

**MACEDONIA PLANNING COMMISSION
MEETING AGENDA
AUGUST 21, 2023**

Location: Macedonia City Hall
Council Chambers
9691 Valley View road
Macedonia, Ohio 44056

Time: 5:30 P.M.

Call to Order

Roll Call:

- Mr. Westbrooks
- Mr. Roberts
- Mr. Cox
- Mr. Wallenhorst
- Ms. Meske

Approval of the July 17, 2023 minutes.

Agenda Items:

- 1) Mr. Lange with Signarama is proposing updated exterior signage with new business name graphics for Ohio Hearing & Audiology located at 640 E. Aurora Rd. Unit C.

Paul Lang
Signarama
26747 Brookpark Rd.
North Olmsted, Oh 44070
440-716-0000
plange@signarama-notholmsted.com

- 2) Mr. Dragon with Cicogna Sign Company is proposing signage for Any Lab Test Now located at 8210 Macedonia Commons Blvd. Unit #68

George Dragon
CESCO Imaging (Cicogna Sign Co.)
4330 N. Bend Rd.
Ashtabula, Oh 44004
440-813-8481
gdragon@cescoimaging.com

- 3) Be Next Awnings and Graphics is proposing signage for Papa Smokes located at 509 E. Aurora Rd.

Be Next Awnings & Graphics
5109 Clark Ave.
Cleveland, Oh 44102
216-688-1800
usbannersplus@gmail.com
aldodure2000@gmail.com

- 4) Ms. Borkowski with Red Architects is proposing exterior elevation remodel and refresh for Arby's located at 683 E. Aurora Rd.

Briana Borkowski
Red Architects
589 W. Nationwide Blvd, Suite B
Columbus, Oh 43215
614-487-8770
bborkowski@redarchitects.com

Miscellaneous:

Adjournment:

Tabled Item:

03/20/2023 Proposed preliminary plan approval for a new hotel located at 20 Girl Scout Way.
04/17/2023 Proposed Trucking School located at 9426 Freeway Dr.

The next regularly scheduled meeting is set for September 18, 2023
All requests & documentation for the Planning Commission must be submitted by August 25, 2023
Tabled items will be removed after one (1) year of inactivity.

**MACEDONIA PLANNING COMMISSION
JULY 17, 2023
MEETING MINUTES**

CALL TO ORDER: Mr. Westbrooks called the meeting to order at approximately 5:30 p.m.

MEMBERS PRESENT:

Planning Commission: Mr. Westbrooks, Mr. Roberts, Mr. Cox, Ms. Meske; Mr. Wallenhorst was absent.
City Planner: Mr. Frantz
City Fire Inspector: Mr. Kalish
Building Commissioner: Mr. Rodic

APPROVAL OF THE JUNE 12, 2023 PUBLIC HEARING MINUTES.

Mr. Cox motioned to approve as submitted. Mr. Roberts seconded, Mr. Westbrooks and Ms. Meske agreed.

APPROVAL OF THE JUNE 12, 2023 PLANNING COMMISSION MEETING MINUTES.

Mr. Westbrooks motioned to amend the minutes to remove Mr. Schiavone's name and replace it with Mr. Wallenhorst's name. Mr. Roberts motioned to approve the amended June 12, 2023 Planning Commission minutes. Mr. Westbrooks seconded. Mr. Cox and Ms. Meske agreed.

PROPOSED FINAL WEST ELEVATION FOR GATEWAY PLAZA LOCATED AT 500 E. AURORA RD.

Mr. Cipriani, Mr. Wasserman, and Mr. Coper were present and submitted revised plans showing three different options, A, B, and C. Mr. Frantz made his comments. The Planning Commission liked elevation A, but after the discussion of A vs B including the cost difference Mr. Roberts commented that B would be a compromise. Mr. Cox motioned to approve option "B". Mr. Roberts seconded, Mr. Westbrooks and Ms. Meske agreed.

DISCUSSION OF 2016 LOT SPLIT LOCATED AT 845 LEDGE RD.

Ms. Block was present and discussed with the Planning Commission her issues with the lot split. Mr. Frantz made his comments including that the summit county auditor has identified the property as .9387 acres but 1.0383 inclusive of the right-of-way, which is a conforming lot size in the R-1 Residence District qualifying as a large lot and the "right" for a larger accessory building applies. Mr. Rodic acknowledged that he would accept Mr. Frantz's interpretation of the code.

ADJOURNMENT:

Mr. Cox motioned to adjourn at 6:15 pm. Mr. Roberts seconded, Mr. Westbrooks and Ms. Meske agreed.



City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

APPLICATION FOR HEARING BEFORE THE MACEDONIA PLANNING COMMISSION

All Plans for Submittal Must be **FOLDED**.
No Rolled Plans will be Accepted.

DATE OF APPLICATION: 07/25/2023

LOCATION OF PROPERTY INVOLVED: 640 E. Aurora Rd., Unit C

NATURE OF REQUEST: Updated exterior signage with new business name graphics

APPLICANT NAME: Paul Lange PHONE: (440) 716-0000

APPLICANT ADDRESS: 26747 Brookpark Rd. Ext., North Olmsted, OH 44070

APPLICANT EMAIL ADDRESS: plange@signarama-northolmsted.com

APPLICANT SIGNATURE: Paul Lange DATE: 07/25/2023

NOTES: Client has a new business name and is looking to replace existing signage with similar, same size new signage.

MEETING DATE: _____ FILING FEE: _____ ESCROW REQUIRED: _____

Deadline for submitting applications is **21 DAYS** prior to the meeting date. When applying for a hearing, please furnish **TWO** sets of sketches, maps, drawings, descriptions, or photographs of the property in question. **TWO** copies of the site plan are required. **PLANS MUST BE FOLDED, NOT ROLLED**. No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, the landscape and lighting plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commissioner's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE, ADDITIONAL FEES MAY BE REQUIRED.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
City of Macedonia

Please submit plans to:
Macedonia Building Department
9691 Valley View Road
Macedonia, Ohio 44056

Memorandum

TO: Nicholas Molnar, Mayor
and Macedonia Planning Commission

FROM: Brian M. Frantz, AICP

SUBJECT: Ohio Hearing & Audiology – Wall Signage

DATE: August 6, 2023

The applicant is proposing to erect new wall signage on their tenant space in Macedonia Commons (640 East Aurora Road, Unit C) that reflects the new name of their business. The current signage (shown below) is similar to the proposal, but with the current name of the business shown.

My review is based upon information contained on a sign application (including a sign illustration) dated July 25, 2023. I offer the Planning Commission the following comments for their consideration:

Analysis

The signs (.5'x13.75') are slightly longer than the previous but fits into the existing sign band above both entrance doors. In addition, in place of the previous window sign (Dr. Bert Brown) the applicant is proposing the same but with the name of the new business with a small logo.

The property is located in the Macedonia Town Center District and subject to heightened architectural standards as outlined in Chapter 1172 of the Planning and Zoning Code. Because this is an outlot in the Commons, the Signage Criteria for the plaza do not apply. But, being in the Town Center I do believe the style of sign should reflect general compliance with the other signs in the District. Specifically, the applicant is proposing a vinyl digital printed sign as opposed to raised dimensional lettering, which is what a majority of signs in the Commons utilize.



Section 1179.03 (f) (2) permits two square feet of sign area for every lineal foot of building (tenant) frontage. The applicant's tenant frontage is approximately 24 feet wide, which permits approximately

48 square feet. The proposed signs at .5'x13.75' are 6.8 square feet each, for a total of 13.75 square feet.

Section 1179.07 (f) (4) regulates window signage not to exceed 25% of the total glass area of ground floor windows. The proposal is to place two small (2.9'x2.13') approximately 6.16 square foot decals with a matt white solid background on the same two windows previously covered with signage.

Finally, a new 1.63'x7.42' (12.08 sq.ft.) sign panel is proposed for the existing ground monument sign.

Conclusion

The signage complies with the area standards of the Code, but I am concerned with the style. Specifically, two issues should be addressed.

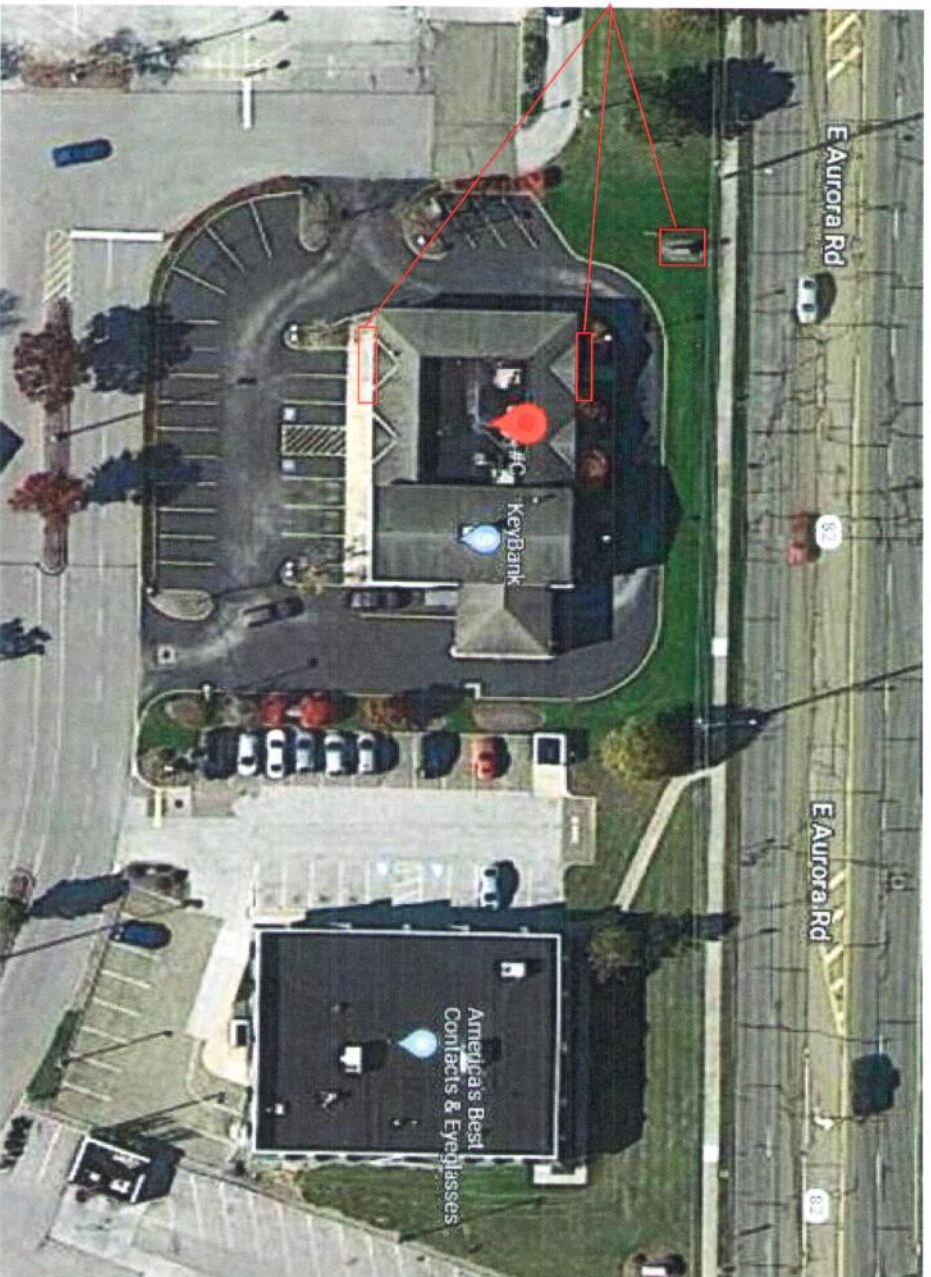
- 1) The wall signs should be revised to reflect dimensional letters and not a printed vinyl graphic given the location of the building in the Town Center District; and
- 2) The matt white background on the windows should be clear to allow light through the signage. The Commission has historically avoided window graphics with solid backgrounds to ensure compliance with the 25% restriction.

Please do not hesitate to contact me with any questions.

LOCATION



NORTH ELEVATION



Sign Locations

SOUTH BUILDING FRONT ELEVATION

PROJECT



OHIO HEARING & AUDIOLOGY

640 E. Aurora Rd. #C
Macedonia, OH. 44056

REVISIONS

1	4/12/23
2	6/8/23

Project Manager: Sign Crafters

Client Signature:

Date:

PAGE 1 of 6

Address: 640 E. Aurora Rd. #C Macedonia, OH. 44056

Changes: add south & north elevation photos

Revision Number: 2

File Location: Jesse/Ar101CDriver?Jobs/OhioHearingandAudiology/Macedonia/OhioHearingMacedonia0HR2

Date: 11-8-22

Scale: 1/2" = 1'

Artist: Jesse

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North Olmsted
26747 Brookpark Rd. EXT.
North Olmsted, Ohio 44070
PH: 440-716-0000

640 E. Aurora Rd. #C
 Macedonia, OH, 44056

REVISIONS
 SCOPE OF WORK

4/12/23
 6/9/23
MFR/INSTALL:
 (1) NEW WHITE 6MM
 ACM PANEL
 W/VINYL GRAPHICS
 APPLIED 1ST SURFACE
 FOR ONE EXISTING
 S/S SIGN

OHIO HEARING & AUDIOLOGY

16 1/2"
 CUT SIZE

165" CUT SIZE

6"

DIGITAL PRINT AND VINYL COLOR SPECS



PMS 200
 CMYK: 3 99 63 2
 RGB: 187 0 0
 HEX: #D90000
 3M 3630-73 DARK RED
 TRANSLUCENT VINYL
 3M 7725-263 PERFECT
 MATCH RED
 OPAQUE VINYL

PMS 424
 CMYK: 56 47 47 19
 RGB: 102 102 102
 HEX: #666666
 3M 3630-71 SHADOW GREY
 TRANSLUCENT VINYL
 3M 7725-151 TRAFFIC GRAY
 OPAQUE VINYL

