MACEDONIA PLANNING COMMISSION VIRTUAL MEETING AGENDA FEBRUARY 8, 2021

Location: Macedonia City Hall

Council Chambers 9691 Valley View road Macedonia, Ohio 44056

Time: 5:30 P.M.

Call to Order

Roll Call:

o Mr. Westbrooks

o Mr. Schiavone

o Mr. Cox

o Mr. Velotta

o Mr. Roberts

Approval of the January 11, 2021 meeting minutes.

Agenda Items:

1) Mr. Gatliff with OLIO Development is proposing renovation of the existing building located at 597 E. Aurora Rd. for Raising Cane's Chicken Fingers restaurant.

Drew Gatliff
OLIO Development
1062 Ridge St.
Columbus, Oh 43215
419-306-4024
dgatliff@oliodevgrp.com

Miscellaneous:

Adjournment

Tabled Items:

6/15/2020 Proposed New Building for Don Basch Jewelers located at Parcel #'s 3303733, 3301996, 3303238, 3302000, 3303240 and 3303242 located on Fairlane Dr.

The next regularly scheduled meeting is set for March 15, 2021.

All requests & documentation for the Planning Commission must be submitted by February 19, 2021

Tabled items will be removed after one (1) year of inactivity.



JAN **1 5** 2021

FOUS MACEDON

DATE OF ADDITIONAL

City of Macedonia

CITY OF MACEDONIA BUILDING DEPARTMENT

Building, Engineering, Zoning & Planning Dept.

9691 Valley View Road ^a Macedonia, Ohio 44056 330 / 468-8360 ^a Fax: 330 / 468-8396

APPLICATION FOR HEARING BEFORE THE MACEDONIA PLANNING COMMISSION

ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.

MEETING DATE:	FILING FEE:
Chicken Fingers restaurant. We wi	ill be modifying the site to accommodate a double drive-thru
	ate the existing Steak N' Shake into a Raising Cane's
APPLICANT SIGNATURE:	
APPLICANT EMAIL ADDRESS: dgatliff@	@oliodevgrp.com
APPLICANT ADDRESS: 1062 Ridge S	Street Columbus, OH 43215
APPLICANT NAME & PHONE: Drew G	atliff - OLIO Development - (419) 306-4024
NATURE OF REQUEST: Renovation o	f existing building
LOCATION OF PROPERTY INVOLVED:	597 E Aurora Road
DATE OF APPLICATION: November	1 10, 2020

