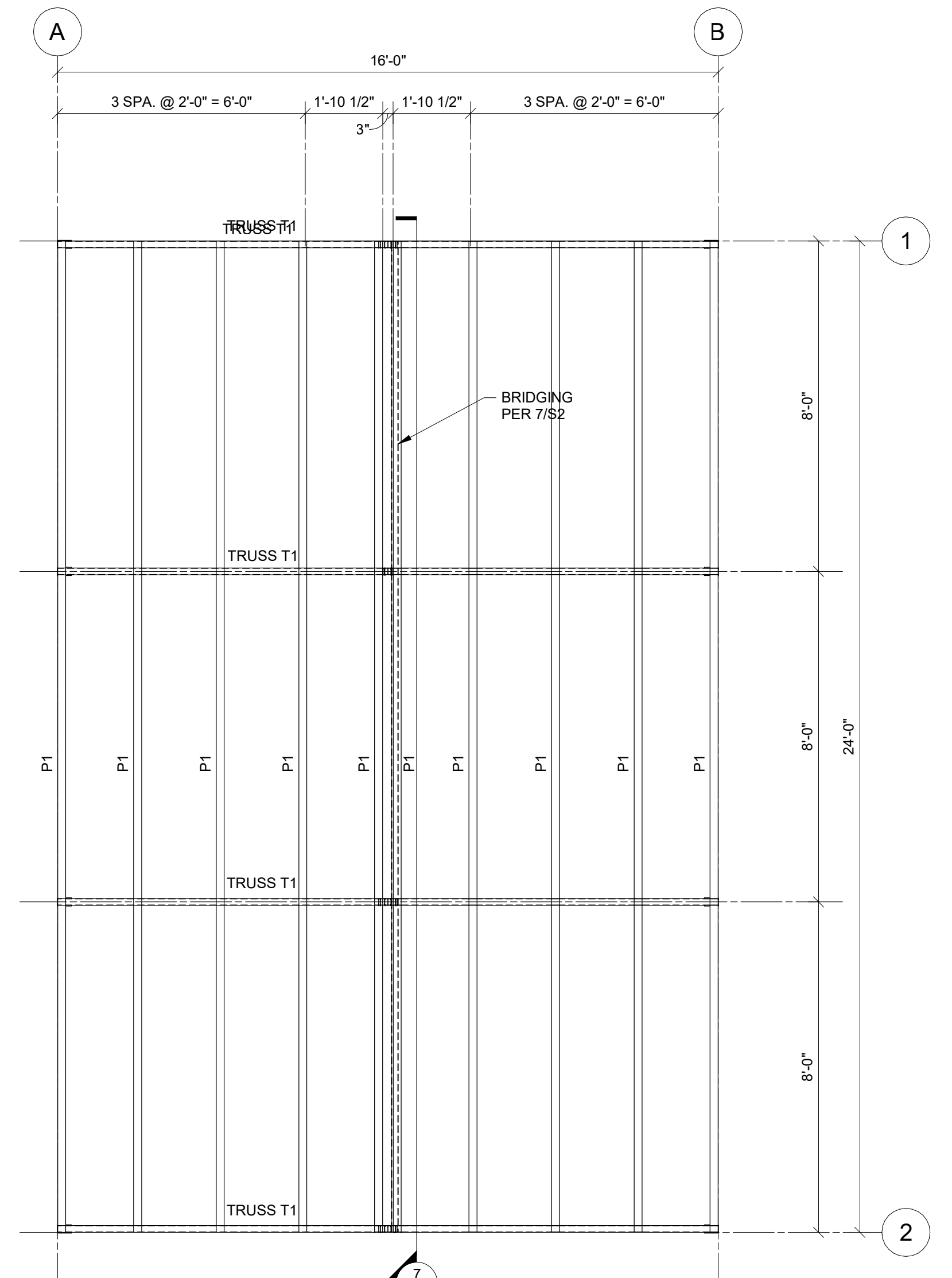


BASE PLAN
3/8" = 1'-0"

NOTES:
1) PROVIDE "G1" FRAMING AROUND LOUVER OPENINGS.



FLOOR PLAN
3/8" = 1'-0"



ROOF PLAN
3/8" = 1'-0"

PURLIN SCHEDULE

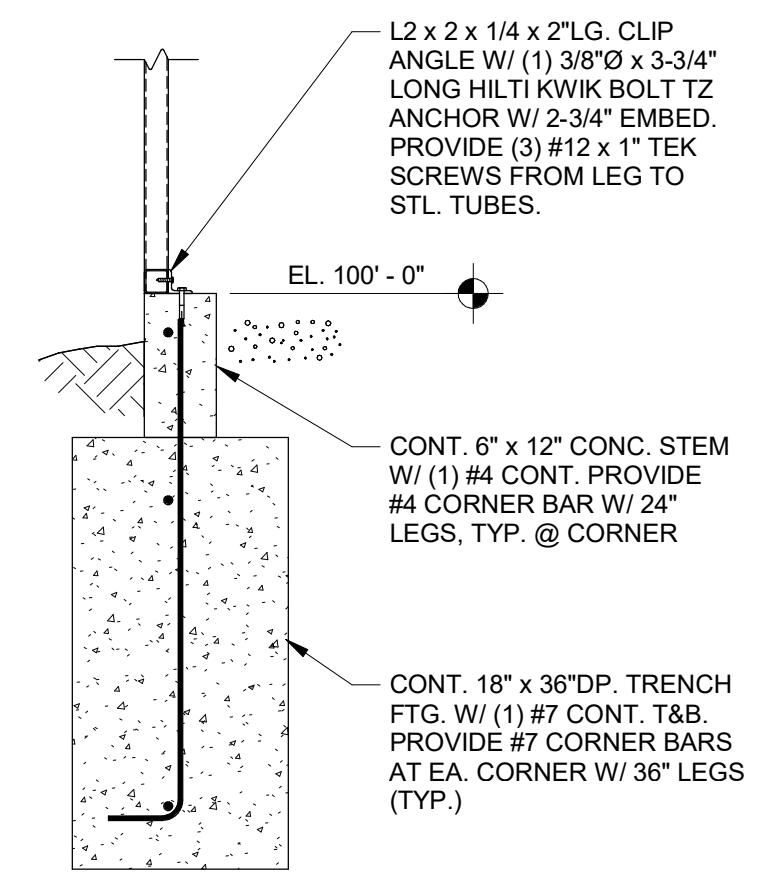
MARK	SIZE
P1	HSS2x2x0.083

WALL GIRT SCHEDULE

MARK	SIZE	OPTIONAL SIZE
G1	HSS2x2x0.083	
G2	HSS8x2x1/8	HSS6x2x3/16

COLUMN SCHEDULE

MARK	SIZE
C1	HSS2x2x0.083



SECTION
3/4" = 1'-0"

REVISIONS:

NUMBER	DATE

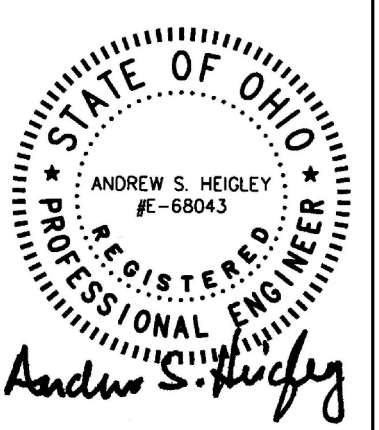
JOB NUMBER: 20.34.085
DESIGNED BY: LG
DRAWN BY: MJM
CHECKED BY: ASH
ISSUED DATE: 08/26/2020

ISSUED FOR:

PROGRESS	PERMIT	BIDDING	CONSTRUCTION

SHEET DESCRIPTION:
PLANS

SHEET NUMBER:
S1



WILDCAT BUILDING #8326
63523 BOBS RUN
CAMBRIDGE, OHIO 43725

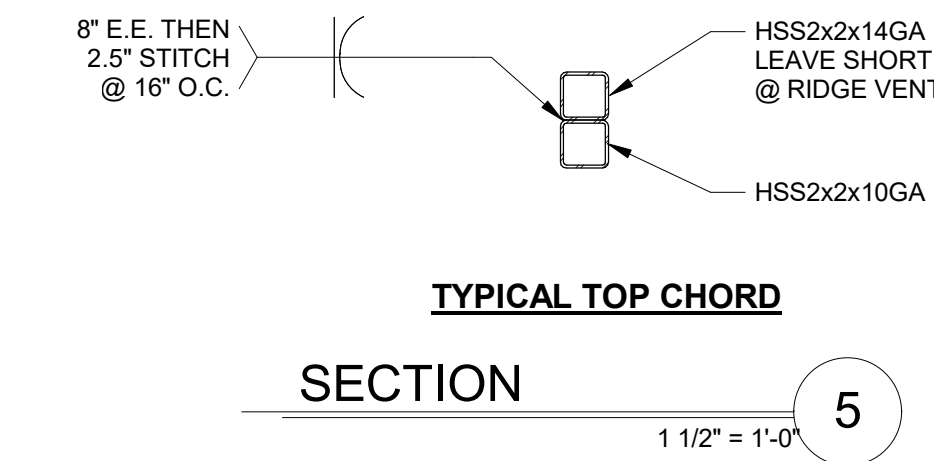
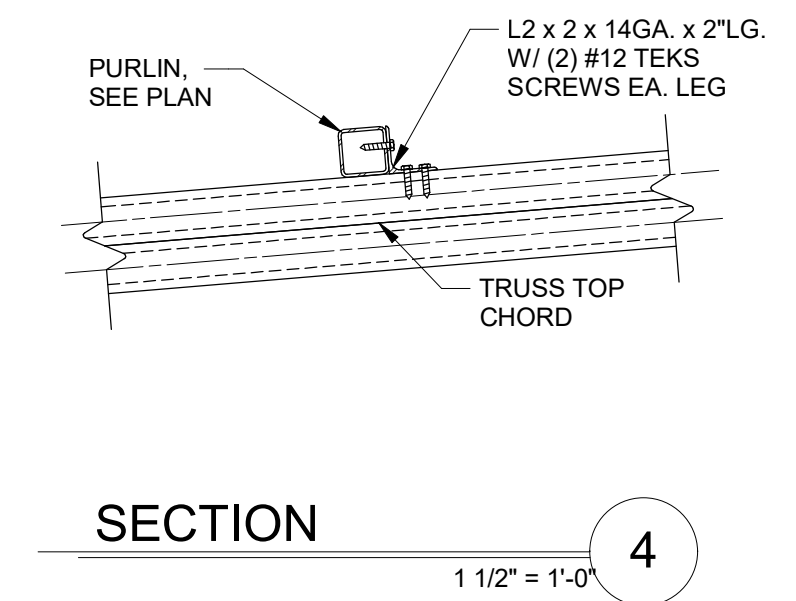
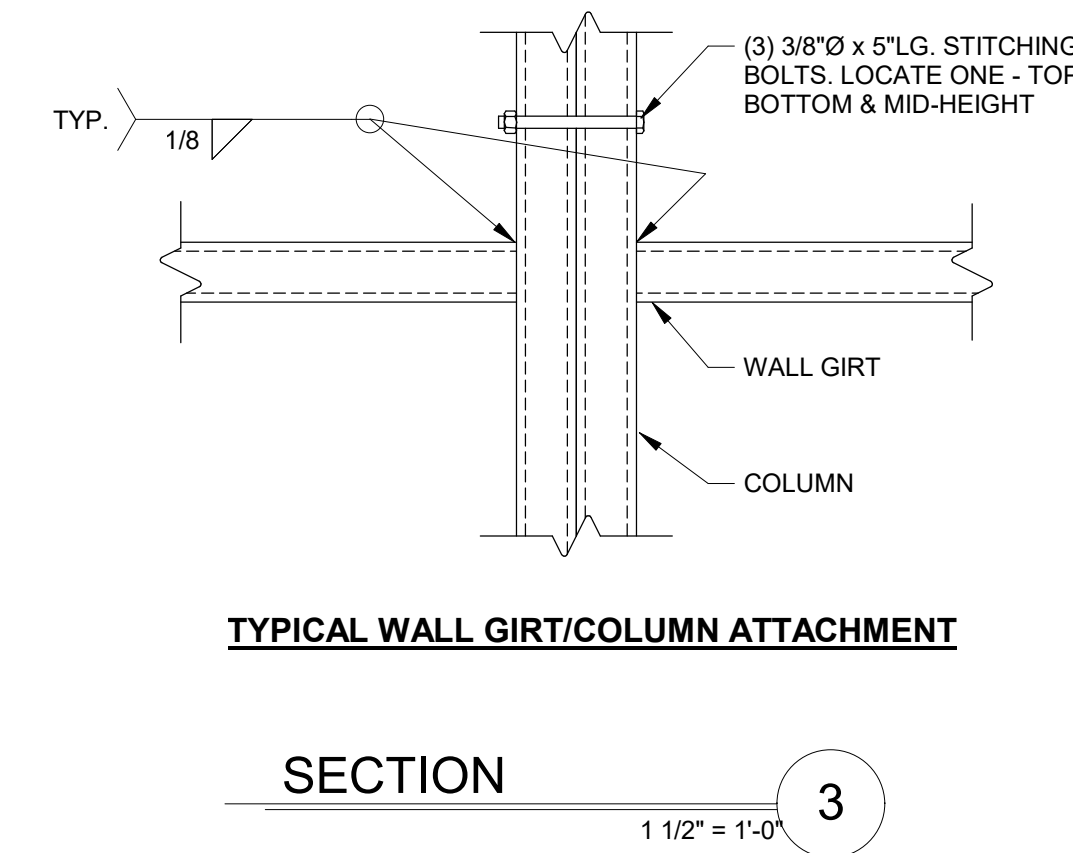
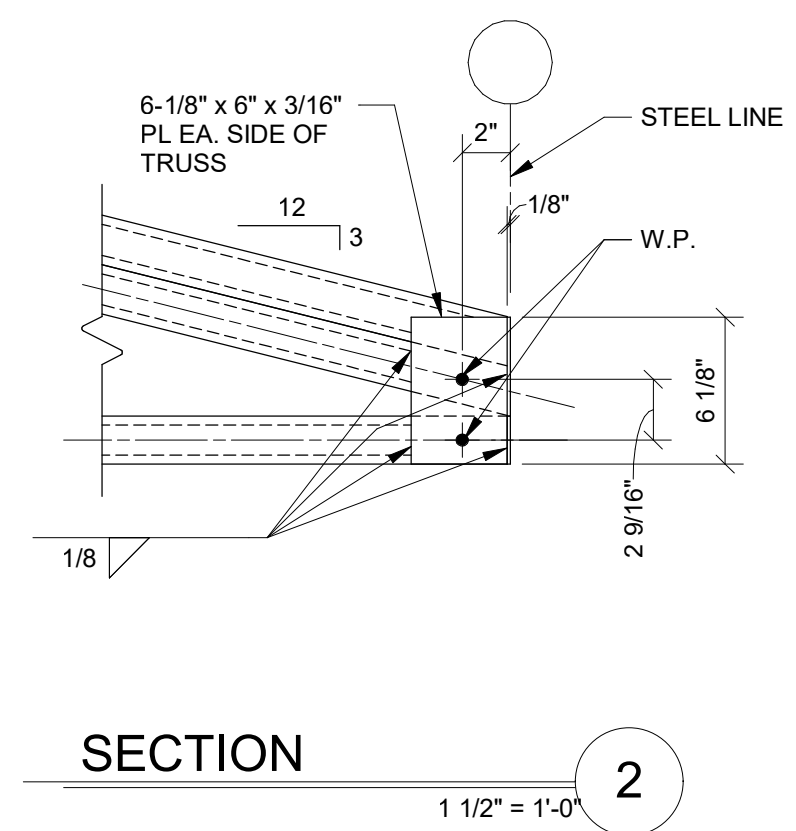
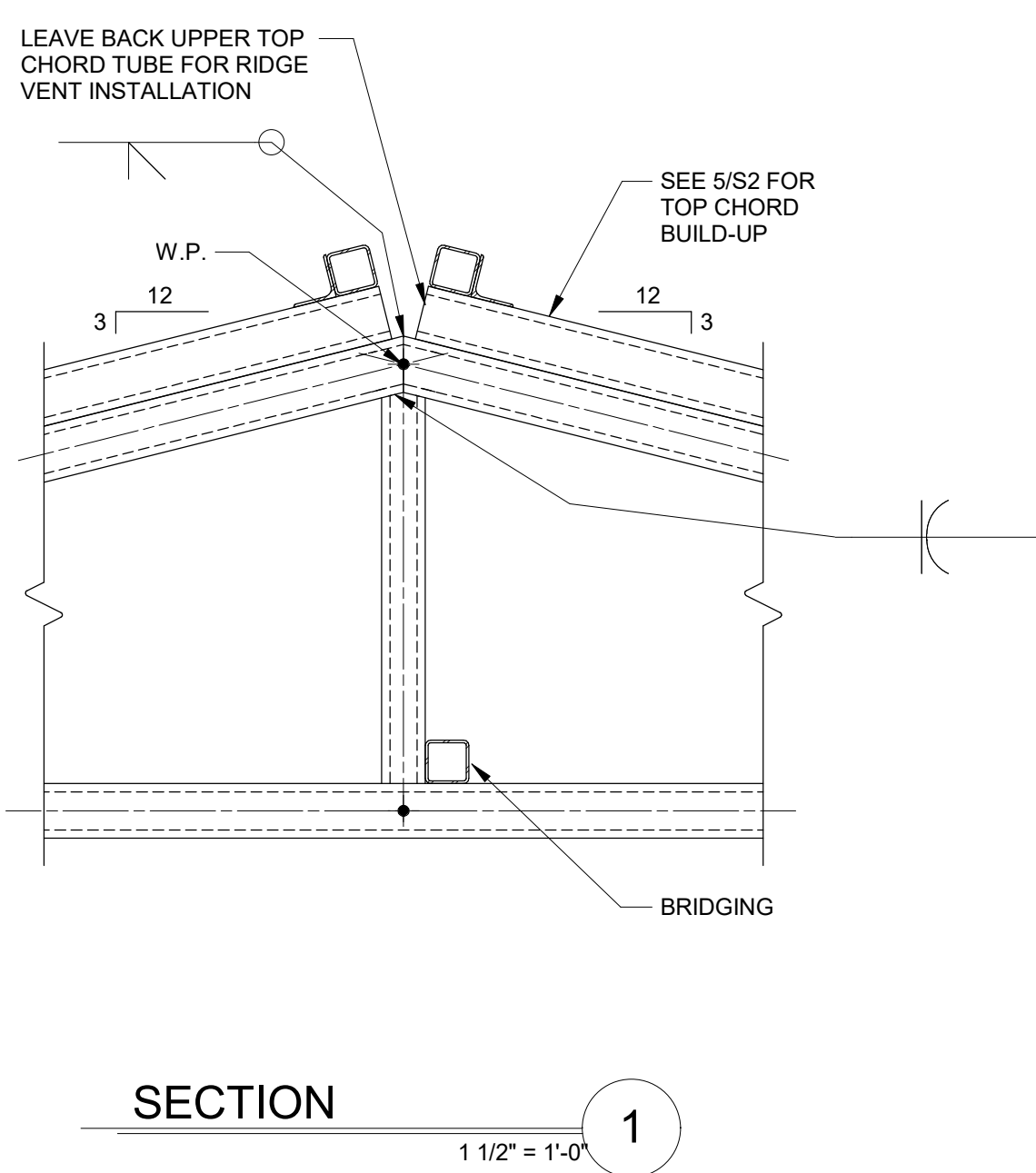
REVISIONS	
NUMBER	DATE