White
 CMYK: 0 0 0 0
 RGB: 255 255 255
 HEX: #FFFFFF
 3M 7725-10 MATT WHITE
 TRANSLUCENT VINYL

Black
 CMYK: 0 0 0 100
 RGB: 0 0 0
 HEX: #000000
 3M 3630-22 BLACK
 TRANSLUCENT VINYL
 3M 7725-12 BLACK
 OPAQUE VINYL



6mm ACM w/Vinyl Graphics

PROPOSE NEW PANELS

EXISTING CONDITIONS

Project Manager: Sign Crafters Client Signature: Date: PAGE 6 of 6

Address: 640 E. Aurora Rd. #C Macedonia, OH, 44056 Changes: add south & north elevation photos Revision Number: 2 Scale: 1/2" = 1' Artist: Jesse

File Location: Jesse/Art101CDrive?Jobs/OhioHearingandAudiology/Macedonia/OhioHearingMacedoniaOHR2 Date: 11-8-22

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OHIO HEARING & AUDIOLOGY

640 E. Aurora Rd. #C
Macedonia, OH, 44056

REVISIONS
SCOPE OF WORK

MFR/INSTALL:
(1) NEW WHITE 6MM
ACM PANEL

1 4/12/23
2 6/8/23

W/VINYL GRAPHICS
APPLIED 1ST SURFACE
FOR ONE EXISTING
S/S SIGN

16 1/2" CUT SIZE
OHIO HEARING & AUDIOLOGY
6" CUT SIZE

165" CUT SIZE

6mm ACM w/Vinyl Graphics



PROPOSE NEW PANELS



EXISTING CONDITIONS

DIGITAL PRINT AND VINYL COLOR SPECS



PMS 200
CMYK: 3 100 63 12
RGB: 187 0 0
HEX: #D00000
3M 3630-73 DARK RED TRANSLUCENT VINYL

PMS 424
CMYK: 56 47 47 15
RGB: 102 102 102
HEX: #666666
3M 3630-71 SHADOW GREY TRANSLUCENT VINYL

3M 7725-263 PERFECT MATCH RED OPAQUE VINYL

3M 7725-151 TRAFFIC GRAY OPAQUE VINYL



White
CMYK: 0 0 0 0
RGB: 255 255 255
HEX: #FFFFFF
3M 7725-10 MATT WHITE TRANSLUCENT VINYL

Black
CMYK: 0 0 0 100
RGB: 0 0 0
HEX: #000000
3M 7725-12 BLACK OPAQUE VINYL

Project Manager: Sign Crafters

Client Signature:

Date:

PAGE 5 of 6

Address: 640 E. Aurora Rd. #C Macedonia, OH, 44056

Changes: add south & north elevation photos

Revision Number:2

File Location: Jesse/AM101CDrive?Jobs/OhioHearingandAudiology/Macedonia/OhioHearingMacedoniaOHR2

Date: 11-8-22

Scale: 1/2" = 1'

Artist: Jesse

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North Olmsted
26747 Brookpark Rd. EXT.
North Olmsted, Ohio 44070
PH: 440-716-0000

NORTH SIDE FRONT ELEVATION



PROJECT



OHIO HEARING & AUDIOLOGY

640 E. Aurora Rd. #C
Macedonia, OH, 44056

REVISIONS	SCOPE OF WORK
1. 4/12/23	MFR/INSTALL:
2. 6/8/23	(2) NEW WHITE LEXAN PANELS

W/VINYL GRAPHICS
APPLIED 1ST SURFACE
FOR ONE EXISTING
D/F TENANT MONUMENT
SIGN

DIGITAL PRINT AND VINYL COLOR SPECS



PMS 200

CMYK: 1 100 61 12

RGB: 187 0 0

HEX: #f00000

3M 3630-73 DARK RED
TRANSLUCENT VINYL

3M 7725-269 PERFECT
MATCH RED

OPAQUE VINYL



PMS 424

CMYK: 56 47 47 15

RGB: 102 102 102

HEX: #666666

3M 3630-71 SHADOW GREY
TRANSLUCENT VINYL

3M 7725-151 TRAFFIC GRAY
OPAQUE VINYL



White

CMYK: 0 0 0 0

RGB: 255 255 255

HEX: #ffff

3M 7725-10 MATT WHITE
TRANSLUCENT VINYL

3M 7725-12 BLACK
OPAQUE VINYL



Black

CMYK: 0 0 0 100

RGB: 0 0 0

HEX: #000000

3M 3630-22 BLACK
TRANSLUCENT VINYL

3M 7725-12 BLACK
OPAQUE VINYL

Project Manager: Sign Crafters

Client Signature:

Date:

PAGE 4 OF 6

Address: 640 E. Aurora Rd. #C Macedonia, OH, 44056

Changes: add south & north elevation photos

Revision Number: 2

File Location: Jesse/Ar101C/Drive?Jobs/OhioHearingandAudiology/Macedonia/OhioHearingMacedonia0AHR2

Date: 11-8-22

Scale: 1/2" = 1'

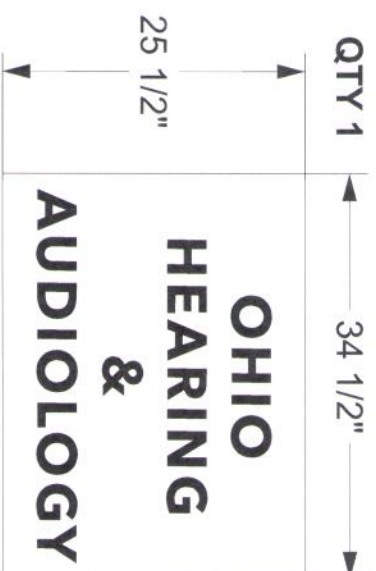
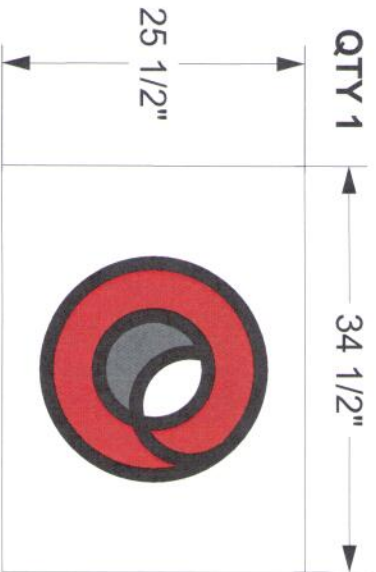
Artist: Jesse

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26747 Brookpark Rd. EXT.
North Olmsted, Ohio 44070
PH: 440-716-0000

NORTH SIDE ELEVATION



PROJECT

OHIO HEARING & AUDIOLOGY

640 E. Aurora Rd. #C
 Macedonia, OH, 44056

REVISIONS	SCOPE OF WORK
1 4/12/23	MFR/INSTALL: NEW VINYL GRAPHICS APPLY 2ND SURFACE ON WINDOWS AS SHOWN
2 6/8/23	

DIGITAL PRINT AND VINYL COLOR SPECS

	
PMS 200 CMYK: 3 100 63 12 RGB: 597 0 0 HEX: #b20000 3M 7725-263 PERFECT MATCH RED OPAQUE VINYL	PMS 424 CMYK: 56 47 47 15 RGB: 102 102 102 HEX: #666666 3M 7725-151 TRAFFIC GRAY OPAQUE VINYL



Digital Vinyl Graphics



EXISTING CONDITIONS

Project Manager: Sign Crafters

Client Signature:

Date:

PAGE 2 of 6

Address: 640 E. Aurora Rd. #C Macedonia, OH, 44056

Changes: add south & north elevation photos

Revision Number:2

File Location: Jesse/AT01 CD/rive?Jobs/OhioHearingandAudiology/Macedonia/OhioHearingMacedoniaOHR2

Date: 11-8-22

Scale: 3/4" = 1'

Artist: Jesse

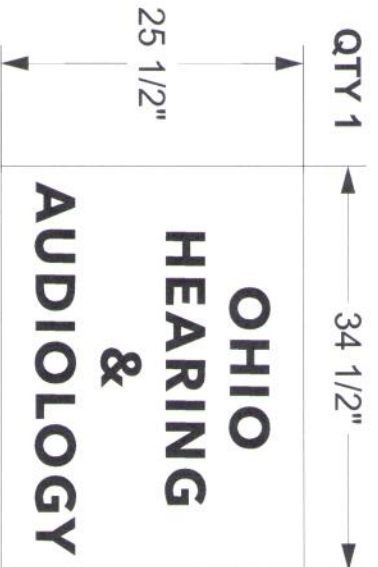
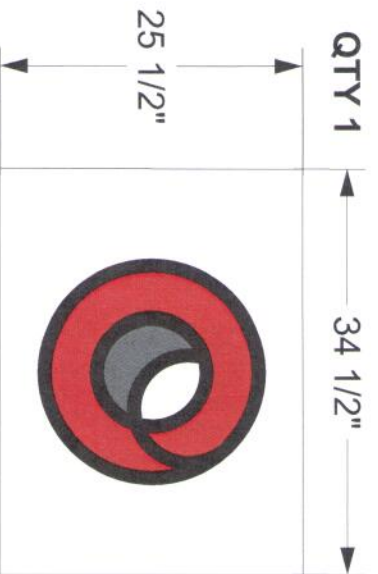
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Signarama
 North Olmsted
 The way to grow your business.

26747 Brookpark Rd. EXT.
 North Olmsted, Ohio 44070
 PH: 440-716-0000

SOUTH SIDE FRONT ELEVATION



Digital Vinyl Graphics



EXISTING CONDITIONS

PROJECT



OHIO HEARING & AUDIOLOGY

640 E. Aurora Rd. #C
Macedonia, OH, 44056

REVISIONS

Δ 4/12/23
Δ 6/8/23

SCOPE OF WORK

**MFR/INSTALL:
NEW VINYL GRAPHICS
APPLY 2ND SURFACE
ON WINDOWS
AS SHOWN**

DIGITAL PRINT AND VINYL COLOR SPECS



PMS 200
CMYK: 3 100 63 12
RGB: 197 0 0
HEX: #D00000



PMS 424
CMYK: 56 47 47 15
RGB: 102 102 102
HEX: #666666

3M 7725-263 PERFECT MATCH RED OPAQUE VINYL

3M 7725-151 TRAFFIC GRAY OPAQUE VINYL



White
CMYK: 0 0 0 0
RGB: 255 255 255
HEX: #FFFF



Black
CMYK: 0 0 0 100
RGB: 0 0 0
HEX: #000000

3M 7725-10 MATT WHITE

3M 3630-22 BLACK TRANSLUCENT VINYL

3M 7725-12 BLACK OPAQUE VINYL

Project Manager: Sign Crafters

Client Signature:

Date:

PAGE 3 of 6

Address: 640 E. Aurora Rd. #C Macedonia, OH, 44056

Changes: add south & north elevation photos

Revision Number: 2

File Location: Jesse/Art101 CDrive?Jobs/OhioHearingandAudiology/Macedonia/OhioHearingMacedoniaOHR2

Date: 11-8-22

Scale: 3/4" = 1'

Artist: Jesse

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City of Macedonia

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(330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

APPLICATION FOR HEARING BEFORE THE MACEDONIA PLANNING COMMISSION

All Plans for Submittal Must be **FOLDED**.
No Rolled Plans will be Accepted.

Address of Property Involved: 8210 MACEDONIA COMMONS BLVD #68

Nature of Request: WALL SIGN (TWO(2) FRONT & SIDE)

Applicant Name: CESCO IMAGING (COGNAC SIGN Co) Phone: 440 813 9481

Applicant Address: 4330 N. BEND RD ASTABULA OH 44004

Applicant Email Address: gdragon@cescoimaging.com

Applicant Signature: [Signature] - GEORGE DRAGON Date: 7/14/23

Notes: TWO(2) IDENTICAL IN SIZE WALL SIGNS (FRONT & SIDE)

Meeting Date: _____

Filing Fee: \$ 350.00

Deadline for submitting applications is **21 DAYS** prior to the meeting date. When applying for a hearing, please furnish **THIRTEEN** sets of sketches, maps, drawings, descriptions, or photographs of the property in question. **THIRTEEN** copies of the site plans are required. **PLANS MUST BE FOLDED, NOT ROLLED.** No rolled plans will be accepted. If new construction is involved, the landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commissioner's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: Permit fees are not included in the filing fee, additional fees may be required.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
City of Macedonia

Please submit plans to:
Macedonia Building Department
9691 Valley View Road
Macedonia, Ohio 44056

Memorandum

TO: Nicholas Molnar, Mayor
and Macedonia Planning Commission

FROM: Brian M. Frantz, AICP

SUBJECT: Any Lab Test Now – New Signage

DATE: August 6, 2023

The applicant is proposing new signage for their tenant space (previously PostNet) in Macedonia Commons (unit 64). Unit 64 is a corner unit and the previous tenant has a wall sign on both frontages.

I have reviewed a sign application (including sign illustrations) dated July 14, 2023 in connection with this request and offer the Planning Commission the following information for their consideration:

Analysis

The proposed signs are identical at 2.17'x10.92' (23.69 sq.ft.), which totals 47.38 square feet of signage. Unit 64 measures 22 feet on the main frontage, which provides for 44 square feet of sign area. The blank secondary frontage measures 50 feet. For the secondary frontage, the approved signage criteria for the Commons refers to the Planning and Zoning Code to regulate corner unit signs. Specifically, Section 1179.07 (f) (1) of the Code states that corner units are provided 40% of the allowable sign area of the main frontage. The primary frontage of Unit 64 is 22 square feet and 40% of this figure reflects an increase of 8.8 square feet. In total, Unit 64 is provided 52.8 square feet (44+8.8). Therefore, the proposal at 47.38 square feet complies with the total area provided for Unit 64.

I have reviewed the proposal for compliance with the approved signage criteria for Macedonia Commons and find a few issues remain, as noted below.