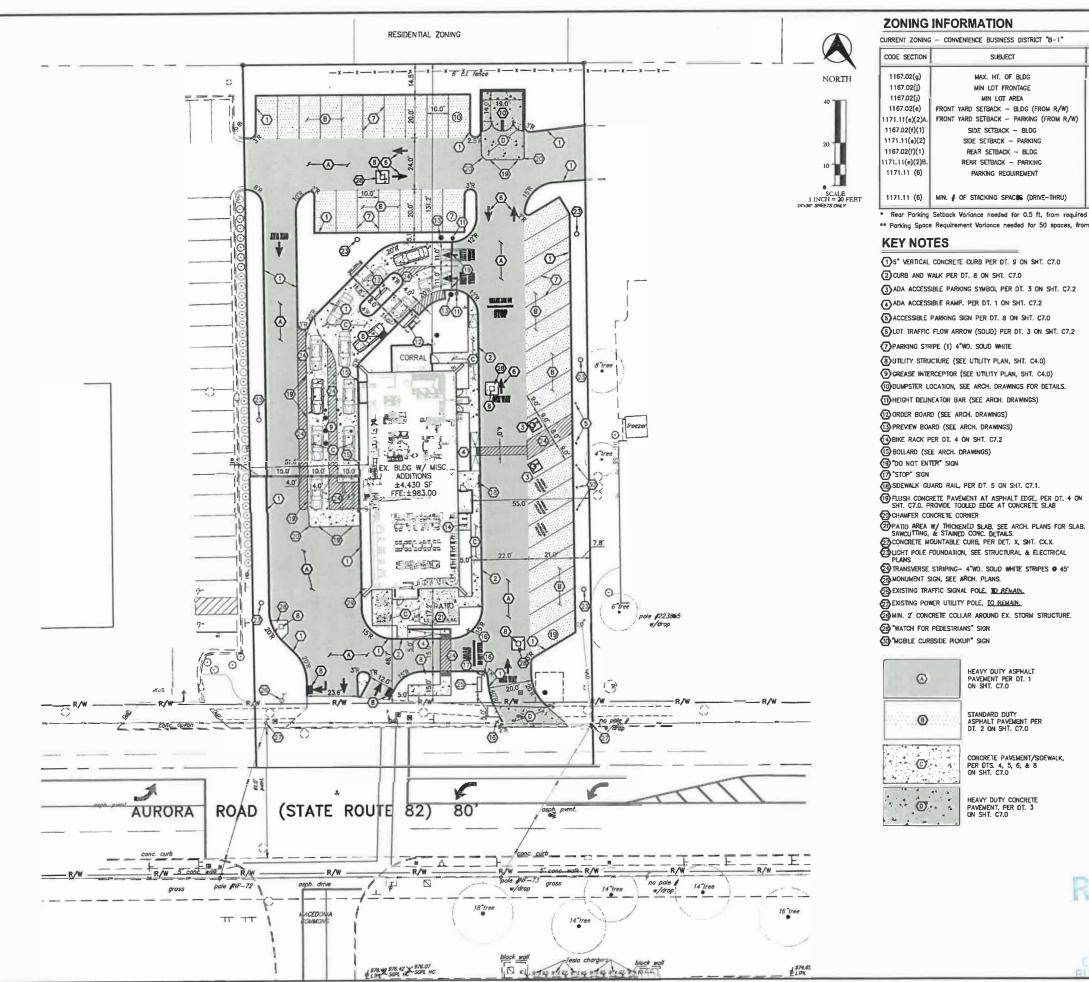
November 10, 2020

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish THIRTEEN sets of sketches, maps, drawings, descriptions, or photographs of the property in question. THIRTEEN copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE. ADDITIONAL FEES MAY BE REQUIRED.

The Macedonia Planning Commission meets on the 3rd Monday of each month.

Make checks payable to: City of Macedonia Please submit plans to: Macedonia Building Department 9691 Valley View Rd. Macedonia, OH 44056



CODE SECTION	SUBJECT	REQUIRED BY ZONING CODE	PROVIDED	
1167.02(g)	MAX. HT. OF BLDG	45 ft	180	
1167.02(j)	MIN LOT FRONTAGE	100 ft	158.6 ft	
1167.02(j)	MIN LOT AREA	20,000 sq ft	52,503 sq ft	
1167.02(e)	FRONT YARD SETBACK - BLDG (FROM R/W)	35 ft	48.7 ft	
1171.11(e)(2)A.	FRONT YARD SETBACK - PARKING (FROM R/W)	20 ft	21.4 ft	
1167.02(f)(1)	SIDE SETBACK - BLDG	10 ft	51.0 ft	
1171.11(e)(2)	SIDE SETBACK - PARKING	O ft	6.8 ft	
1167.02(f)(1)	REAR SETBACK - BLDG	90 ft	131.2 ft	
171.11(e)(2)B.	REAR SETBACK - PARKING	15 ft	14.5 ft*	
1171.11 (6) PARKING REQUIREMENT		1 space per 50 sq ft floor area	36 SPACES**	
		86 SPACE REQ.		
1171.11 (6)	MIN. # OF STACKING SPACES (DRIVE-THRU)	6 (25 ft from R district)	15	

* Rear Parking Setback Variance needed for 0.5 ft, from required 15 ft. to 14.5 ft.