JOB NUMBER: 20.34.085
DESIGNED BY: LG
DRAWN BY: MJM
CHECKED BY: ASH
ISSUED DATE: 08/26/2020

ISSUED FOR:		
PROGRESS	PERMIT	X
BIDDING	CONSTRUCTION	X

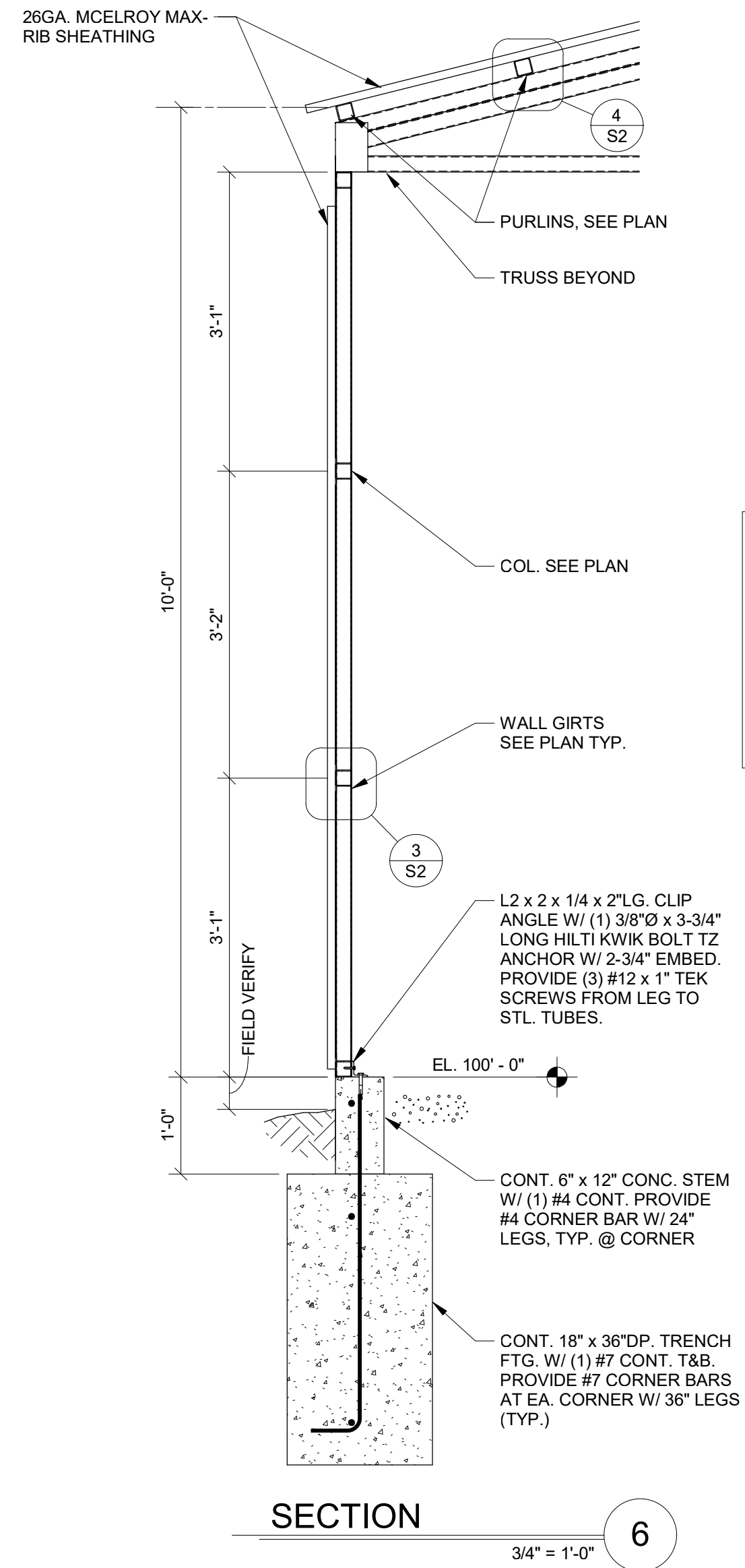
SHEET DESCRIPTION:
DETAILS

SHEET NUMBER:
S2



TYPICAL WALL GIRT/COLUMN ATTACHMENT

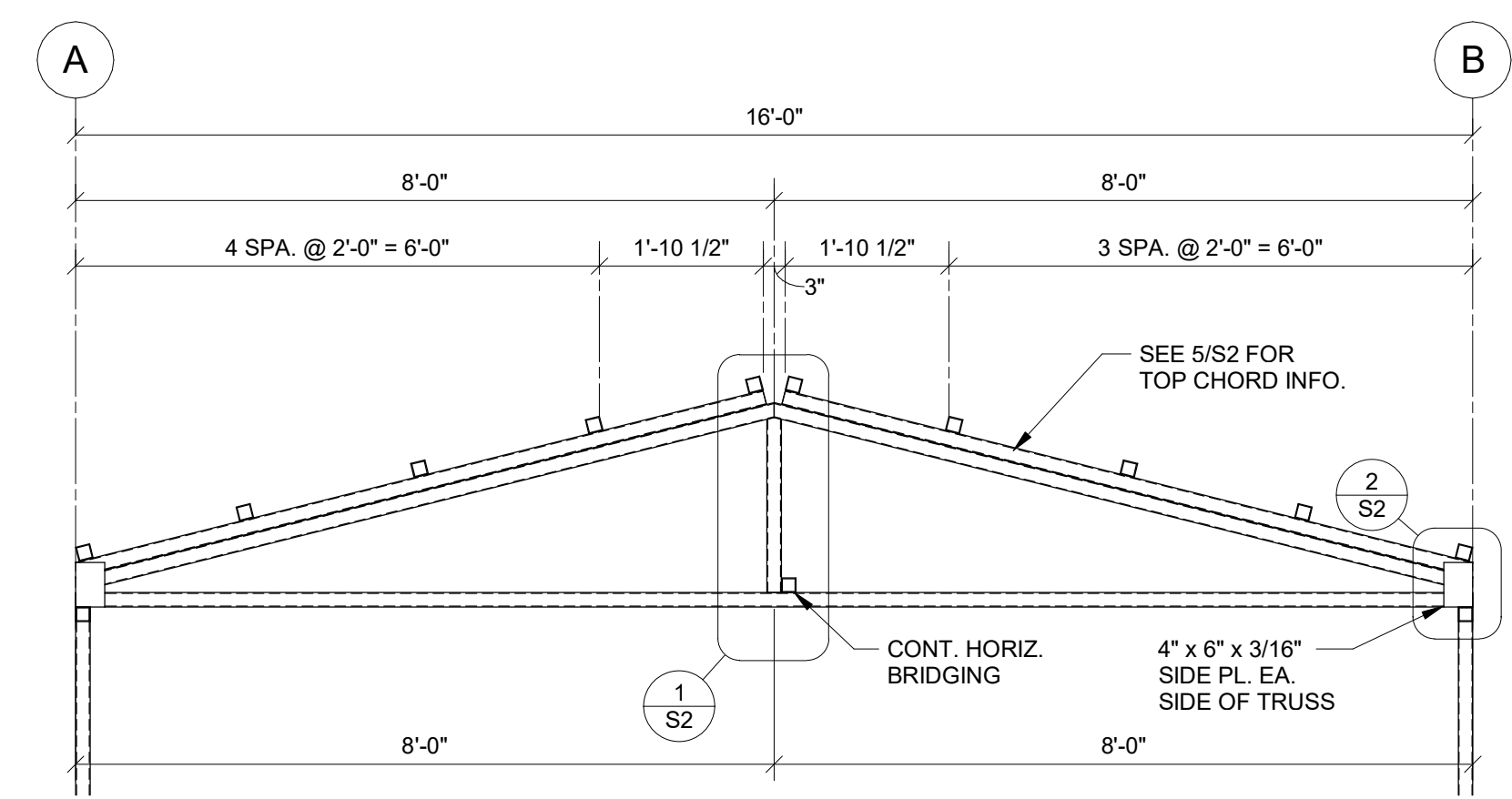
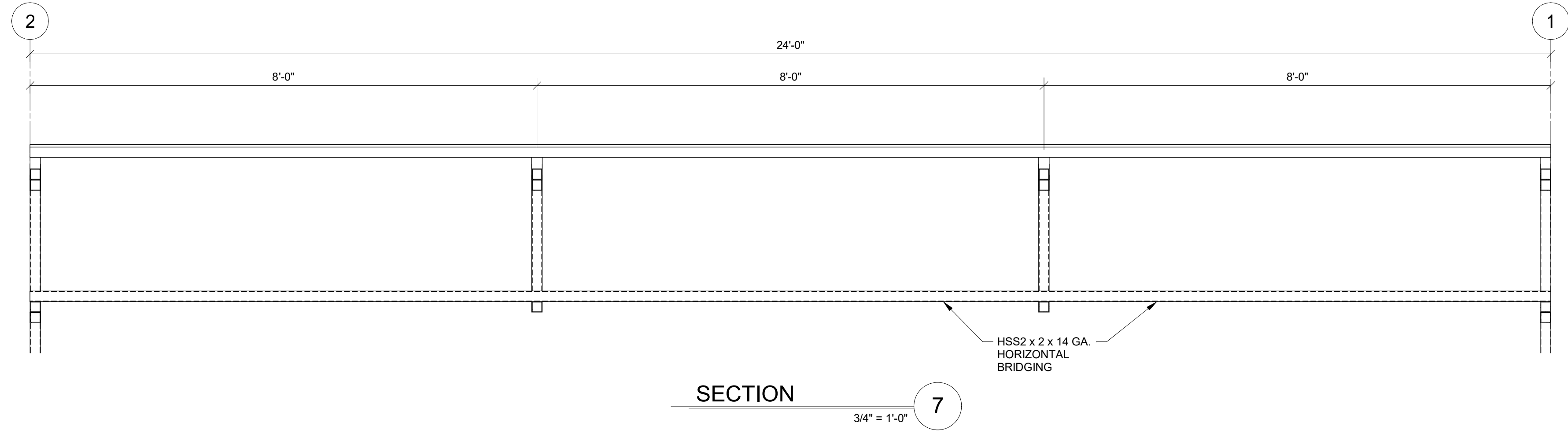
TYPICAL TOP CHORD



BUILDING FINISHES

NON-STRUCTURAL FINISHES INCLUDE:

WALLS	- 29GA MAX RIB II STANDARD COLOR EXTERIOR WALL & ROOF SHEETING
	- 3" WMP10 INSULATION
	- (1) 3068 PLYCO 99 SERIES PRE-HUNG DOOR
	- (1) 9' x 7' STANDARD COLOR OVERHEAD DOOR
ROOF:	- 3" WMP10 INSULATION
	- (1) METALIC V4DWLFL 10'-0" WHITE OPERABLE RIDGE VENT
MISC.:	- 29 GA TRIM ACCESSORIES



TRUSS T1
1/2" = 1'-0"

- NOTES:
- 1) ALL MEMBERS ARE HSS2x2x14GA (0.083) U.N.O.
 - 2) TOP CHORD IS HSS2x2x14GA TOP HSS2x2x10GA BOTTOM
 - 3) MITER ALL JOINTS TO A TIGHT FIT
 - 4) WORK POINTS ARE DEFINED FROM CL. OF TUBES. DOUBLE TOP CHORD WORK POINT IS CL. OF BOT. TUBES

I:\projects\2020\191020_34_085 - Wildcat #8326\Detail (R19)20_34_085 - Wildcat #8326 - 10/24/2020 (R19).dwt



City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

APPLICATION FOR HEARING BEFORE THE MACEDONIA PLANNING COMMISSION

All Plans for Submittal Must be **FOLDED**.
No Rolled Plans will be Accepted.

Address of Property Involved: 613 East Aurora Road, Macedonia, OH 44056

Nature of Request: change of restaurant brand in a existing vacated free-standing building

Applicant Name: Paul Waltz Phone: (330) 659-3161 x242

Applicant Address: 2138 N Clevelnad-Massillon Rd, Akron, OH 44333

Applicant Email Address: pwaltz@landparchitecture.com

Applicant Signature:  Date: 05/28/2021

Notes: Conversion of an existing Pizza Hut to a new IHOP Restaurant

No area increase. Replacing exterior walk-in coolers. New standing seam metal roof

New Windows. Paint exterior.