- 1) The side returns and trim cap are shown as bronze. Per the approved requirements, these items must be painted Akzo Wyandotte 641 Dark Bronze (Duranodic 313 E or equal). **ACTION ITEM: A revised plan that reflects Akzo Wyandotte 641 Dark Bronze (Duranodic 313 E or equal) must be provided.**
- 2) The proposal does not specifically state the color blue being requested. **ACTION ITEM: Provide specific information about the color blue being proposed on a revised plan.**
- 3) All signs shall project a maximum of 12 inches from the face of the building. The letter can shall not exceed five inches deep and the raceway depth shall not exceed seven inches deep. **ACTION ITEM: A revised sign plan must reflect compliance with the requirement.**
- 4) The bottom of the sign shall be 15 inches from the bottom of the fascia sign band. **ACTION ITEM: A revised sign plan must reflect compliance with the requirement.**

Please note: letter colors can be chosen by the tenant pursuant to a June 2014 Planning Commission amendment to the Macedonia Commons sign plan. However, the minutes reflect the Commission's desire to still retain approval of sign colors. The revisions to Chapter 1179 of the Code permit primary and complementary colors. Blue is a primary color. If the Commission approves the letter color, the applicant must still adhere to the other requirements for the raceway and letter can depth.

Conclusion

The concerns noted in this report are minor but must be addressed on a revised plan. If the Commission determines that blue sign faces are acceptable pursuant to the June 2014 sign plan amendment, then the only minor items needing correction are noted above. If the Commission concurs, these revisions can be reviewed and approved administratively by the Building Department.

If you have any questions or need additional information, please feel free to contact me.

NOTE: THE COLORS ON THIS DRAWING MAY NOT ACCURATELY REPRESENT THE COLORS SPECIFIED BELOW.

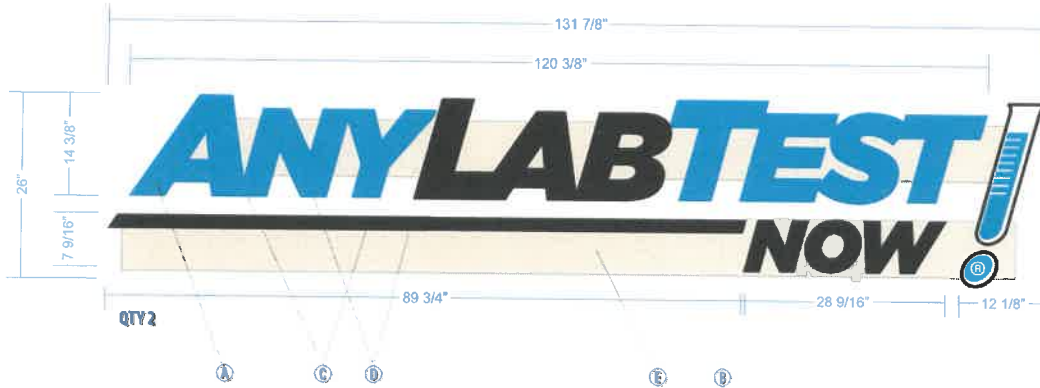


PHOTO SCALE: 3/16" = 1' - 0"

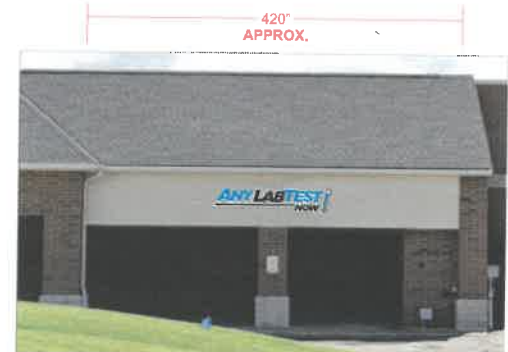
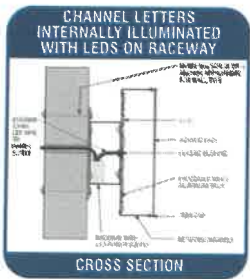


PHOTO SCALE: 3/32" = 1' - 0"



23.81 SQ FT
FABRICATE AND INSTALL QTY 2 SETS OF INTERNALLY ILLUMINATED FACE-LIT CHANNEL LETTERS ON RACEWAYS

"ANY LAB TEST NOW" COPY
 FACES - 1/8" 2447 WHITE ACRYLIC VINYL - MATCH SPECS
 RETURNS - 4" TO MATCH SPECS
 TRIM CAPS - 1" TO MATCH SPECS
 BACKS - 3mm WHITE DIBOND
 LEDS - WHITE
 RACEWAYS - 8" x 4" TO MATCH SPECS

"I" LOGO AND UNDERLINE
 FACES - 1/8" 2447 WHITE ACRYLIC VINYL - MATCH SPECS
 RETURNS - 4" TO MATCH SPECS
 TRIM CAPS - 1" TO MATCH SPECS
 BACKS - .063 ALUMINUM
 LEDS - WHITE
 RACEWAYS - 8" x 4" TO MATCH SPECS

INSTALLATION - RACEWAYS MOUNTED FLUSH TO FASCIA, LETTERS MOUNTED FLUSH TO RACEWAYS

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PROJECT: ANY LAB TEST | LOCATION: MACEDONIA, OH
 SALESMAN: F.V.C. III | TYPE OF SIGN: (2) SETS OF INTERNALLY ILLUMINATED FACE-LIT CHANNEL LETTERS ON RACEWAYS
 DRAWN BY: VAW
 FONT(S): FONT TYPE

VOLTAGE: 120 277

DESIGN APPROVAL SIGNATURE
 X

DATE OF DRAWING: 07/06/2023
 PRINT # ANY LAB TEST-2300



City of Macedonia
The Crossroads of Northeast Ohio
9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

PLANNING COMMISSION
REQUIREMENTS and MEETING DATES

1. **Macedonia Planning Commission Application** and fee.
2. When applying for a hearing, please furnish TWO sets of sketches, maps, drawings, descriptions, or photographs of the property in question.
3. **TWO** copies of site plans are required and are to be **FOLDED**, not rolled. Rolled plans will not be accepted; 11x17 is preferred for Planning Commission review only.
4. An electric copy must be submitted to sroganish@macedonia.oh.us.
5. If new construction is involved, a lighting and landscape plan should be prepared and submitted. The signage plan should be prepared and submitted separately.
6. Submittal by the due date does not guarantee a place on the agenda for the next meeting. The Building Commissioner determines the meeting date after reviewing the plans submitted.
7. The applicant will be emailed or contacted by phone with additional fees that may be required.
8. The applicant will be notified by email of the meeting date and the agenda will be attached.
9. The applicant may receive emailed memos with comments from the City Planner, City Engineer, City Architectural Advisor, and the City Fire Inspector. These documents will be reviewed and discussed at the meeting.
10. Attendance at the meeting is not required, but highly recommended. This is the opportunity to answer any questions that the Planning Commission might have.
11. Permit fees are not included in Planning Commission fees and will be determined only after approval.

Please submit application, plans, and payment to:

Macedonia Building Department
9691 Valley View Road
Macedonia, Ohio 44056

★ Service ★ Commitment ★ Pride ★



City of Macedonia

The Crossroads of Northeast Ohio

9691 Valley View Road • Macedonia, Ohio 44056
(330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

APPLICATION FOR HEARING BEFORE THE MACEDONIA PLANNING COMMISSION

All Plans for Submittal Must be **FOLDED**.
No Rolled Plans will be Accepted.

DATE OF APPLICATION: 07/17/2023

LOCATION OF PROPERTY INVOLVED: 59 E Aurora Rd Macedonia OH

NATURE OF REQUEST: Illuminated channel letters

APPLICANT NAME: Be Next Awnings & Graphics PHONE: 216-688-1800

APPLICANT ADDRESS: 5109 Clark Ave Cleveland OH 44102

APPLICANT EMAIL ADDRESS: usabannersplus@gmail.com/alddure2000@gmail

APPLICANT SIGNATURE: [Signature] DATE: 07/17/23

NOTES: Illuminated cloud sign on raceways for
"Papa Smokes" mounted flush. Cloud channel letters
& bar faces to be 3116" white acrylic with translucent vinyl.

MEETING DATE: _____ FILING FEE: _____ ESCROW REQUIRED: _____

Deadline for submitting applications is **21 DAYS** prior to the meeting date. When applying for a hearing, please furnish **TWO** sets of sketches, maps, drawings, descriptions, or photographs of the property in question. **TWO** copies of the site plan are required. **PLANS MUST BE FOLDED, NOT ROLLED.** No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, the landscape and lighting plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commissioner's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE, ADDITIONAL FEES MAY BE REQUIRED.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to:
City of Macedonia

Please submit plans to:
Macedonia Building Department
9691 Valley View Road
Macedonia, Ohio 44056

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BNEXT

Cleveland Office

5109 Clark Ave.
Cleveland, Ohio 44102
216-688-1800

TEXT 216-407-7711 TO CHAT NOW!

| Monday-Friday | 9:00 am - 5:00 pm |

CLIENT: PAPA SMOKES

CONTACT:

ADDRESS: 59 E AURORA Rd MACEDONIA 44056

DRAWING: 0000080

DATE: 15-07-2023

REPRESENTATIVE: Aldo Dure aldodure2000@gmail.com

FILE: house of smokers / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	15-07-23
Design	Juan J. Monsanto	15-07-23

JOB DESCRIPTION

ILLUMINATED CHANNEL LETTERS ON RACEWAY

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:

Papa SMOKES

59 E AURORA Rd MACEDONIA 44056



BNEXT

Cleveland Office
5109 Clark Ave.
Cleveland, Ohio 44102
216-688-1800

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FILE: house of smokers / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	15-07-23
Design	Juan J. Monsanto	15-07-23

JOB DESCRIPTION

ILLUMINATED CHANNEL LETTERS ON RACEWAY

Illuminated cloud sign on raceways for "PAPA SMOKES" mounted flush. cloud channel Letters & bar faces to be 3/16" WHITE ACRYLIC with translucent vinyl ORACAL 8500 #031 RED 1" BLACK trim cap.

5" BLACK Returns for cloud channel Letters
Raceway painted to match facade TBD.

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:

33' FRONTAGE

ILLUMINATED CHANNEL LETTERS ON RACEWAY SIGN **A**



SIGN **A**

SURVEY NEEDED TO VERIFY DIMENSIONS

BASED ON ARCHITECTURAL RENDERINGS

NEED SIGN PLACEMENT APPROVAL

COLOR SPECIFICATIONS

- 3/16" WHITE ACRYLIC
- 1" BLACK TRIMCAP
- 063 BLACK ALUMINUM RETURNS
- PAINT TO MATCH FACADE TBD
- ORACAL 8500 #031 Red
- ORACAL 8500 #070 Black

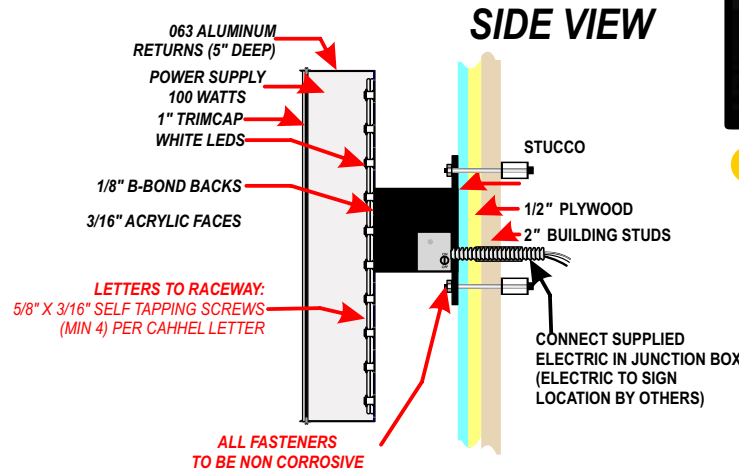
Customer Initials to approve colors

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NIGHT VIEW SIGN **A**

MEASUREMENT SIGN **A**



SIGNAGE REPRESENTS 51.4' SQ FT

Memorandum

TO: Nicholas Molnar, Mayor
and Macedonia Planning Commission

FROM: Brian M. Frantz, AICP

SUBJECT: Papa Smokes – New Signage

DATE: August 6, 2023

The applicant is proposing new signage for their tenant space (previously Don Basch) located at 509 East Aurora Road. The site is zoned B-1 Convenience Business District.

I have reviewed a sign application (including sign illustrations) dated July 17, 2023 in connection with this request and offer the Planning Commission the following information for their consideration:

Analysis

Section 1179.03 (f) (2) permits two square feet of identification signage for each lineal foot of building frontage. The proposed sign is divided into two elements: the word “Papa” is 3.5’x7.8’ (27.3 sq.ft.) and the word “Smokes” is 2’x12.2’ (24.4 sq.ft.). Combined, the sign is 51.7 square feet.

Since the applicant essentially has two frontages due to the configuration of the building, a total of approximately 112 square feet of wall signage is permitted.

In addition to sign area, the applicant’s illustration proposes individual raised red lettering, which is consistent with the surrounding signage.

Conclusion

Based on these facts, I believe the proposal can be approved as submitted.

Please do not hesitate to contact me with any questions.



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The Crossroads of Northeast Ohio
 9691 Valley View Road • Macedonia, Ohio 44056
 (330) 468-8360 • FAX (330) 468-8396

Building/Engineering/Zoning/Planning Department

**APPLICATION FOR HEARING BEFORE THE
 MACEDONIA PLANNING COMMISSION**

All Plans for Submittal Must be **FOLDED**.
 No Rolled Plans will be Accepted.

DATE OF APPLICATION: 07/21/2023

LOCATION OF PROPERTY INVOLVED: 683 E Aurora Rd. Macedonia, OH 44056

NATURE OF REQUEST: Exterior elevation remodel, no change in footprint, minimal exterior refresh

APPLICANT NAME: Briana Borkowski **PHONE:** (614) 487-8770

APPLICANT ADDRESS: 589 W Nationwide Blvd, Suite B Columbus, OH 43215

APPLICANT EMAIL ADDRESS: Bborkowski@redarchitects.com

APPLICANT SIGNATURE:  **DATE:** 7.20.2023

NOTES:

MEETING DATE: 08/21/2023 **FILING FEE:** \$50.00 **ESCROW REQUIRED:** \$500.00

Deadline for submitting applications is **21 DAYS** prior to the meeting date. When applying for a hearing, please furnish **TWO** sets of sketches, maps, drawings, descriptions, or photographs of the property in question. **TWO** copies of the site plan are required. **PLANS MUST BE FOLDED, NOT ROLLED.** No rolled plans will be accepted. 11x17 is acceptable for Planning Commission review only. If new construction is involved, the landscape and lighting plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commissioner's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE, ADDITIONAL FEES MAY BE REQUIRED.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to: City of Macedonia	Please submit plans to: Macedonia Building Department 9691 Valley View Road Macedonia, Ohio 44056
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Memorandum

TO: Nicholas Molnar, Mayor
and Macedonia Planning Commission

FROM: Brian M. Frantz, AICP

SUBJECT: Arby's – Exterior Modifications

DATE: August 8, 2023

Arby's is proposing to modify some of the exterior features of their building located at 683 East Aurora Road. The property is zoned B-1 Convenience Business District.