Meeting Date: 06/21/2021

Filing Fee: \$150

Deadline for submitting applications is **21 DAYS** prior to the meeting date. When applying for a hearing, please furnish **THIRTEEN** sets of sketches, maps, drawings, descriptions, or photographs of the property in question. **THIRTEEN** copies of the site plans are required. **PLANS MUST BE FOLDED, NOT ROLLED.** No rolled plans will be accepted. If new construction is involved, the landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commissioner's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: Permit fees are not included in the filing fee, additional fees may be required.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
City of Macedonia

Please submit plans to:
Macedonia Building Department
9691 Valley View Road
Macedonia, Ohio 44056



PROJECT NO.:	
DRAWN BY:	L+P
CHECKED BY:	L+P
ISSUED DATE:	
ISSUED REVISIONS:	

613 East Aurora Road
 Macedonia, OH 44056
IHOP
 RISE & SHINE REMODEL
 Exterior Elevations



LEVEL 1
0' - 0"

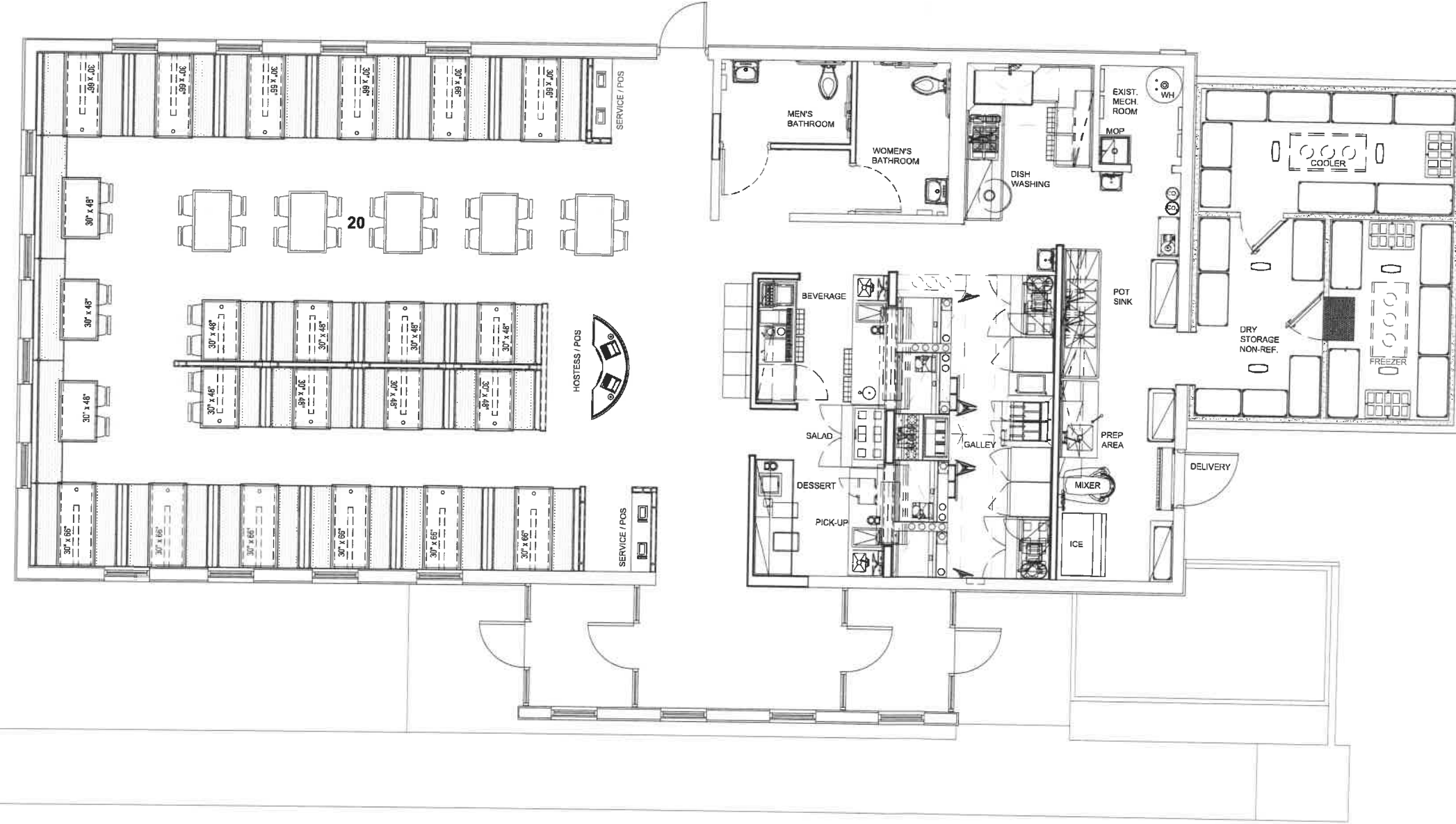
LEFT ELEVATION 2
1/4"=1'-0"

RECEIVED
 MAY 28 2021
 CLERK OF COURTS
 BUILDING DEPARTMENT



LEVEL 1
0' - 0"

FRONT ELEVATION 1
1/4"=1'-0"



FURNISHING/ EGRESS PLAN (136 SEATS)
1/4"=1'-0" 1

613 East Aurora Road
Macedonia, OH 44056

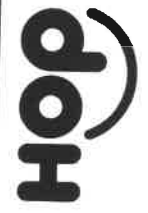
IHOP
RISE & SHINE REMODEL

Furnishing plan

A1.2



PROJECT NO.:	L+P
DRAWN BY:	L+P
CHECKED BY:	L+P
ISSUED DATE:	
ISSUED REVISIONS:	



L+P Architecture
 Drafting, specifications and other documents prepared by the Architect are for the use solely with respect to the Project. The Architect shall retain all common law, statutory and other reserved rights, including copyright.

L+P
 2138 N Cleveland Massillon Rd
 Akron, Ohio 44333
 330.699.2161
 web: lindsayperkins.com



City of Macedonia
Building, Engineering, Zoning & Planning Dept.
The Crossroads of Northeast Ohio
 9691 Valley View Road • Macedonia, Ohio 44056
 330 / 468-8360 • Fax: 330 / 468-8396

JUN 1 2021
 RECEIVED

RECEIVED
 JUN 1 2021
 CITY OF MACEDONIA
 BUILDING DEPARTMENT

**APPLICATION FOR HEARING BEFORE THE
 MACEDONIA PLANNING COMMISSION**

ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.

DATE OF APPLICATION: May 19, 2021

LOCATION OF PROPERTY INVOLVED: 8261 Golden Link Blvd. Northfield Center, OH 44067

NATURE OF REQUEST: New Construction Review

APPLICANT NAME & PHONE: Linda Leonetti w/ Heights Venture Architects for Panda Express Inc.
 281-854-6107

APPLICANT ADDRESS: 1111 North Loop West Suite 800, Houston, TX 77008

APPLICANT EMAIL ADDRESS: linda.leonetti@hva.cc

APPLICANT SIGNATURE: *Linda Leonetti*

NOTES: Including \$10,000 Escrow fee. This is in the Northfield Center & Macedonia JEDD district.

MEETING DATE: June 21, 2021 FILING FEE: \$ 200.00

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish THIRTEEN sets of sketches, maps, drawings, descriptions, or photographs of the property in question. THIRTEEN copies of the site plan are required. **PLANS MUST BE FOLDED, NOT ROLLED.** No rolled plans will be accepted. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE. ADDITIONAL FEES MAY BE REQUIRED.
 The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
 City of Macedonia

Please submit plans to:
 Macedonia Building Department
 9691 Valley View Rd.
 Macedonia, OH 44056

PANDA EXPRESS



S8-22-D8233

8261 GOLDEN LINK BLVD.
NORTHFIELD CENTER, OH 44067
PLANNING SUBMITTAL

RECEIVED
JUN 1 2021
CITY OF MACEDONIA
BUILDING DEPARTMENT

- THIS LOT HAS AN EXISTING VACANT GOLDEN CORRAL RESTAURANT LOCATED ON THE PROPERTY.
- THE GOLDEN CORRAL BUILDING WILL BE DEMOLISHED AND HAVE THE UTILITIES DISCONNECTED FROM THE BUILDING.
- SOME UTILITIES WILL BE SAVED FOR FUTURE USE WHEN ANOTHER DEVELOPMENT WILL BE PLACED ON THE WEST PORTION OF THE PROPERTY.
- THE EXISTING MONUMENT SIGN CABINET WILL BE RE-USED FOR THE NEW (FUTURE) WEST TENANT. WE WILL REMOVE THE GOLDEN CORRAL FACE AND HAVE A BLANK SIGN UNTIL THE NEW TENANT IS KNOWN SO WE DONT CONFUSE CUSTOMERS.
- THE EAST PORTION OF THE LOT WILL BE DEVELOPED NOW FOR THE NEW 2381 SF PANDA EXPRESS AND IS THIS SUBMITTAL.
- GRASS WILL BE PLACED ON THE WEST SIDE WHERE THE PAVEMENT HAS BEEN REMOVED. ALL STREET TREES AND LANDSCAPE WILL REMAIN IN PLACE. SEE DEMO PLAN FOR MORE SPECIFICS.



OWNER
MARK SCHULTZ
PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CA 91770
T: 612-819-7873

ARCHITECT
ARCHITECT - DAVID SCOTT ROSELIUS
PARTNER - ERIC ABELN
HEIGHTS VENTURE ARCHITECTS L.L.P.
1111 NORTH LOOP WEST, SUITE 800
HOUSTON, TEXAS, 77008
T: 713-869-1103 / 281-854-6119

STRUCTURAL
GRANT COURTNEY, P.E.
8340 MEADOW ROAD, SUITE 160
DALLAS, TEXAS, 75231
T: 214-750-2900

CIVIL
TIM SHOEMAKER, P.E.
RTM ENGINEERING CONSULTANTS
715 RIDGEVIEW DRIVE
McHENRY, IL, 60050
T: 815-578-0200

DEVELOPER
DEVILLE DEVELOPMENTS
6545 MARKET AVE. N SUITE 200
NORTH CANTON, OH 44721
330-639-2440

MECHANICAL, PLUMBING, ELECTRICAL
NICK POLCARI
JAMES F. TURNER, P.E.
8340 MEADOW ROAD, SUITE 160
DALLAS, TEXAS, 75231
T: 214-750-2900

LANDSCAPE
RODNEY MCNABB
EVERGREEN DESIGN GROUP
110777 WESTHEIMER RD. SUITE 1100
HOUSTON, TX 77042
800-680-8630 X1

TEAM DIRECTORY

Scale= NTS G-001

PLANNING/ZONING
DONALD SAUNDERS
ZONING INSPECTOR
NORTHFIELD CENTER OHIO
330.888.8485
nsa@nspector@northfieldcenter.com

BUILDING DEPARTMENT
CITY OF MACEDONIA
5691 VALLEY VIEW ROAD
MACEDONIA, OH 44056
330.468.8300

ENGINEERING
JOE GIGLIOTTI
CITY OF MACEDONIA
9691 VALLEY VIEW RD
MACEDONIA, OH 44056
440.439.1999
Giglotto@cvelimited.com

ELECTRIC
OHIO EDISON
76 S MAIN STREET
AKRON, OH 44308
800.633.47656

SEWER
SUMMIT COUNTY SANITARY SEWER
1160 S MAIN ST. #201
AKRON, OH 44321
330.528.2400

WATER
CITY OF CLEVELAND
RASHE WARITH
1291 LAKESIDE AVE. E
CLEVELAND, OH 44114
216.864.3130

GAS
COLUMBIA GAS OF OHIO
P.O. BOX 2318
COLUMBUS, OH 43216-2218
800.344.4077

TELEPHONE COMPANY
SPECTRUM
8210 MACEDONIA COMMONS
BLVD. SUITE 37
MACEDONIA, OH 44056
888.406.7053

FIRE DEPARTMENT
CHIEF BRIAN RIPLEY
9691 VALLEY VIEW ROAD
MACEDONIA, OH 44056
330.468.8300

HEALTH DEPARTMENT
SUMMIT COUNTY
ENVIRONMENTAL HEALTH
1867 W MARKET ST.
AKRON, OH 44313
330.523.4891

ZONING SUBMISSION NARRATIVE

Scale= NTS G-001

VICINITY MAP

Scale= NTS G-001

KEY PLAN

Scale= NTS G-001

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

CODE	SITE INFORMATION	PANDA EXPRESS
2017 OHIO BUILDING CODE	SITE AREA 59,282 SQ. FT.	RESTAURANT AREA 2,381 S.F.
2017 OHIO FIRE CODE	LOT COVERAGE (Floor Area Ratio) 0.025	EMPLOYEES 3 EMPLOYEES / SHIFT (2 SHIFTS PER DAY)
2017 OHIO MECHANICAL CODE		INDOOR SEATING 56
2017 OHIO PLUMBING CODE		OUTDOOR SEATING 0
2017 OHIO FUEL GAS CODE		
2017 NATIONAL ELECTRICAL CODE		
2017 OHIO ENERGY CONSERVATION CODE		
ADA / ICC ANS A117		

OCCUPANT LOAD CALCULATION

INDOOR DINING	1024 SQ. FT. / (15 / SQ. FT.) =	69
KITCHEN	963 SQ. FT. / (200 / SQ. FT.) =	05
TOILET/VESTIBULE/STORAGE	213 SQ. FT. / (10 / SQ. FT.) =	00
COOLER/FREEZER ROOMS	181 SQ. FT. / (10 / SQ. FT.) =	00
TOTAL		74
TOTAL OCCUPANT LOAD =		74

BUILDING CODE ANALYSIS

OCCUPANCY CLASSIFICATION	GROUP A-2 (ASSEMBLY)
TYPE OF CONSTRUCTION	V-B
FIRE SPRINKLER	NO SPRINKLER
	PROVIDED / REQUIRED / ALLOWED
HEIGHT	25'-0"
STORY	1
AREA	2,381 SQ. FT.
OCCUPANT LOAD	74
EXITS REQUIRED	3
EGRESS WIDTH	10"
	75 X 0.2 = 15'6" - 15'

PLUMBING FIXTURES (TABLE 403.1 2017 OPC)

TYPE OF OCCUPANCY	WATER CLOSET		LAVATORY	
	MALE	FEMALE	MALE	FEMALE
RESTAURANT (A-2)	1 PER 75	1 PER 75	1 PER 200	1 PER 200
REQUIRED	1	1	1	1
PROVIDED	1	1	1	1
TOTAL OCCUPANCY = 74	MALE = 37	FEMALE = 37		

NOTE: SIGNS TO BE SUBMITTED UNDER SEPARATE PERMIT

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
BV	BALL VALVE (FULL PORT)
B.O.	BOTTOM OF
C.	CONDUIT
CO	CONDUIT ONLY
CW	COLD WATER
(E)	EXISTING
EC	ELECTRICAL CONTRACTOR
EW	ELECTRICAL WATER HEATER
EXT.	EXTERIOR
FOF	FACE OF FINISH
FOS	FACE OF STUD
F.S.	FLOOR SINK
G.C. OR GC	GENERAL CONTRACTOR
H.W.	HOT WATER
ID	INDIRECT DRAIN
INT.	INTERIOR
K.E.C.	KITCHEN EQUIP. CONTRACTOR
L.L.	LANDLORD
MC	MECHANICAL CONTRACTOR
(N)	NEW
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
CA	OUTSIDE AIR
O.C.	ON CENTER
PC	PLUMBING CONTRACTOR
RAR	RETURN AIR REGISTER
R.I.H.	ROUGH-IN HEIGHT
S.S.	STAINLESS STEEL
STL.	STEEL
STRUCT.	STRUCTURE, STRUCTURAL
T.O.	TOP OF
WCO	WASTE CLEAN OUT

SYMBOLS

(D1)	DOOR TYPE
(W1)	WINDOW TYPE
(TA)	FLOOR FINISH
(W4)	WALL TYPE
(1)	STRUCTURAL GRID
(C1)	CEILING FINISH
(P-C)	WALL FINISH
(34)	KITCHEN EQUIPMENT
(101)	ROOM NUMBER
(ELEVATION MARK)	MARK OF ELEVATION
(AA1.0)	DETAIL
(A-2.0)	INT. ELEVS
(A-2.0)	SECTION
(NEW DOOR)	NEW DOOR
(TEMPERED GLAZING)	TEMPERED GLAZING
(A-2.0)	EXT. ELEVS

CODE ANALYSIS

Scale= NTS G-001

JURISDICTIONAL AUTHORITIES

Scale= NTS G-001

GENERAL	05.25.21
G-001 TITLE SHEET	X
CIVIL	
C03.0 SITE PLAN	X
C04.0 UTILITY PLAN	X
C06.0 GRADING PLAN	X
LANDSCAPE	
LP-1 LANDSCAPE PLAN	X
LP-2 LANDSCAPE DETAILS	X
ARCHITECTURAL	
A-102 SITE PLAN	X
A-201 ELEVATIONS	X
A-202 ELEVATION PERSPECTIVES	X
A-203 SIGNAGE ELEVATIONS	X
LIGHTING	
E-101 SITE PHOTOMETRIC	X

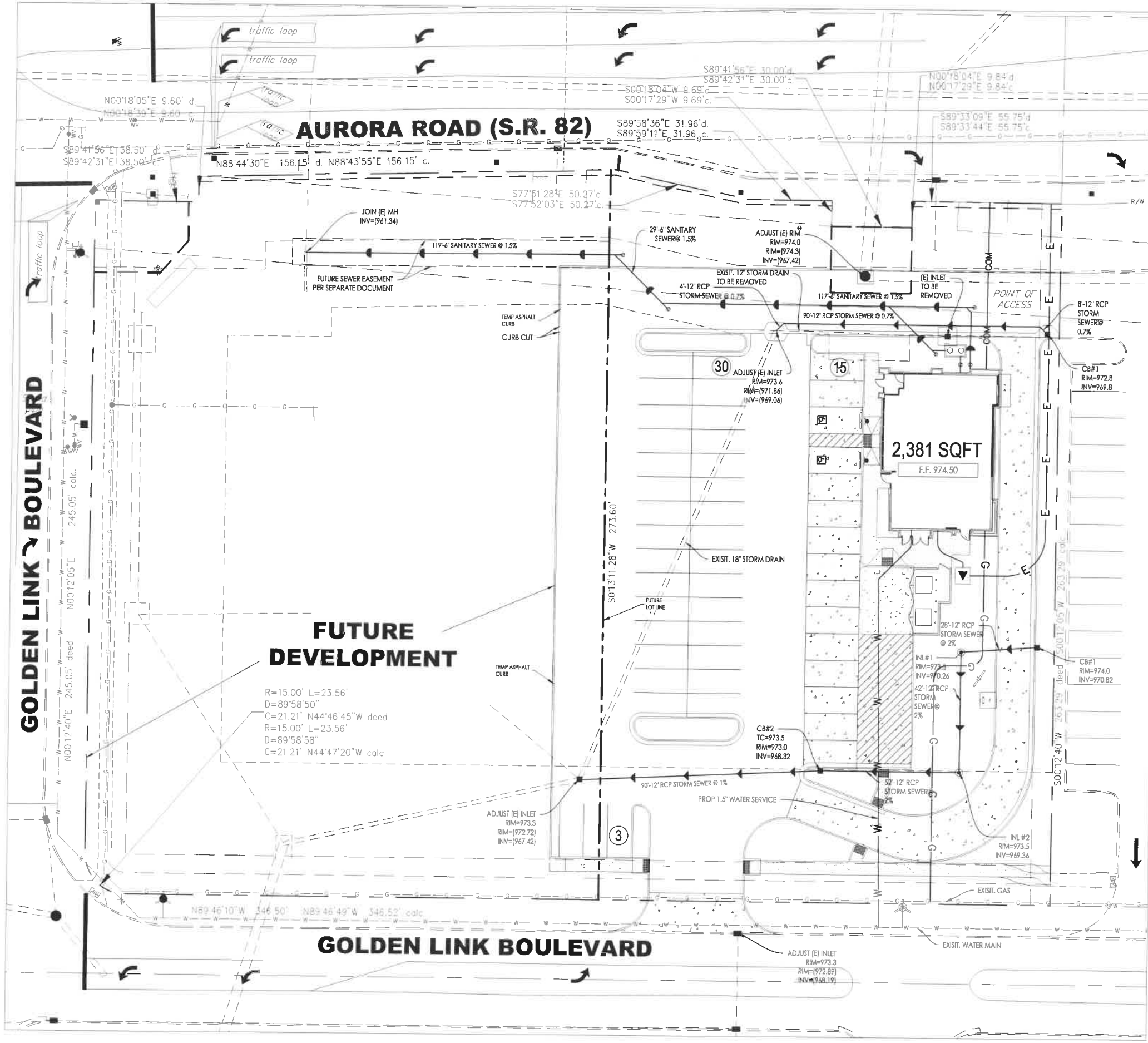
SHEET INDEX

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LEGEND:

EXISTING	PROPOSED
SANITARY SEWER	--- (dashed line)
SANITARY SERVICE	--- (dashed line)
STORM SEWER	--- (dashed line)
STORM SERVICE	--- (dashed line)
WATERMAIN	--- (dashed line)
GAS MAIN	--- (dashed line)
TELEPHONE LINE	--- (dashed line)
ELECTRIC LINE	--- (dashed line)
OVERHEAD WIRES	--- (dashed line)
CATCH BASIN/INLET	○ (circle)
STORM MANHOLE	⊙ (circle with center dot)
SANITARY MANHOLE	⊕ (circle with cross)
VALVE BOX/VAULT	⊗ (circle with X)
FIRE HYDRANT	⊙ (circle with cross and dot)
B-BOX	⊙ (circle with dot)
LIGHTS (SEE BLDG PLANS)	★ (star)

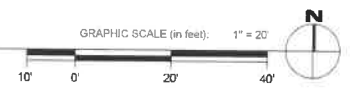


FUTURE DEVELOPMENT

R=15.00' L=23.56'
 D=89°58'50"
 C=21.21' N44°46'45"W deed
 R=15.00' L=23.56'
 D=89°58'58"
 C=21.21' N44°47'20"W calc.