I have reviewed an application dated July 21, 2023 (including a site development plan), I offer the following comments for Planning Commission's consideration of the request:

Request

In addition to the interior improvements, the following exterior changes are proposed.

- 1) A new ordering menu board on the east side of the building is being replaced (see sheet AS1.3);
- 2) New metal awnings around the building (see sheet A2.1 & A2.2); and
- 3) Paint in various locations (see sheets 4-8).

The plans illustrate replacement signage, but it's my understanding that signage is not part of this request and will be proposed by a different party at a later date.

Analysis

Generally, I don't have significant concerns about the project other than a color rendering of the exterior



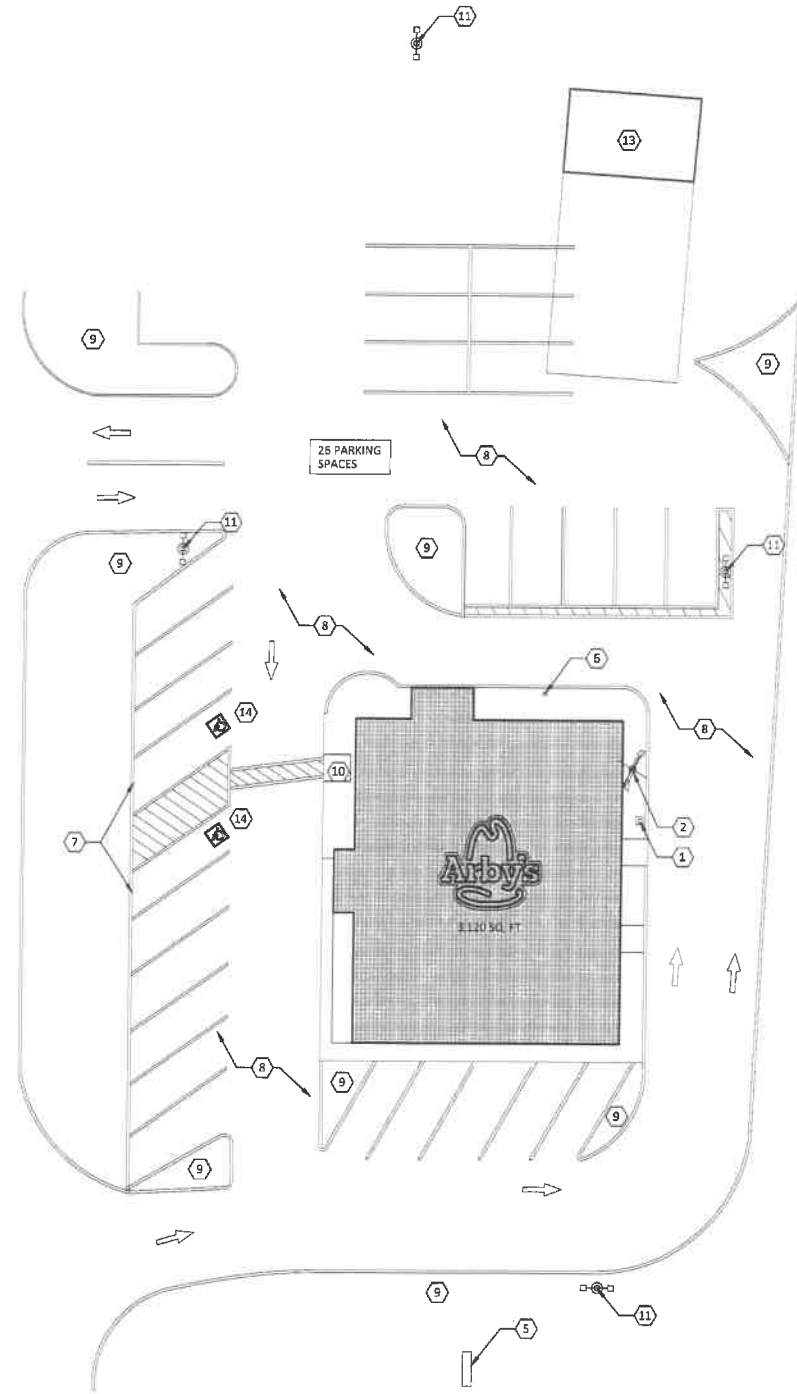
modifications is not provided. This is necessary to fully understand the colors proposed for the exterior walls and metal awnings. Moreover, it's unclear to me if the proposed awnings are individual or a single long unit covering multiple windows. The single awning approach will match the existing condition and is the preferred option (see existing conditions above).

Conclusion

The proposed plans don't provide a color elevation for the project and the exterior paint colors are difficult to understand. I suggest a detailed color rendering be provided to fully evaluate the request. Absent this, the Planning Commission should table this item until the detailed color elevation is provided.

Please do not hesitate to contact me with any questions.

SUMMER ROAD



CODED NOTES (X)

1. INSTALL NEW OWNER FURNISHED DRIVE THRU CANOPY AT EXISTING LOCATION. GENERAL CONTRACTOR TO INSTALL CONCRETE BASE AND ANCHOR BOLTS FOR NEW CANOPY AND SPEAKER POST. HOLD FACE OF FOUNDATION TO THE BACK OF CURB. REFER TO ELECTRICAL DRAWINGS.
2. EXTERIOR MENU BOARD TO BE REPLACED WITH NEW.
3. NOT USED.
4. NOT USED.
5. REFER TO SIGNAGE DRAWINGS FOR SIGNAGE SCOPE OF WORK.
6. REMOVE CLEARANCE BAR.
7. NEW ADA SIGNAGE. REFER TO AS1.2.
8. SEAL AND RE-STRIPE PARKING LOT.
9. EXISTING LANDSCAPING TO REMAIN, G.C. TO REPAIR ANY DAMAGES AT GC COST.
10. LOCATION OF NEW ACCESSIBLE CONCRETE CURB RAMP AND ACCESSIBLE ROUTE TO ENTRY DOOR ARE FOR REFERENCE ONLY. ALL ACCESSIBLE PATHWAYS, PARKING STALL AND ACCESS AISLE REQUIREMENTS FOR OHIO ADA ACCESS COMPLIANCE TO BE DOCUMENTED/DESIGNED BY CIVIL ENGINEER AND INSTALLED BY CONTRACTOR AS REQUIRED FOR ADA COMPLIANCE PER DETAIL 5/AS1.2.
11. EXISTING SITE LIGHTING TO REMAIN. SCRAPE AND REPAINT POLES AS REQUIRED SW#2808 ROOKWOOD DARK BROWN.
12. NOT USED.
13. DUMPSTER ENCLOSURE TO MATCH BUILDING. CLEAN AND REPAIR BRICK. CLEAN AND PAINT GATES SW #2808 ROOKWOOD DARK BROWN. COORDINATE WITH OWNER. G.C. TO REPLACE ALL NON FUNCTIONING HARDWARE.
14. GC TO CONFIRM EXISTING ADA PARKING SPACES MEET JURISDICTION CODES.

SITE PLAN GENERAL NOTES

1. NEW SITE PAVING AND/OR SIDEWALK WORK SHOWN ON SITE PLAN IS FOR GENERAL INFORMATION ONLY. RED ARCHITECTURE + PLANNING, LLC IS NOT RESPONSIBLE FOR THESE SCOPES OF WORK MEETING ACCESSIBILITY REQUIREMENTS. SITE MODIFICATIONS SHALL MEET ACCESSIBILITY REQUIREMENTS AND THE OWNER IS TO ASSIGN THIS RESPONSIBILITY.
2. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
3. PROVIDE DETECTABLE WARNING AT TRANSITION FROM SIDEWALK TO DRIVE AISLE.
4. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE A SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
5. CROSS SLOPE ALONG ENTIRE LENGTH OF ACCESSIBLE ROUTE NOT TO EXCEED 2%.
6. REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL SLOPE.
7. SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS, & SITE LIGHTING BASES.
8. REFER TO OWNER'S BID NOTES FOR SITE LIGHTING SCOPE.

FOUNDATIONS

1. PREPARE AREA OF THE SITE SUPPORTING THE STRUCTURE BY REMOVING ALL TOPSOIL, EXISTING FILL, ORGANIC MATERIAL, OR FROZEN WET, SOFT, LOOSE OR OTHERWISE UNSUITABLE MATERIALS.
2. THE EMPLOYING OF A QUALIFIED SOIL-TESTING AGENCY IS RECOMMENDED TO VERIFY THAT THE ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF IS ACCEPTABLE UNDER THE FOOTING AT THE INDICATED BEARING ELEVATION AND THE ASSUMED SOIL LATERAL LOAD BEARING CAPACITY AS DEFINED BY THE 2000 INTERNATIONAL BUILDING CODE OF 100 PSF/FT IS ACCEPTABLE.
3. FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED MATERIAL ON ALL SIDES. IF UNSUITABLE MATERIAL IS ENCOUNTERED OR THE BEARING CAPACITY DOES NOT MEET THE REQUIRED SPECIFICATIONS, A GEOTECHNICAL ENGINEER SHALL BE EMPLOYED FOR RECOMMENDATIONS FOR REMEDIATION.
4. PLACE FOOTINGS THE SAME DAY EXCAVATIONS ARE OPENED. IF THIS IS NOT POSSIBLE, ADEQUATELY PROTECT THE EXPOSED MATERIAL. IN THE BASES OF THE FOOTING EXCAVATIONS FROM ANY DETRIMENTAL CHANGE IN CONDITION SUCH AS FROM DISTURBANCE, RAIN, OR FREEZING. SURFACE RUNOFF SHALL NOT BE ALLOWED TO ENTER THE EXCAVATIONS.

CONCRETE

ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 306. DO NOT PLACE DURING RAIN, SLEET, OR SNOW WITHOUT ADEQUATE PROTECTION.

CONCRETE SCHEDULE

CLASS	28 DAY COMPRESSIVE STRENGTH	AIR CONTENT	CONCRETE PLACEMENT
A	3000 PSI	6% ± 1%	FOOTING

REINFORCING STEEL

1. ALL REINFORCING STEEL BENDS, HOOKS, LAP SPLICES, AND MINIMUM CONCRETE COVER SHALL CONFORM TO THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318) UNLESS OTHERWISE INDICATED.
2. SET FOOTING BARS TO WOOD POSITIONING TEMPLATES AT TOP OF FOOTING. ALL REINFORCING STEEL SHALL BE SUPPORTED AND SECURED AGAINST DISPLACEMENT IN ACCORDANCE WITH CONCRETE REINFORCING STEEL INSTITUTE'S "MANUAL OF STANDARD PRACTICE".
3. SUPPORT BOTTOM OF FOOTING REINFORCEMENT WITH CONCRETE MASONRY UNITS.
4. DETAILS OF FABRICATION AND PLACING OF REINFORCEMENT NOT SHOWN ON THESE PLANS SHALL FOLLOW THE CURRENT ISSUE OF THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" AS ADOPTED BY THE AMERICAN CONCRETE INSTITUTE.
5. ALL CONCRETE REINFORCEMENT MATERIALS SHALL BE NEW, FREE FROM RUST, AND COMPLYING WITH THE FOLLOWING REFERENCE STANDARDS:
A. ALL REINFORCING BARS: ASTM A-615, GRADE 60

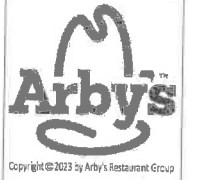
NORTH

ARCHITECTURAL SITE PLAN
 1/16" = 1'-0"

red
 architecture + planning
 589 w nationwide blvd
 suite b
 columbus, ohio 43215
 tel: 614.487.8770
 fax: 614.487.8777



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ARBY'S RESTAURANT - #6974
 BUILDING REMODEL
 683 E AURORA ROAD
 MACEDONIA, OHIO 44056
 FOR
 ARBY'S RESTAURANT GROUP
 THREE GLENLAKE PARKWAY, ATLANTA, GA 30328

PROJECT NUMBER: ARG575

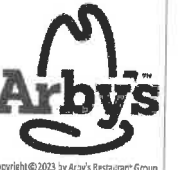
ISSUE	DATE
SD	MAY 4, 2023
OWNER REVIEW	JULY 3, 2023
PERMIT	JULY 11, 2023

ARCHITECTURAL SITE PLAN

SHEET:
AS1.1



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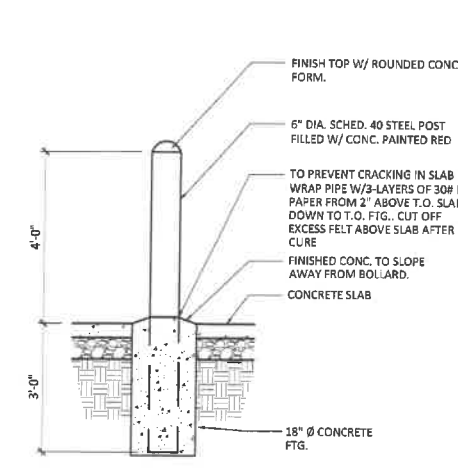
ARBY'S RESTAURANT - #6974
BUILDING REMODEL
683 E AURORA ROAD
MACEDONIA, OHIO 44056
FOR
ARBY'S RESTAURANT GROUP
THREE GLENLAKE PARKWAY, ATLANTA GA 30328

PROJECT NUMBER: ARGS75	
ISSUE	DATE
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OWNER REVIEW	JULY 3, 2023
PERMIT	JULY 11, 2023

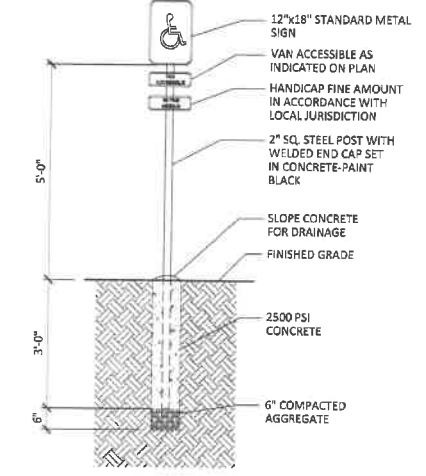
SITE DETAILS

SHEET:

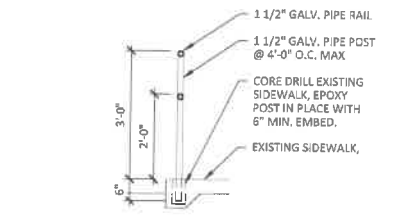
AS1.2



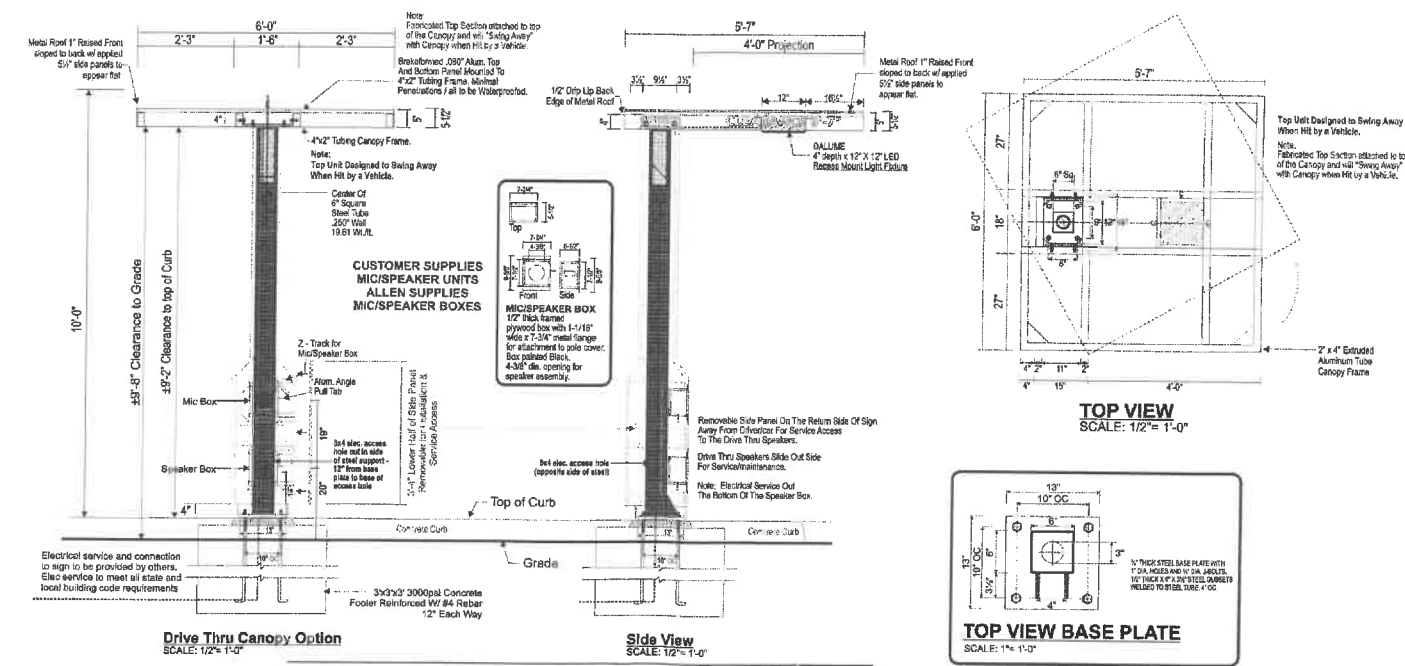
FOR REFERENCE ONLY
1 TYP. BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



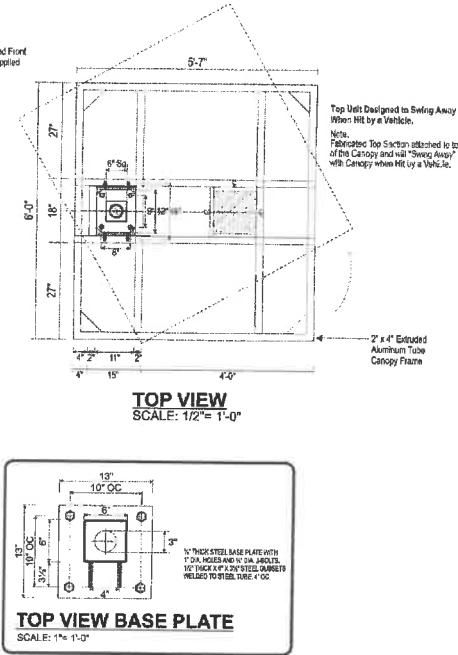
FOR REFERENCE ONLY
2 ACCESSIBLE SIGN DETAIL
SCALE: 1/2" = 1'-0"



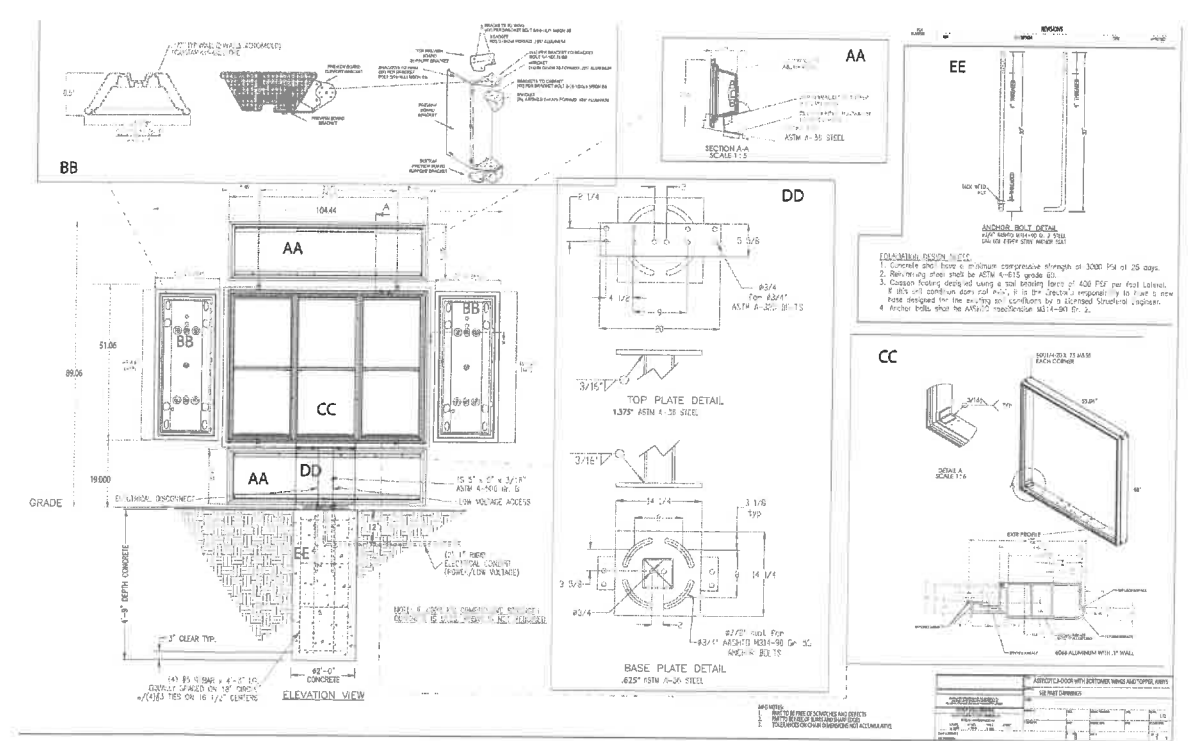
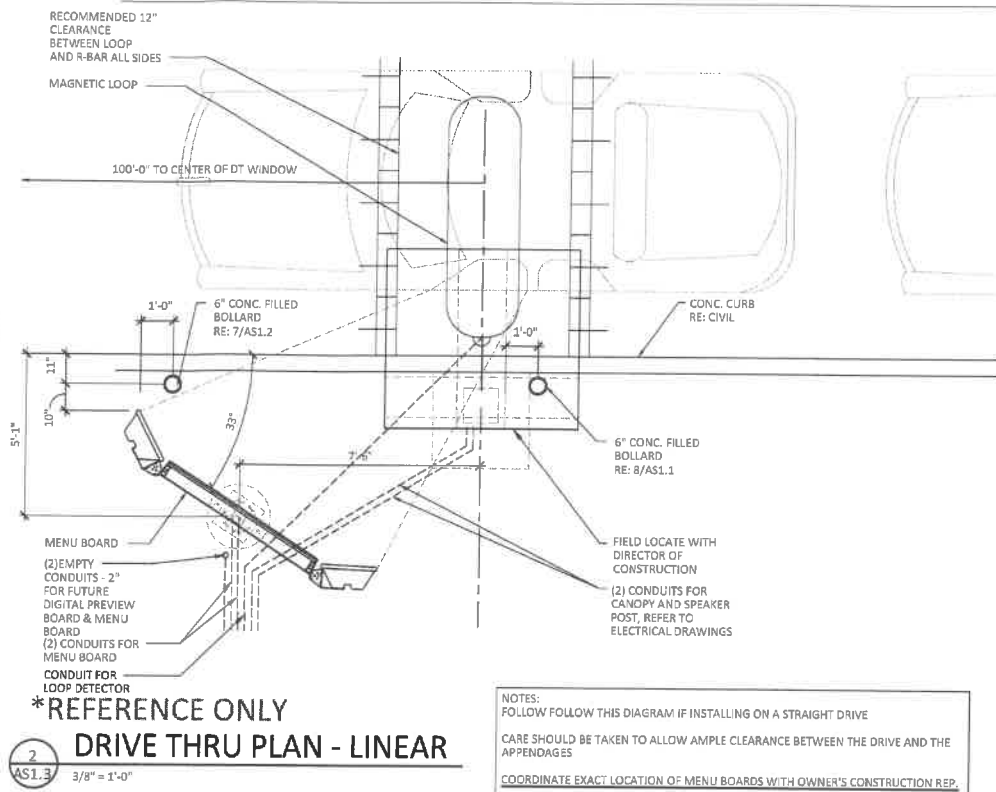
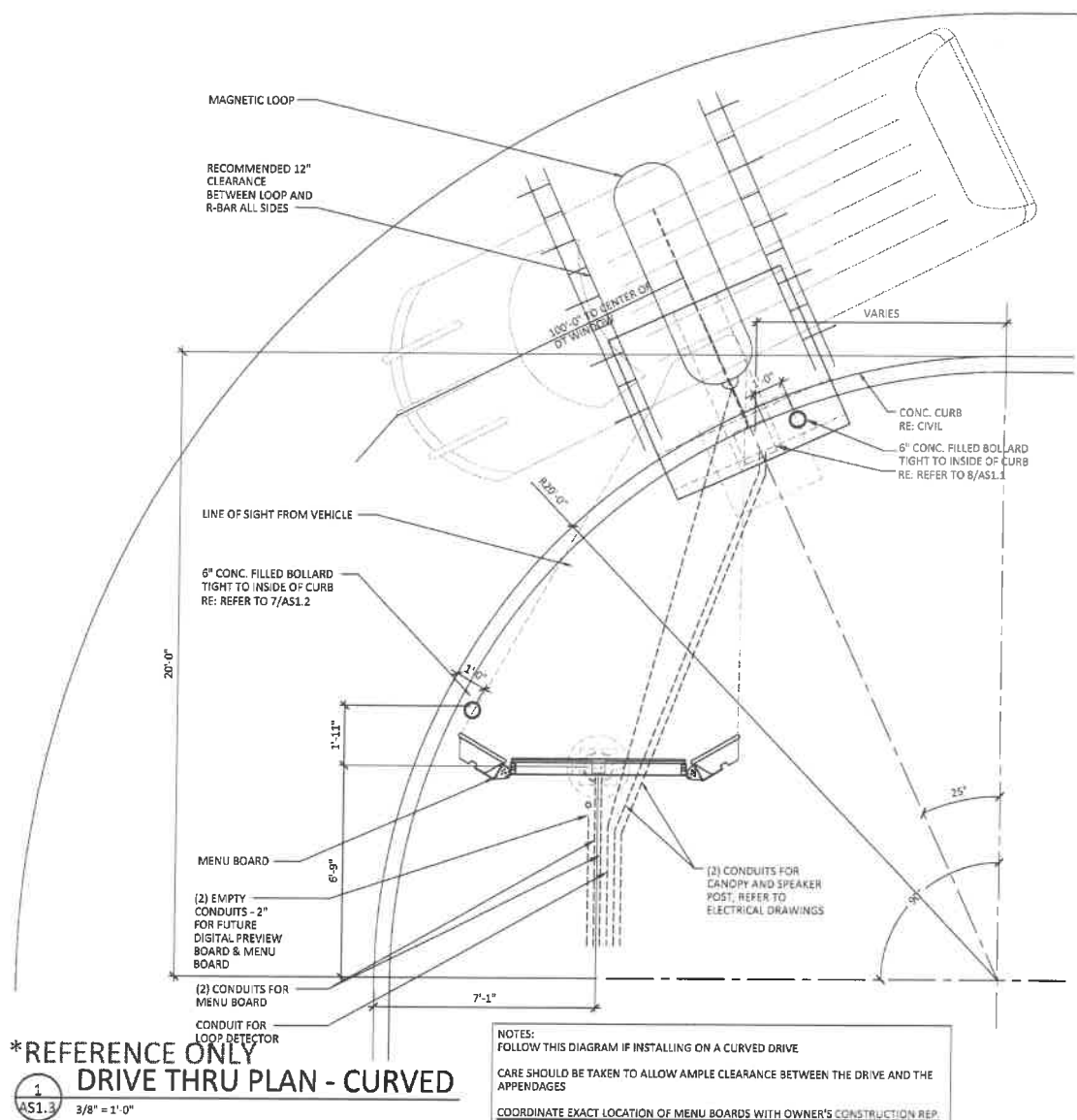
FOR REFERENCE ONLY
3 DRIVE THRU RAIL DETAIL
SCALE: 1/2" = 1'-0"



FOR REFERENCE ONLY
4 DRIVE THRU CANOPY DETAIL
SCALE: 1/2" = 1'-0"



FOR REFERENCE ONLY
5 ADA CONCRETE CURB RAMP DETAIL
SCALE: 1/2" = 1'-0"



OUTDOOR DRIVE THRU MENU SYSTEM

NOTE: MENU BOARD SUPPLIED BY OWNER, ASSEMBLED AND INSTALLED BY G.C.