2,381 SQFT
 F.F. 974.50

OVERALL UTILITY PLAN



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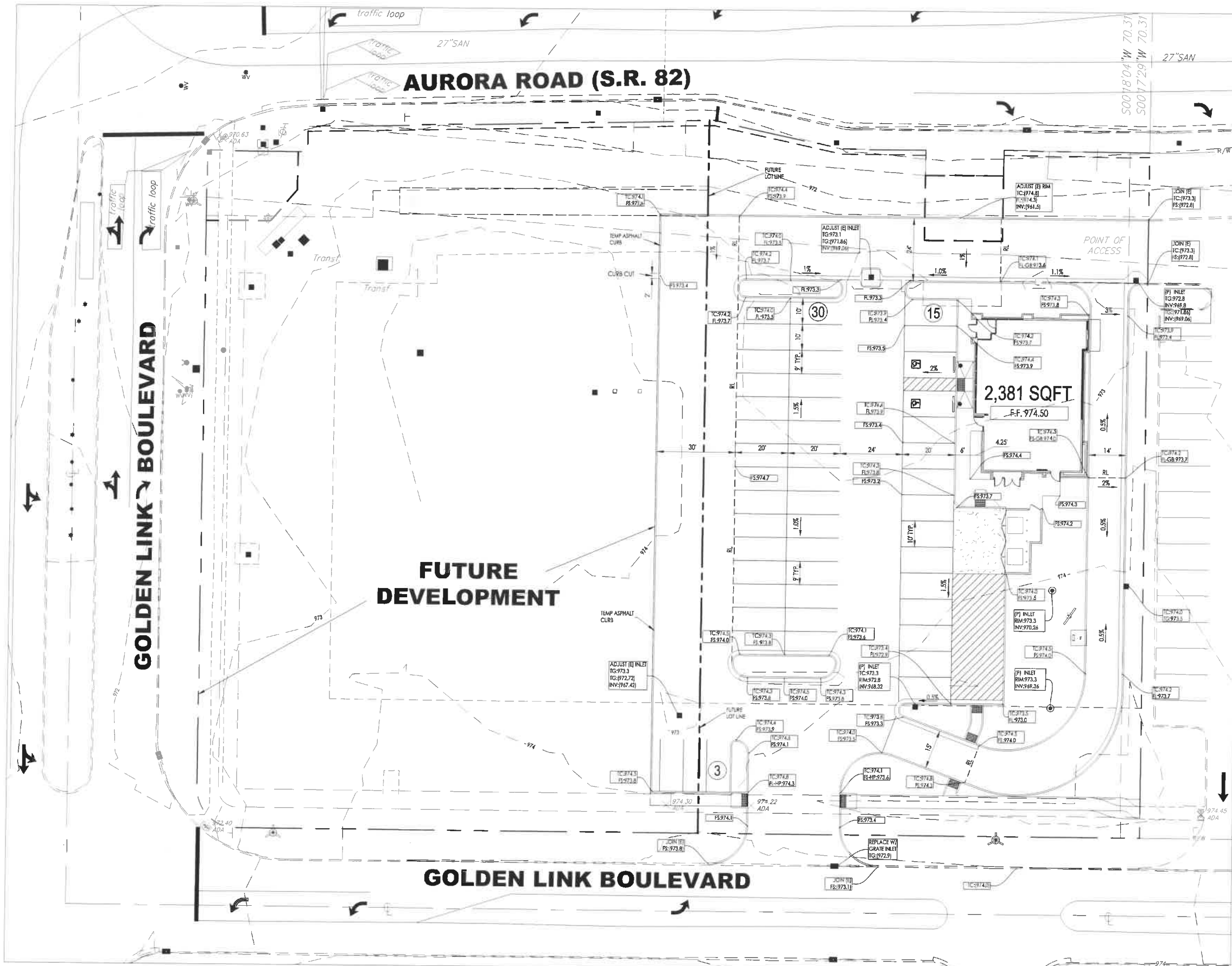
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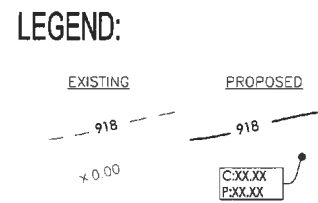
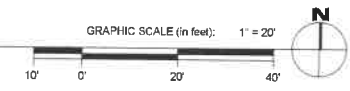
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OVERALL GRADING PLAN



SURFACE SPOT ELEVATION ABBREVIATIONS

HP	HIGH POINT
P	PAVEMENT
FL	FLOWLINE
FF	FINISHED FLOOR
FG	FINISHED GRADE
FS	FINISHED SURFACE
GB	GRADE BREAK
INV	INVERT
TC	TOP OF CURB
TG	TOP OF GRATE

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 PROJECT NAME

SITE PARKING

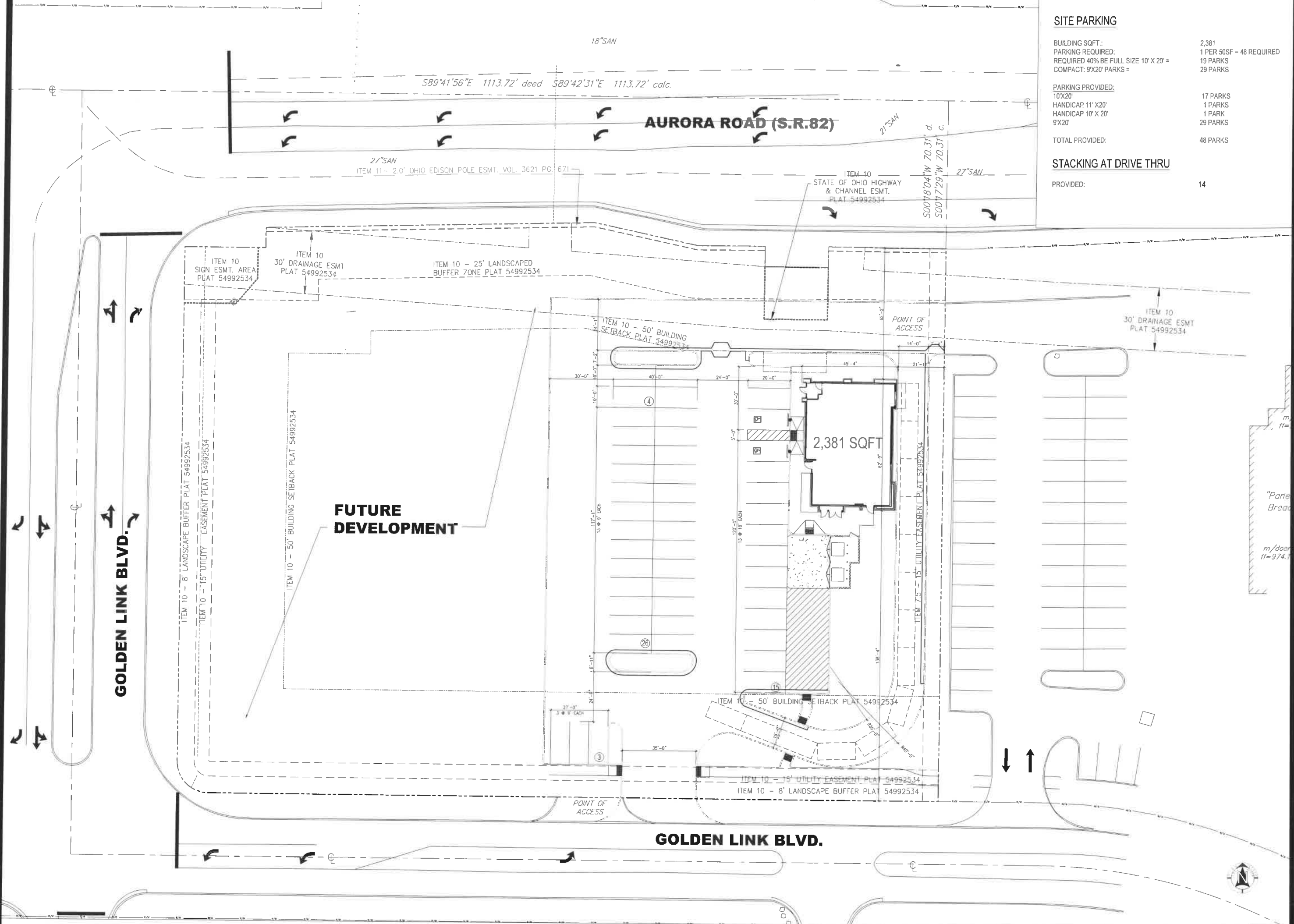
BUILDING SQFT: 2,381
 PARKING REQUIRED: 1 PER 50SF = 48 REQUIRED
 REQUIRED 40% BE FULL SIZE 10' X 20' = 19 PARKS
 COMPACT: 9'X20' PARKS = 29 PARKS

PARKING PROVIDED:
 10'X20' 17 PARKS
 HANDICAP 11' X 20' 1 PARKS
 HANDICAP 10' X 20' 1 PARK
 9'X20' 29 PARKS

TOTAL PROVIDED: 48 PARKS

STACKING AT DRIVE THRU

PROVIDED: 14



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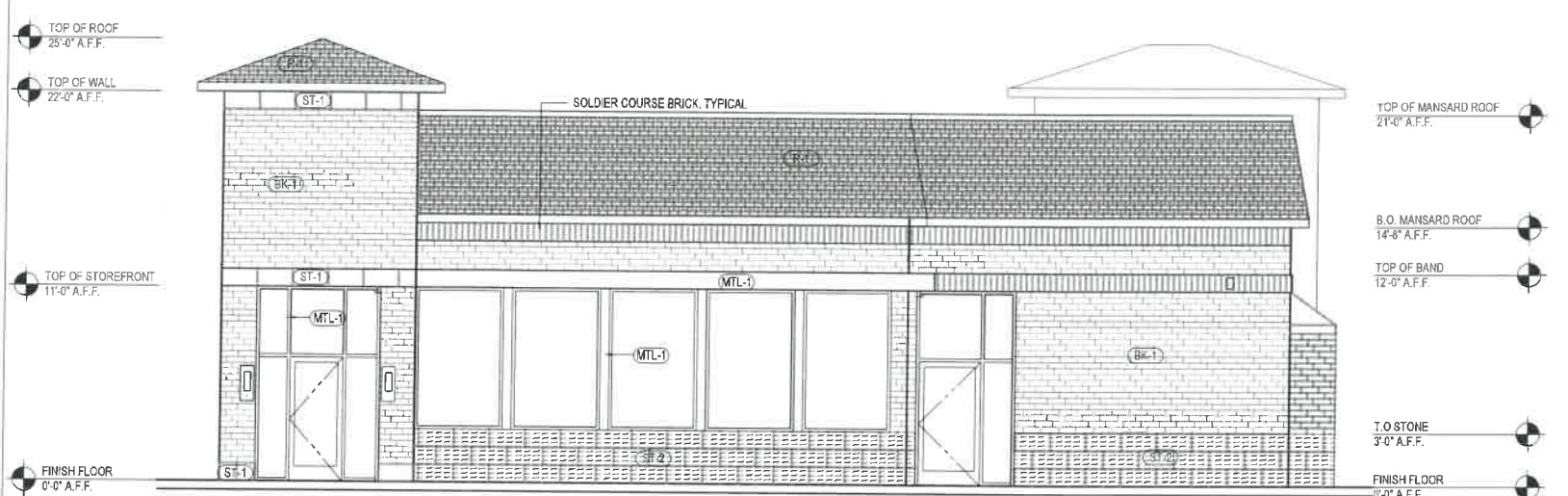
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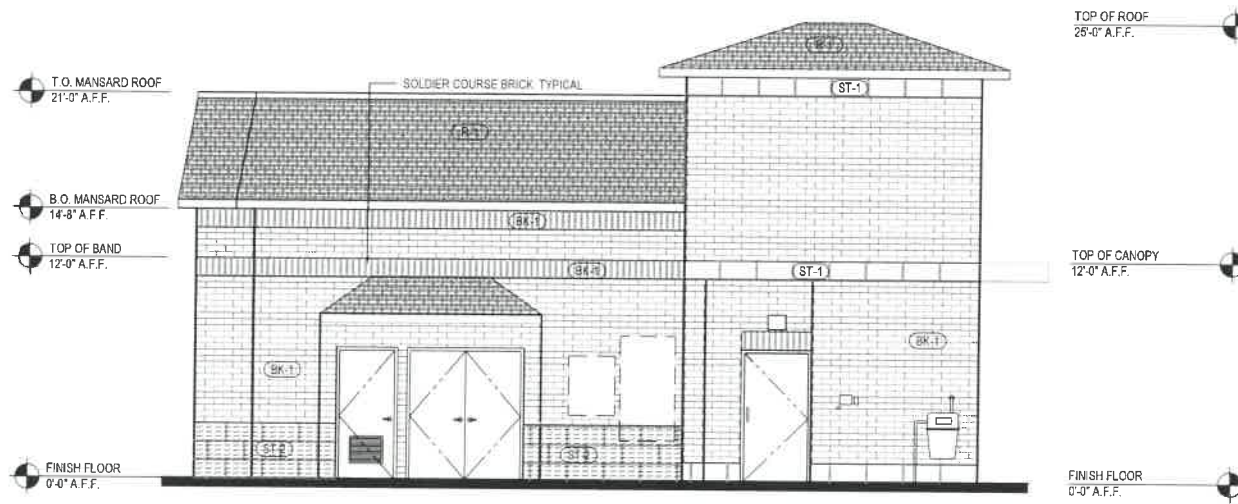
NORTH ELEVATION 4