BOARD SPECIFICATIONS:

OVERALL LIGHT BOX SIZE: 21-1/8" W X 8.50" D X 45-1/4" H
 OVERALL SIZE WITH BASE: 18-7/8" W (BASE) X 7'0" X 72" H
 SHIPPING WEIGHT: 65 LBS. (PREVIEW BOARD)
 23 LBS. / 11 LBS (POLE MOUNT/BASE FOR POLE)
 15 LBS. (BRACKET MOUNT)

SYSTEM BASICS:

1. THE SYSTEM IS COMPRISED OF ONE LIGHT BOX WITH THE OPTION OF MOUNTING IT THREE DIFFERENT WAYS. IT CAN BE MOUNTED AS A FREESTANDING PREVIEW BOARD WITH OPTIONAL PEDESTAL BASE AS AN APPENDAGE PREVIEW BOARD WITH AVAILABLE HARDWARE OR AS A WALL MOUNTED PREVIEW BOARD.
2. EACH SYSTEM IS DESIGNED FOR EASY TRANS-LITE REMOVAL USING TWO SEPARATE DOORS. THE PANEL OPTIONS, (TWO MINI TRANSPARENCIES OR ONE LARGE TRANSPARENCY PANEL) LIFT AND DROP INTO THE CABINET WITH EASE.
3. TRANS-LITE SIZES: FULL TRANS-LITE IS 15.75"W X 21.81"H
 MINI TRANS-LITE IS 15.50"W X 10.50"W

ELECTRICAL INFORMATION:

THE SYSTEM IS POWERED BY 110 VOLTS, 60 HERTZ ON A BASIC 15 AMP CIRCUIT.
 BALLAST REPLACEMENT: (1) POWER LIGHTING #883900W RAPID START 800MA 1.6 AMPS LAMP REPLACEMENT: (2) #42713/2/HO/42-55 WATT FLUORESCENT

BASIC CONSTRUCTION:

LIGHT BOX: ROTO MOLDED POLYETHYLENE ENCLOSURE
 DOOR: FORMED SHEET METAL, POWDER PAINTED, HINGED DOWN ENTIRE LENGTH.
 WINDOWS ARE NON-GLARE ACRYLIC 1/8" THICK WITH ALLEN WRENCH MOUNTED SCREWS.
 MENU PANEL: FABRICATED HEAT AND LIGHT RESISTANT ACRYLIC PLASTIC
 DOOR: ROTO-MOLDED POLYETHYLENE BASE

SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS (BY HOWARD COMPANY, INC.)

THE DRIVE THRU CANOPY SYSTEM IS A PRE-FABRICATED UNIT. THE CANOPY WILL BE PROVIDED BY OTHER AND INSTALLED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL PROVIDE THE CONCRETE FOUNDATION. COORDINATE THE EXACT LOCATION WITH THE SITE PLAN AND STRUCTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED CONDUIT FOR POWER/COMMUNICATION WIRING AND MAKE ALL FINAL CONNECTIONS TO THE CANOPY.

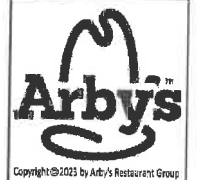
THESE ARE TYPICAL MENU BOARD DETAILS. THEY HAVE BEEN SUPPLIED BY ARBY'S RESTAURANT GROUP FOR INFORMATIONAL PURPOSES ONLY. THEY DO NOT TAKE THE PLACE OF SHOP DRAWINGS THAT SHOULD BE SUBMITTED BY THE CONTRACTOR/MANUFACTURER THAT IS RESPONSIBLE FOR THE SITE SPECIFIC PROJECT. ALL PROJECT SPECIFIC INFORMATION NEEDS TO BE COORDINATED WITH THE G.C., CIVIL ENGINEER, OWNER AND THE SOILS INVESTIGATION REPORT.

FOR REFERENCE ONLY
AS1.3
 N.T.S.

red
 architecture + planning
 589 W nationwide bldg
 suite b
 columbus, ohio 43215
 tel: 614.487.8770
 fax: 614.487.8777



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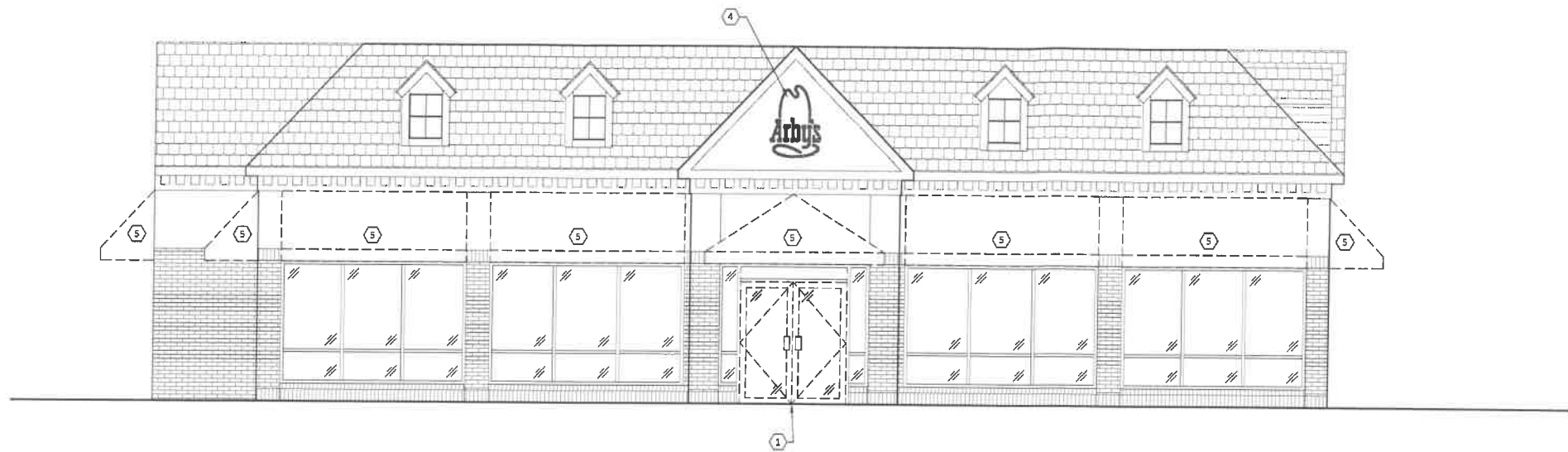


ARBY'S RESTAURANT - #6974
 BUILDING REMODEL
 683 E AURORA ROAD
 MACEDONIA, OHIO 44056
 FOR
 ARBY'S RESTAURANT GROUP
 THREE GLENLAKE PARKWAY, ATLANTA GA 30328

PROJECT NUMBER:	ARG575
ISSUE	DATE
SD	MAY 4, 2023
OWNER REVIEW	JULY 3, 2023
PERMIT	JULY 11, 2023

MENU BOARD DETAILS

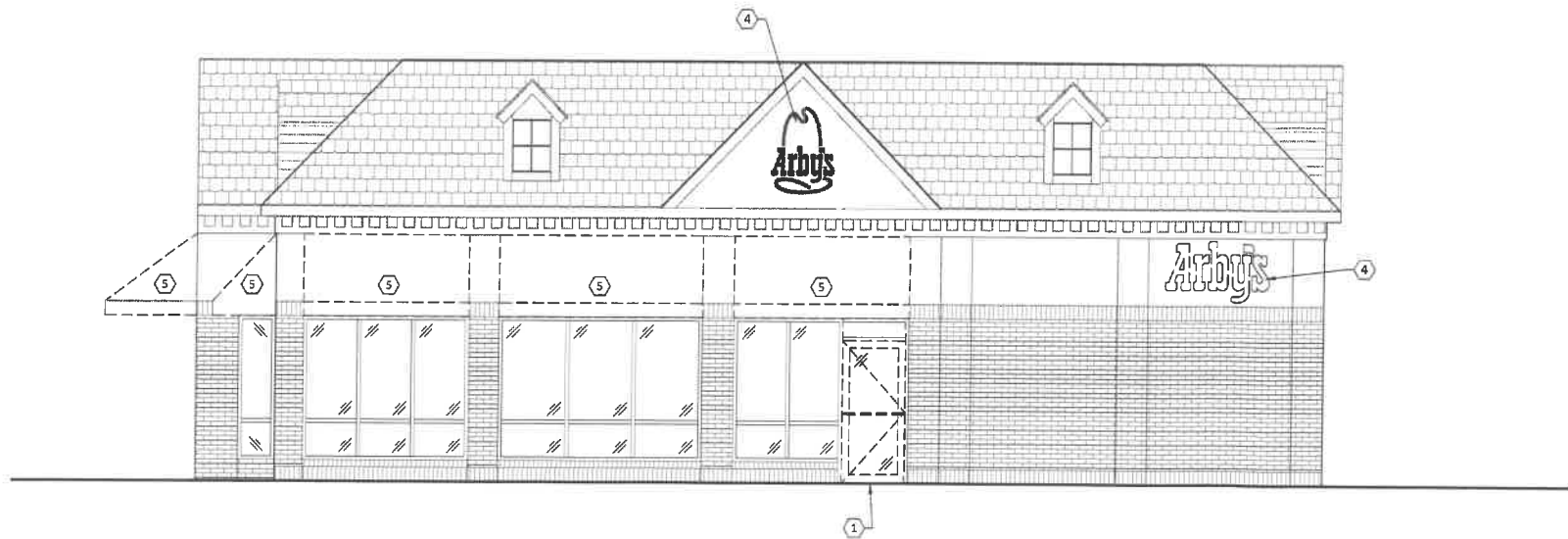
SHEET:
AS1.3



NOTE:
GC TO FIELD VERIFY EXISTING STRUCTURE.
IF EXISTING FRAME IS DIFFERENT FROM
THAT SHOWN ON DRAWINGS, NOTIFY
RESPONSIBLE FOR CONSTRUCTION ADMIN.

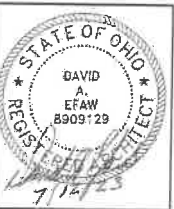
- CODING NOTES (X)**
1. REPLACE DOOR/STOREFRONT IN EXISTING FRAME.
 2. NOT USED.
 3. NOT USED.
 4. REMOVE EXISTING SIGNAGE.
 5. REMOVE EXISTING AWNINGS COMPLETELY.
 6. NOT USED.
 7. REMOVE EXISTING DRIVE THRU WINDOW. REMOVE PORTION OF EXISTING FRAME AND GLAZING COMPLETELY. REFER TO STRUCTURAL DRAWINGS.
 8. NOT USED.
 9. NOT USED.
 10. NOT USED.
 11. PREPARE EXISTING DOOR TO BE PAINTED. REFER TO ELEVATIONS.
 12. NOT USED.
 13. REMOVE EXISTING LIGHTING, TYP.
 14. NOT USED.

1 FRONT ELEVATION
AD2.1 1/4" = 1'-0"

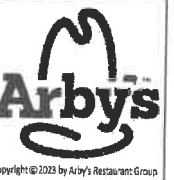


2 SIDE ELEVATION
AD2.1 1/4" = 1'-0"

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PROJECT NUMBER:
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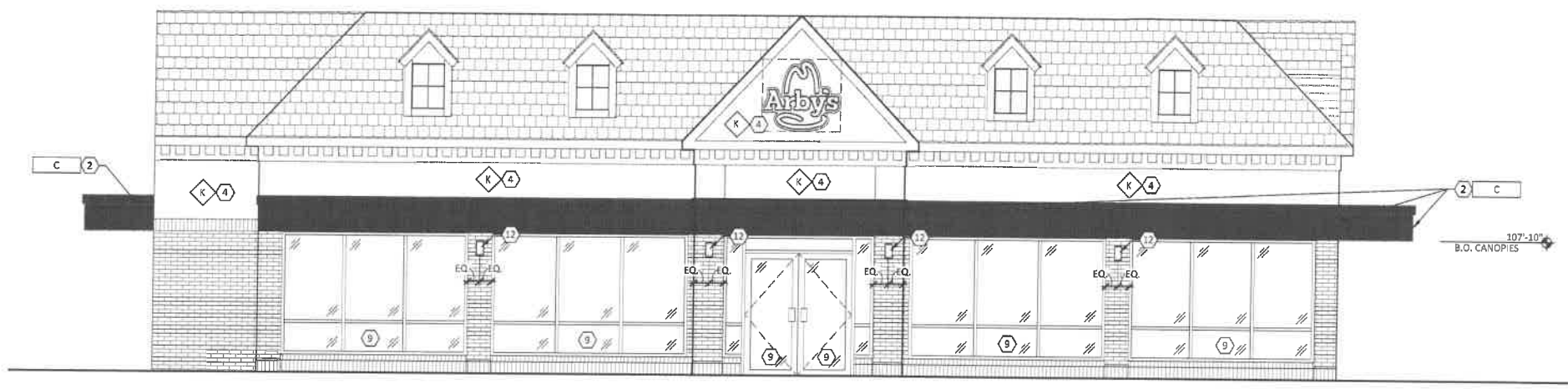
ISSUE	DATE
SD	MAY 4, 2023
OWNER REVIEW	JULY 3, 2023
PERMIT	JULY 11, 2023