Scale= 3/16" = 1'-0" A-202



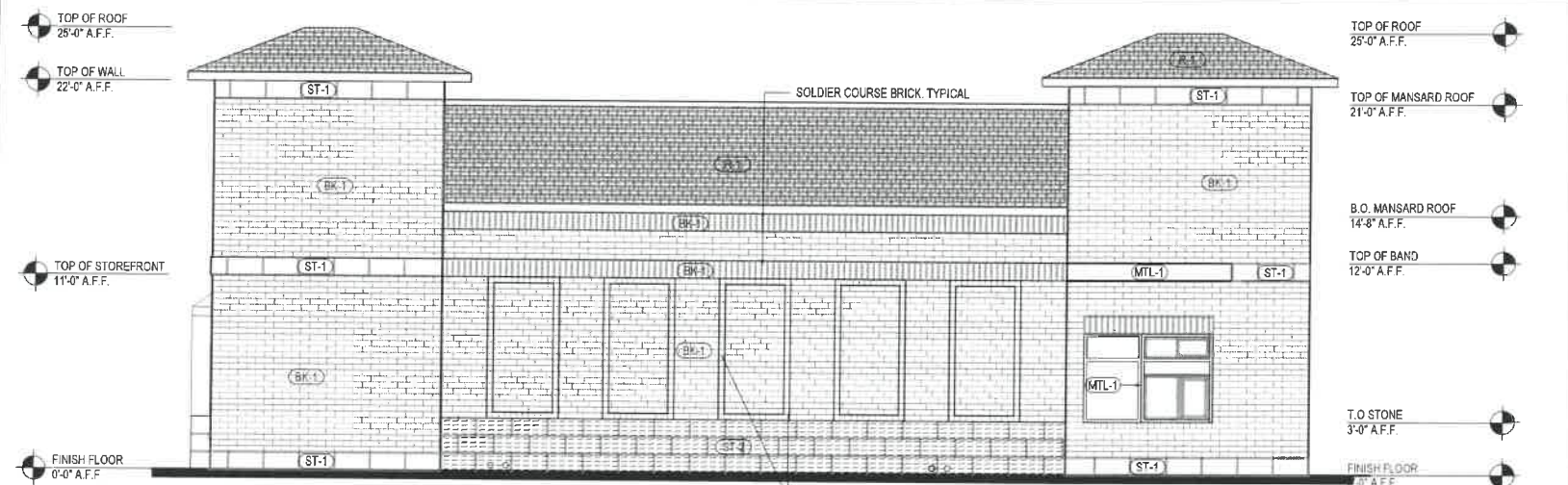
WEST ELEVATION 2

Scale= 3/16" = 1'-0" A-202



SOUTH ELEVATION 4

Scale= 3/16" = 1'-0" A-202

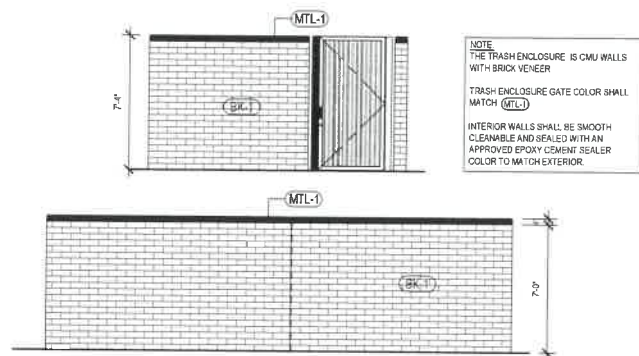


EAST ELEVATION 1

Scale= 3/16" = 1'-0" A-202

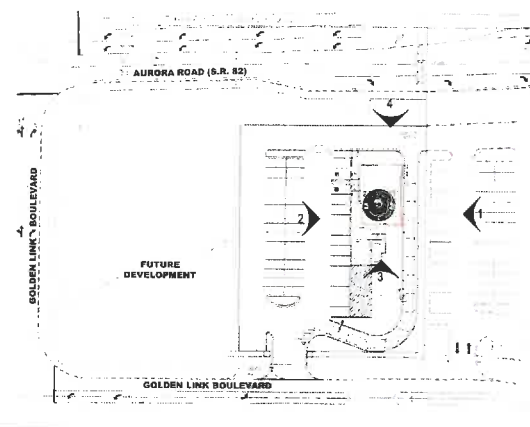
NOTE:

1. A COMPLETE SIGNAGE PACKAGE WILL BE SUBMITTED BY SIGN COMPANY AT TIME OF PERMIT WITH CALCULATIONS AND CONSTRUCTION DETAILS. LOCATIONS SHOWN ON PERSPECTIVES. SIGN DIMENSIONS ON A-203.



DUMPSTER PLAN 3

Scale= 3/16" = 1'-0" A-202



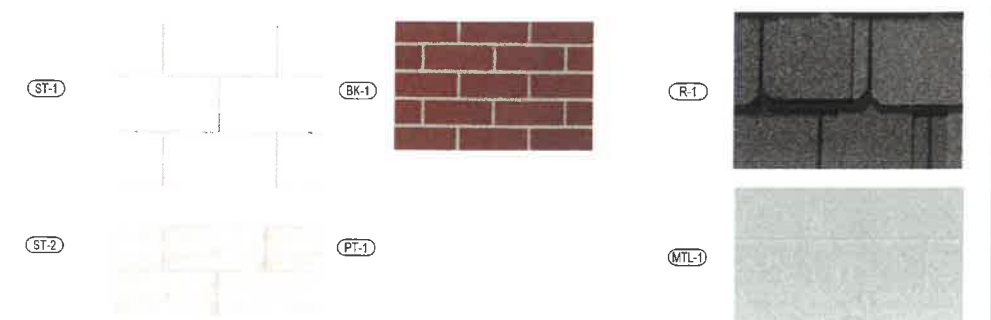
KEY SITE PLAN

Scale= NTS A-202

EXTERIOR FINISH SCHEDULE

NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
(BK-1)	BELDEN BRICK - SIZE: UTILITY	CHERRY VELOUR	RED BRICK	VELOUR	COURSES IN 12" X 4" DIMENSIONS https://www.beldenbrick.com/onlinecatalog/brick-colors/red-bricks/00001280/cherry-velour
(ST-1)	ARRISCRAFT LIMESTONE	GEORGIA	RENAISSANCE	SMOOTH	https://arriscraft.com/products/limestone-georgia-rennaissance/
(ST-2)	ARRISCRAFT LIMESTONE	GEORGIA	RENAISSANCE	ROCK FACE	https://arriscraft.com/products/limestone-georgia-rennaissance/
(MTL-1)	EXCEPTIONAL METALS / KAWNEER		CLEAR ANODIZED		STOREFRONT, CAP FLASHING, CANOPIES
(PT-1)	SHERWIN WILLIAMS	SW 6385	DOVER WHITE		METAL DOORS, EXPOSED ELECTRICAL GEAR, GAS METER.
(R-1)	CERTAINTED	GRAND MANOR	STONEGATE GRAY		MANSARD ROOF