DEMOLITION
ELEVATION

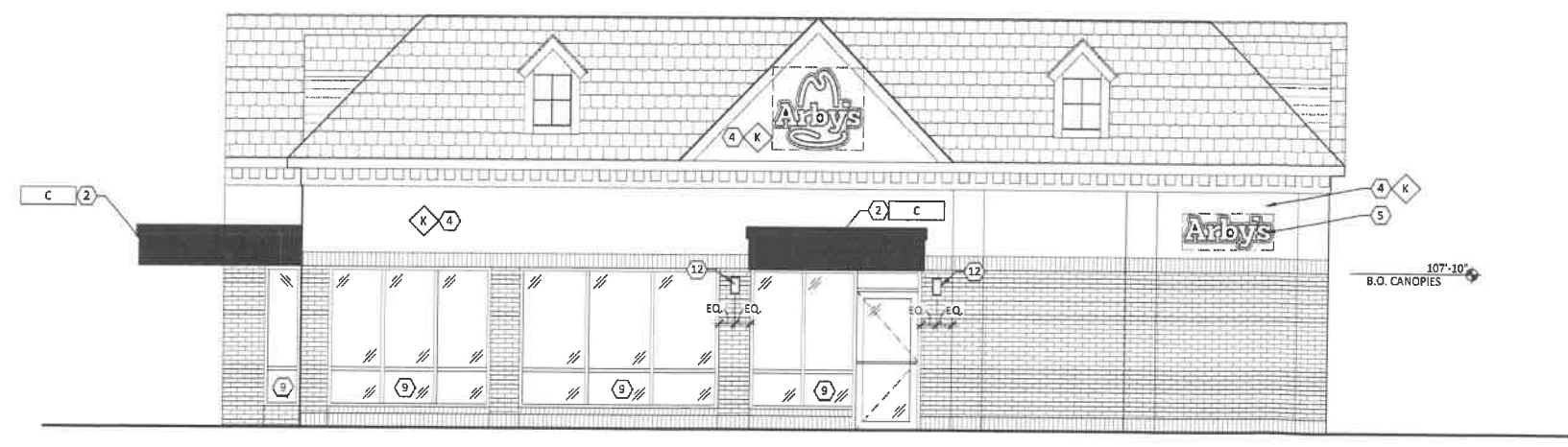
SHEET:
AD2.1

FINISH SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	NOT USED	---	---
A2	NOT USED	---	---
B	NOT USED	---	---
C	NOT USED	---	---
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	SHERWIN WILLIAMS	SW #7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH
METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
D	NOT USED	---	---

- PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. "F".
- MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- ALUMINUM STOREFRONT TO MATCH EXISTING.
- ALL GLAZING TO BE 1" INSULATED GLAZING.
- BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
- SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.
- REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.
- ALL ROOF TOP UNITS ARE TO BE SCREENED FROM VIEW ON ALL SIDES.



1 FRONT ELEVATION
A2.1 1/4" = 1'-0"



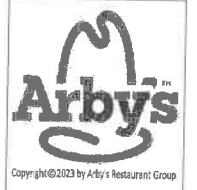
2 SIDE ELEVATION
A2.1 1/4" = 1'-0"

CODED NOTES		(X) (ALL CODED NOTES MAY NOT BE USED)
1. NOT USED.	EXISTING OPENING.	
2. PRE-FABRICATED METAL CANOPY/ACCENT BAND.	17. NOT USED.	
3. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.	18. NOT USED.	
4. PAINT EXISTING ACCENT BAND AND GABLE END SHERWIN WILLIAMS PURE WHITE.	19. NOT USED.	
5. ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.	20. NOT USED.	
6. PAINT EXISTING BOLLARD.	21. NOT USED.	
7. NOT USED.	22. NOT USED.	
8. NOT USED.	23. NOT USED.	
9. EXISTING STOREFRONT TO REMAIN.	24. NOT USED.	
10. NOT USED.	25. EXISTING DOOR AND FRAME TO REMAIN. PAINT FUNCTIONAL GRAY.	
11. NOT USED.	26. REPLACE EXISTING WALL PACK WITH NEW WALL PACK. REFER TO ELECTRICAL DRAWINGS.	
12. NEW WALL MOUNTED LIGHT FIXTURE.		
13. NOT USED.		
14. NOT USED.		
15. NOT USED.		
16. INSTALL NEW DRIVE-THRU WINDOW IN		

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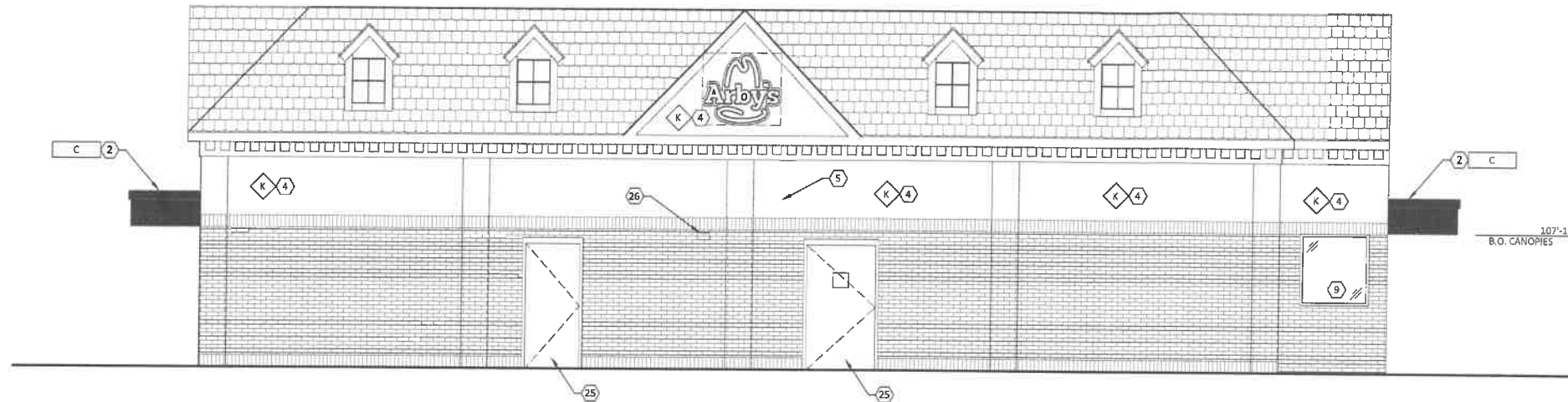
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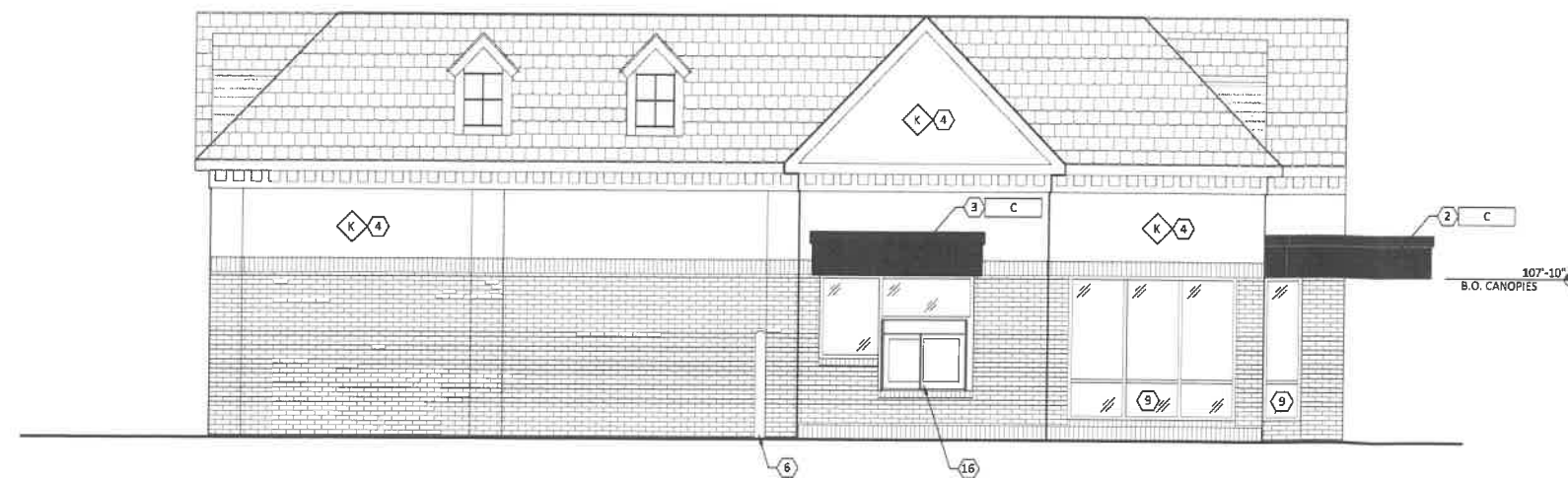
PROJECT NUMBER:	ARG575
ISSUE NO.	DATE
1	MAY 4, 2023
OWNER REVIEW	JULY 3, 2023
PERMIT	JULY 11, 2023

EXTERIOR ELEVATIONS
SHEET:
A2.1



1
A2.2
1/4" = 1'-0"

REAR ELEVATION



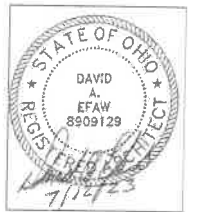
2
A2.2
1/4" = 1'-0"

SIDE ELEVATION

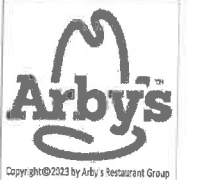
FINISH SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	DRYVIT	EIFS WALL SYSTEM (WHITE)	COLOR: ARBY081030 TEXTURE: SANDBLAST
A2	DRYVIT	CUSTOM BRICK SPECIALTY FINISH WITH 28 PT. 3/8" GROUT, BROOKLYN STYLE TEMPLATE	BRICK LAYER: ARBY121020, QUARZPUTZ GROUT LAYER: ARBY111009, NCB
B	NOT USED	---	---
C	DRYVIT	EIFS WALL SYSTEM (BROWN) WITH V-GROOVE REVEALS, REFER TO 3/A2.2	COLOR: ARBY131030 TEXTURE: SANDBLAST
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	SHERWIN WILLIAMS	SW #7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	SW #2808 ROCKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH
METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-3D19BR PRODUCT NAME: FC SD RAL 3000 FLAME RED	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
D	NOT USED	---	---
<ol style="list-style-type: none"> PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. "F". MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS. ALUMINUM STOREFRONT TO MATCH EXISTING. ALL GLAZING TO BE 1" INSULATED GLAZING. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS. ALL ROOF TOP UNITS ARE TO BE SCREENED FROM VIEW ON ALL SIDES. 			

CODED NOTES		(ALL CODED NOTES MAY NOT BE USED)
1. NOT USED.	17. NOT USED.	
2. PRE-FABRICATED METAL CANOPY/ACCENT BAND.	18. NOT USED.	
3. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.	19. NOT USED.	
4. NOT USED.	20. NOT USED.	
5. ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.	21. NOT USED.	
6. NOT USED.	22. NOT USED.	
7. NOT USED.	23. NOT USED.	
8. NOT USED.	24. NOT USED.	
9. EXISTING STOREFRONT TO REMAIN.	25. EXISTING DOOR AND FRAME TO REMAIN. PAINT FUNCTIONAL GRAY.	
10. NOT USED.	26. REPLACE EXISTING WALL PACK WITH NEW WALL PACK. REFER TO ELECTRICAL DRAWINGS.	
11. NOT USED.		
12. NEW WALL MOUNTED LIGHT FIXTURE.		
13. NOT USED.		
14. NOT USED.		
15. NOT USED.		
16. INSTALL NEW DRIVE-THRU WINDOW IN EXISTING OPENING.		

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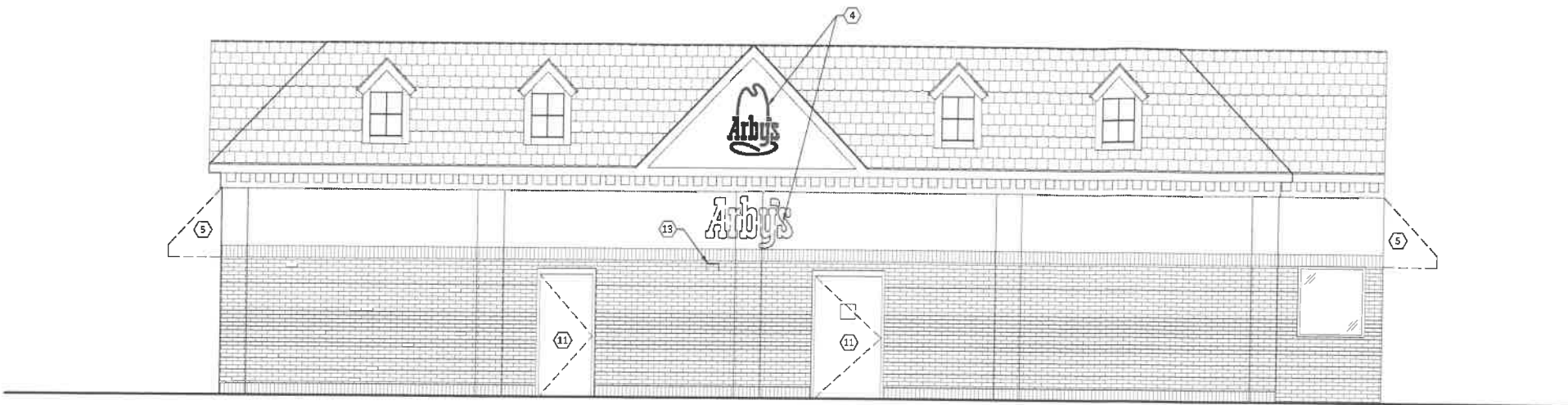


ARBY'S RESTAURANT - #6974
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683 E AURORA ROAD
MACEDONIA, OHIO 44056
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THREE GLENLAKE PARKWAY, ATLANTA GA 30328

PROJECT NUMBER:	ARG575
ISSUE	DATE
SD	MAY 4, 2023
OWNER REVIEW	JULY 3, 2023
PERMIT	JULY 11, 2023

EXTERIOR ELEVATIONS

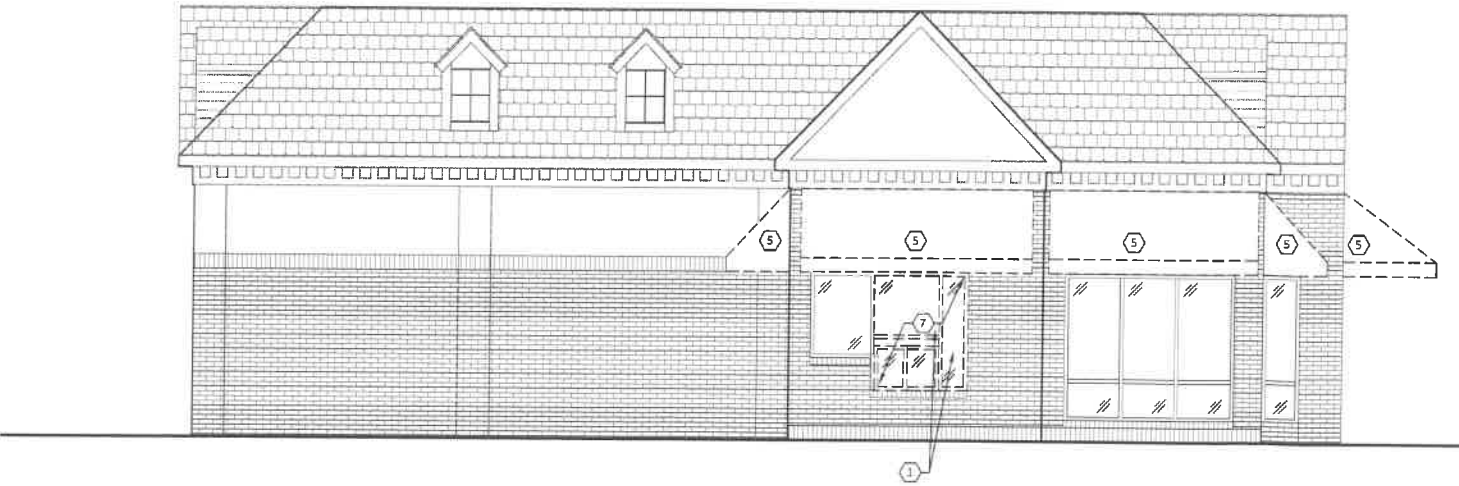
SHEET:
A2.2



NOTE:
GC TO FIELD VERIFY EXISTING STRUCTURE.
IF EXISTING FRAME IS DIFFERENT FROM
THAT SHOWN ON DRAWINGS, NOTIFY
RESPONSIBLE FOR CONSTRUCTION ADMIN.