MATERIALS





NORTHEAST PERSPECTIVE 4
Scale= N.T.S. A-203



NORTHWEST PERSPECTIVE 2
Scale= N.T.S. A-203



SOUTHWEST PERSPECTIVE 3
Scale= N.T.S. A-203



SOUTHEAST PERSPECTIVE 1
Scale= N.T.S. A-203

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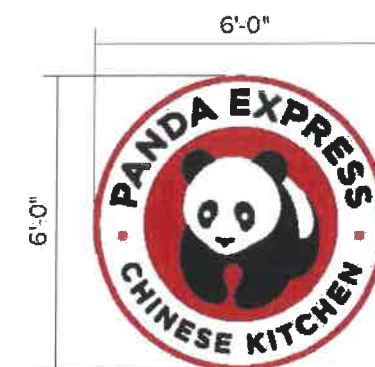
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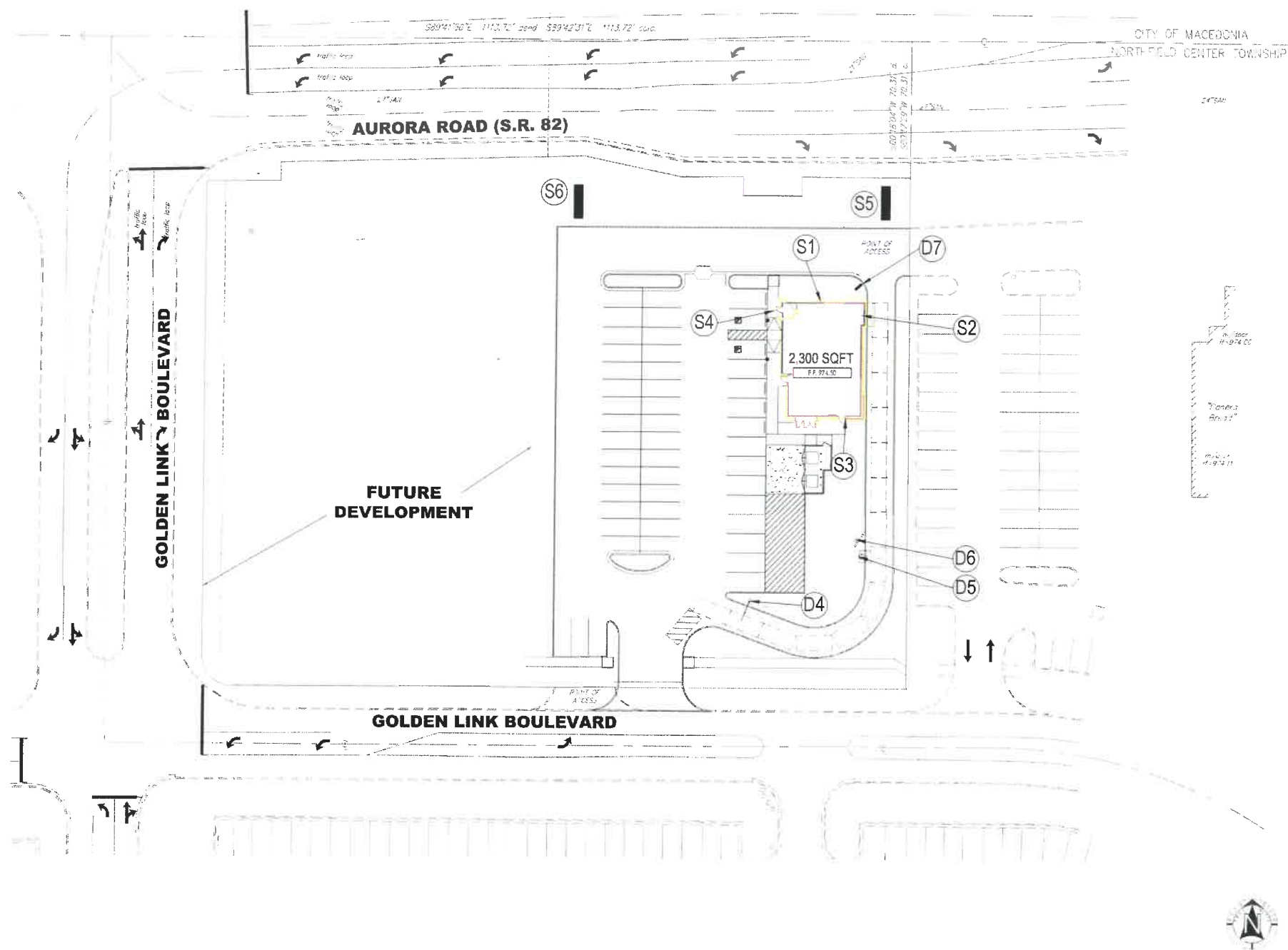
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S6 REUSE GOLDEN CORRAL MONUMENT SIGN 9
Scale= N.T.S. A-203

S5 MONUMENT SIGN 6
Scale= N.T.S. A-203

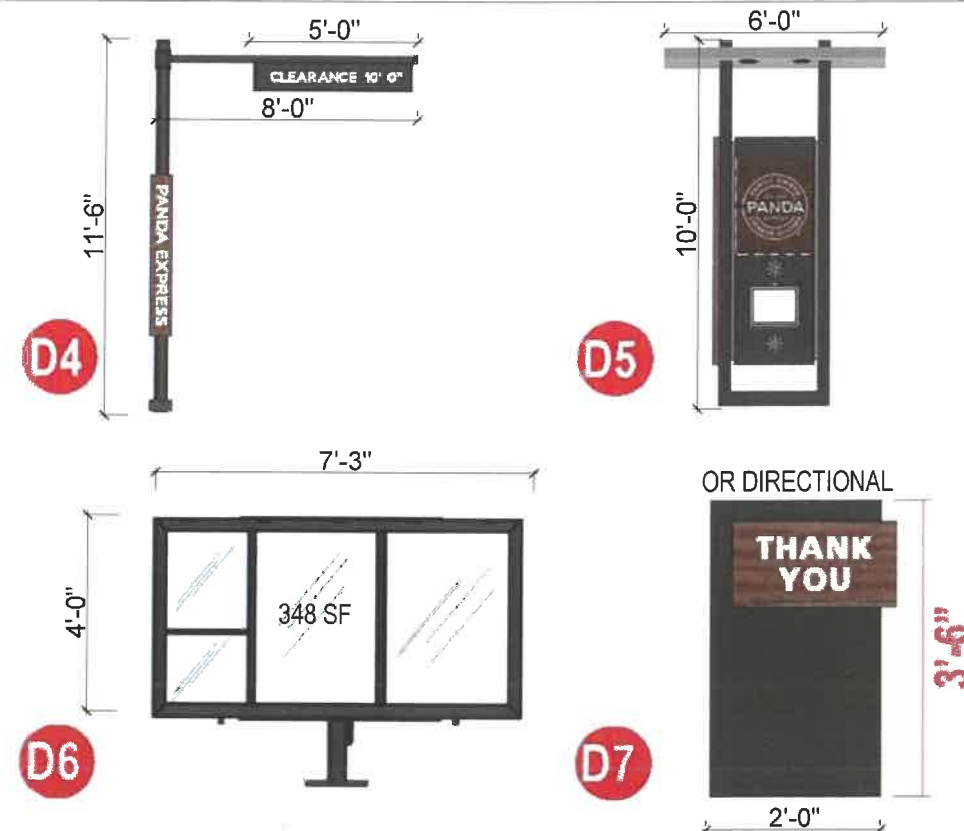
S2 S3 S4 LOGO 3
Scale= N.T.S. A-203



KEY SITE PLAN 7
Scale= N.T.S. A-203



S1 MAIN SIGN 2
Scale= N.T.S. A-203

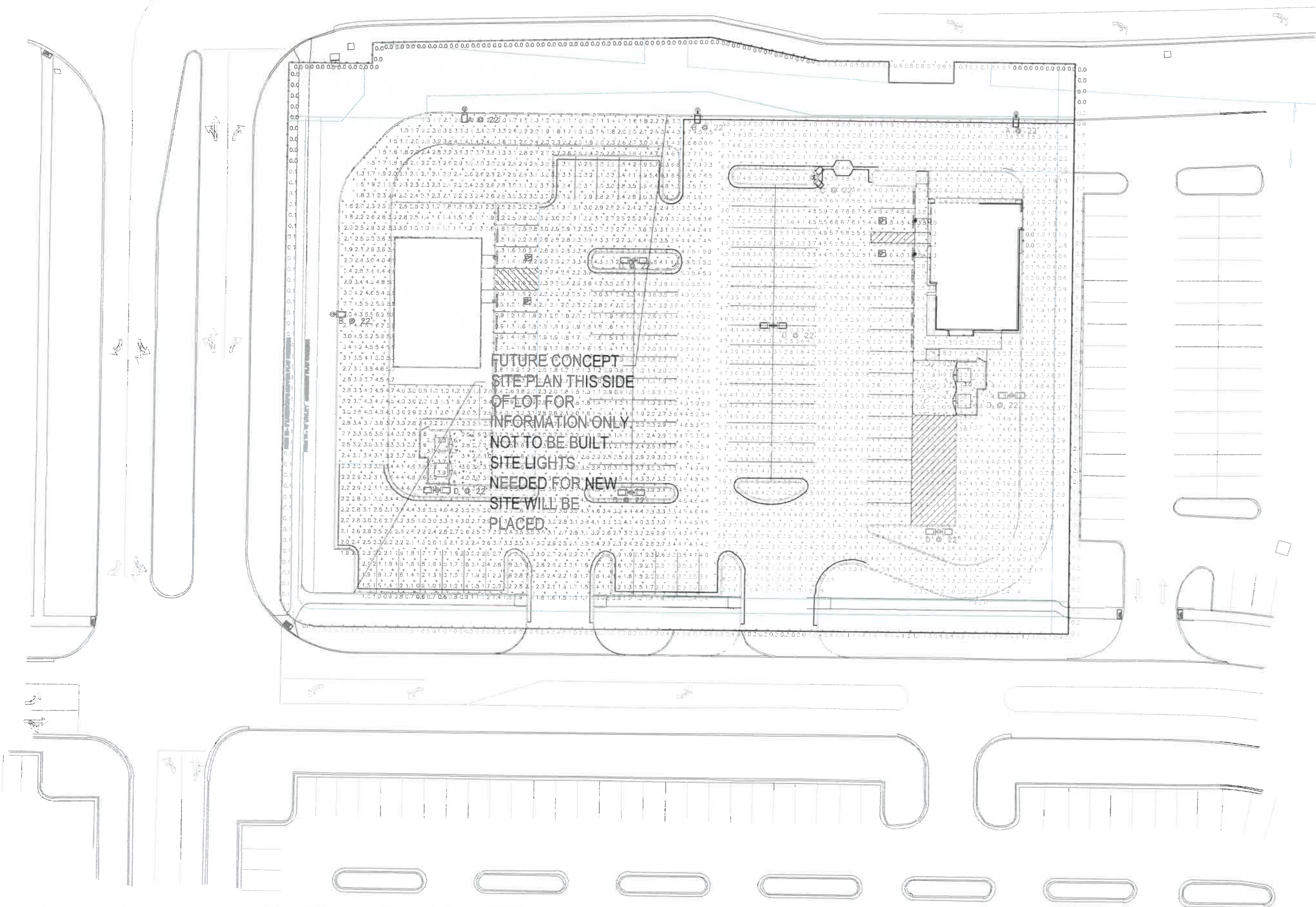


D4 D5 D6 D7 DRIVE THRU SIGNS / MENU BOARDS 1
Scale= N.T.S. A-203

Symbol	Label	QTY	Catalog Number	Description	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency
□	A	2	SLM-LED-18L-SL-FT-CONTACT RYAN ZINSELMEIER-314-531-2800-70CRI-L	SLM-LED-18L-SL-FT-40-70CRI-L.les	12046	1	1	148.5	100%	
□	B	2	SLM-LED-18L-SL-3-CONTACT RYAN ZINSELMEIER-314-531-2800-70CRI-L	SLM-LED-18L-SL-3-40-70CRI-L.les	13767	1	1	148.5	100%	
□	D	7	SLM-LED-18L-SL-FT-CONTACT RYAN ZINSELMEIER-314-531-2800-70CRI-L	SLM-LED-18L-SL-FT-40-70CRI-L.les	12046	1	1	267	100%	
□	C	1	SLM-LED-18L-SL-FT-CONTACT RYAN ZINSELMEIER-314-531-2800-70CRI-L	SLM-LED-18L-SL-FT-40-70CRI-L.les	12046	1	1	267	100%	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CALC SUMMARY - PROPERTY LINE	+	0.5 ft	3.1 ft	0.0 ft	N/A	N/A
CFT - CALC SUMMARY - PAVED SURFACE	+	2.9 ft	7.4 ft	0.6 ft	12.3:1	4.8:1
CFT - TRASH ENCLOSURE	+	3.4 ft	4.8 ft	2.3 ft	2.0:1	1.5:1
PX - CALC SUMMARY - PAVED SURFACE	+	3.2 ft	7.8 ft	0.0 ft	N/A	N/A
PX - TRASH ENCLOSURE	+	3.7 ft	4.6 ft	3.0 ft	1.5:1	1.2:1

Note
 1. MOUNTING HEIGHT OF 22' (20' POLE)
 2. CALCULATIONS TAKEN AT GROUND LEVEL
 3. CONTACT VILLA LIGHTING - RYAN ZINSELMEIER - RYAN.ZINSELMEIER@VILLALIGHTING.COM - 314-531-2800



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