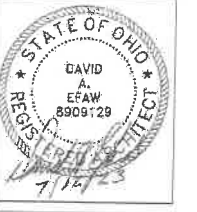
- CODED NOTES (x)**
1. REPLACE DOOR/STOREFRONT IN EXISTING FRAME.
 2. NOT USED.
 3. NOT USED.
 4. REMOVE EXISTING SIGNAGE.
 5. REMOVE EXISTING AWNINGS COMPLETELY.
 6. NOT USED.
 7. REMOVE EXISTING DRIVE THRU WINDOW. REMOVE PORTION OF EXISTING FRAME AND GLAZING COMPLETELY. REFER TO STRUCTURAL DRAWINGS.
 8. NOT USED.
 9. NOT USED.
 10. NOT USED.
 11. PREPARE EXISTING DOOR TO BE PAINTED. REFER TO ELEVATIONS.
 12. NOT USED.
 13. REMOVE EXISTING LIGHTING, TYP.
 14. NOT USED.

1 REAR ELEVATION
AD2.2 1/4" = 1'-0"

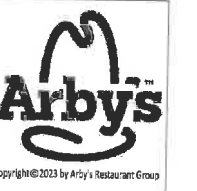


2 SIDE ELEVATION
AD2.2 1/4" = 1'-0"

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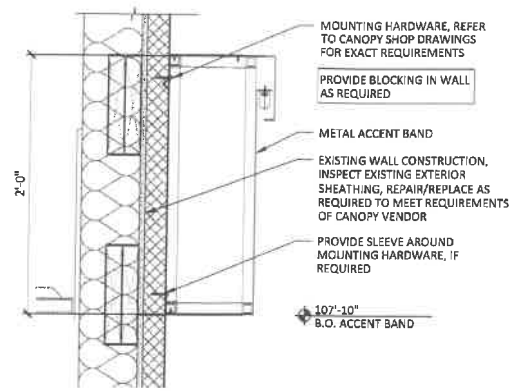
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683 E AURORA ROAD
MACEDONIA, OHIO 44056
FOR
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THREE GLENLAK PARKWAY, ATLANTA GA 30328

PROJECT NUMBER: ARGS75	
ISSUE	DATE
SD	MAY 4, 2023
OWNER REVIEW	JULY 3, 2023
PERMIT	JULY 11, 2023

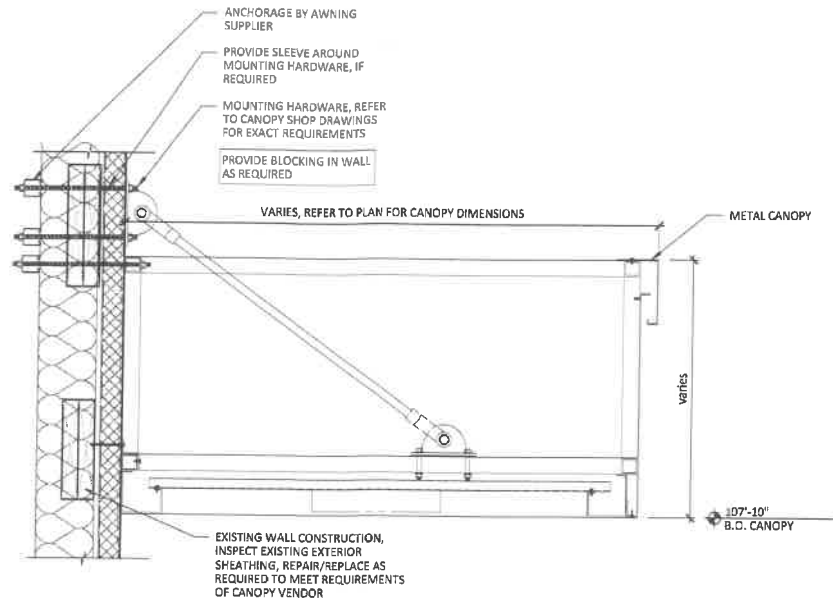
DEMOLITION
ELEVATION

SHEET:

AD2.2

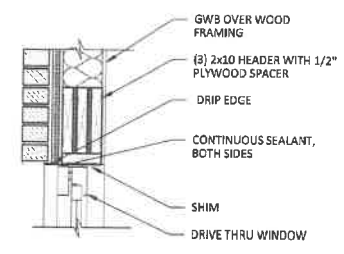


2 ACCENT BAND DETAIL
A4.1 1 1/2" = 1'-0"

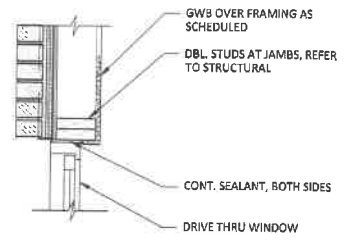


3 CANOPY BAND DETAIL
A4.1 1 1/2" = 1'-0"

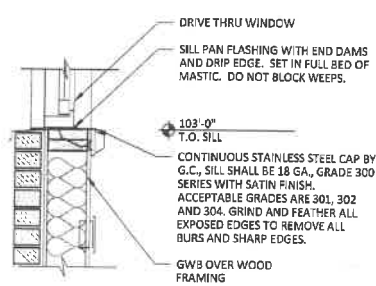
NOTIFY ENTITY RESPONSIBLE FOR CONSTRUCTION ADMINISTRATION IF CONDITIONS VARY FROM DRAWINGS/SECTIONS.



7 HEAD DETAIL
A4.1 1" = 1'-0"

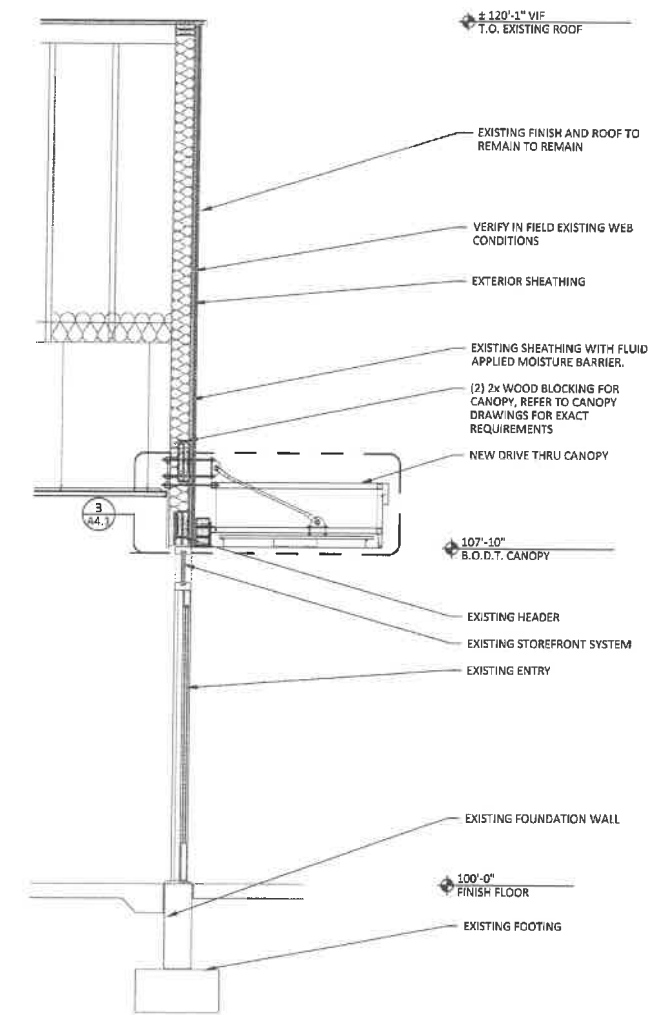


8 JAMB DETAIL
A4.1 1" = 1'-0"

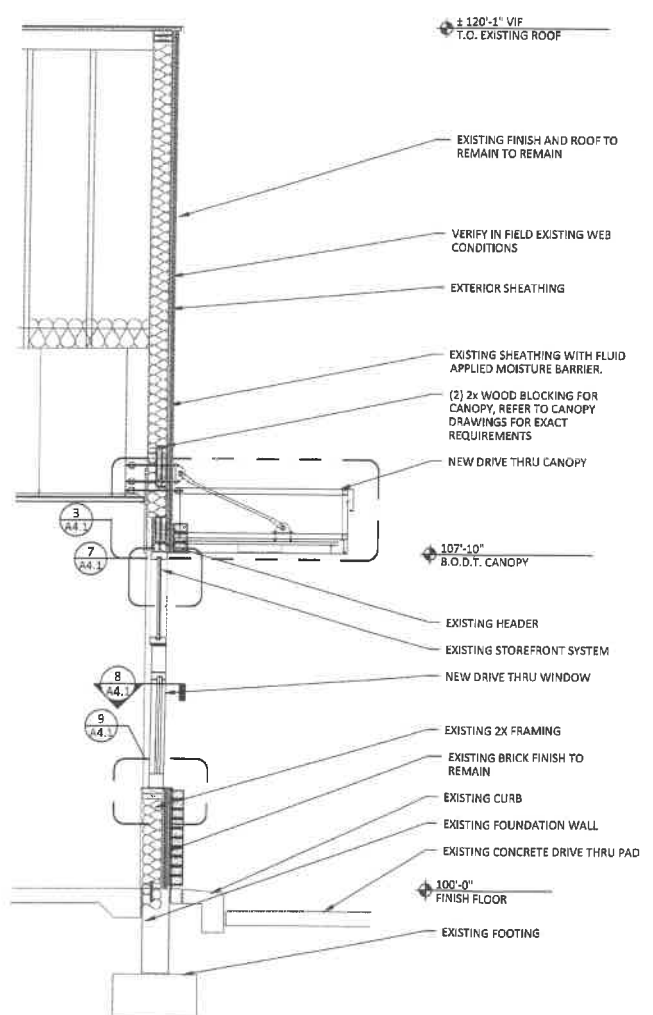


9 SILL DETAIL
A4.1 1" = 1'-0"

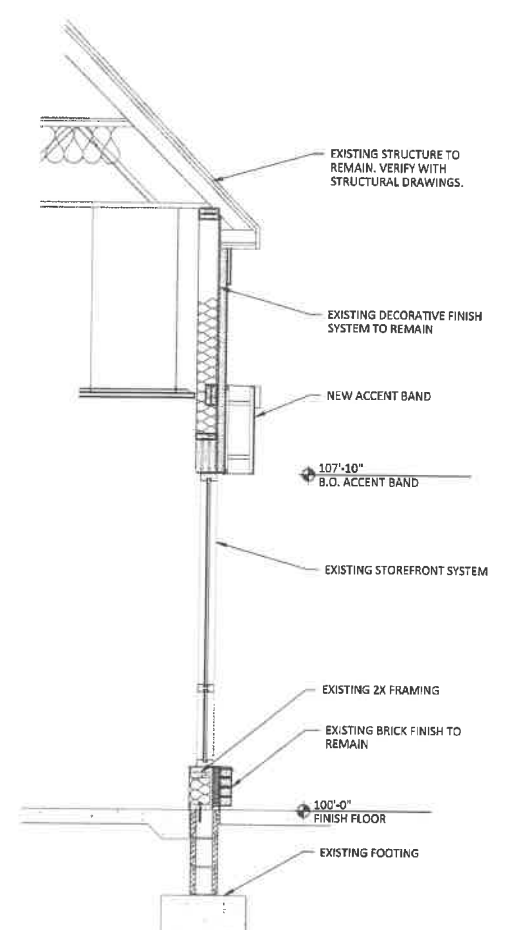
1 NOT USED
A4.1 1 1/2" = 1'-0"



4 WALL SECTION
A4.1 1/2" = 1'-0"

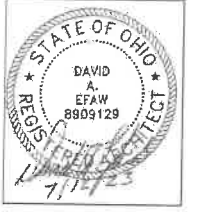


5 WALL SECTION
A4.1 1/2" = 1'-0"

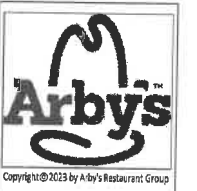


6 WALL SECTION
A4.1 1/2" = 1'-0"

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WALL SECTIONS AND DETAILS

SHEET:

A4.1