** Parking Space Requirement Variance needed for 50 spaces, from required 86 spaces to 36 spaces.

3 ADA ACCESSIBLE PARKING SYMBOL PER DT. 3 ON SHT. C7.2

(9) GREASE INTERCEPTOR (SEE UTILITY PLAN, SHT. C4.0)

RECEIVED

JAN 1 5 2021



RAISING CANE'S RESTAURANT 597 AURORA ROAD MACEDONIA, OH 44056 PROTOTYPE P4E - V - AV SCHEME: STANDARD - B RESTAURANT #RCO51 VERSION 2020-2.0 RELEASE 7.14.2020

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PERMIT SET

NGINEER INFORMATION:



JEFFREY M. PLAUTZ

SHEET REVISIONS						
#	DATE	TYPE				
1	12/11/20	REVISION 1				
2	1/13/21	REVISION 2				
3						
4						
5						
6						
7						
8						
9						
10						
	SI	TE LAYOUT PLAN				

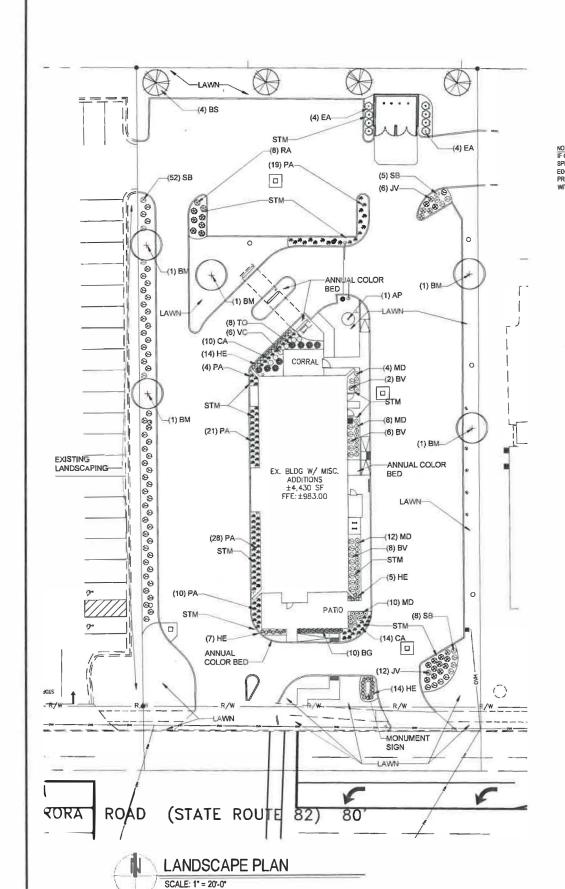
C5.0

JOB NO.

SHEET NO.

PERMIT DATE 11/04/20

20196





PLANT UPRIGHT; REMOVE DEAD OR DYING GROWTH. 2"-3" LAYER OF MULCH OVER ENTIRE BED. DO NOT COVER PLANT CROWNS. SCARIFY BOTTOM &

SIDES OF BED.

LIGHTLY COMPACTED SUBGRADE.

STAGGER PLANTS EQUALLY TO DIMENSIONS SPECIFIED ON PLANS.

STM Stone mulch

INSTALL TREE UPRIGHT

AMENDED SOIL BACKFILL.

GROUNDCOVER PLANTING

NOTE: IF CONTAINER GROWN, SPLIT OR FRAY ROOTS PRUNE, THIN OUT AND SHAPE AS REQUIRED. DO NOT PRUNE LEADER. PLANT SHRUB UPRIGHT, TOP OF EDGE OF PLANTS PRIOR TO PLANTING ROOTBALL TO BEAR SAME RELATIONSHIP TO FINISH GRADE AS 3°LAYEROFMULCH OVER ENTIRE BED. DO NOT COVER SHRUB BASE. ORGANICALLY AMENDED SOIL AROUND LENGTH AND WIDTH OF SHRUB IF NATURAL OR BURLAP ROOTBAL REMOVE TOP % AND LAY DOWN SIDES, REMOVE ALL NAILS, STAPLES PINS. ETC. PRIOR TO INSTALLATION 6° DEEP DRAINAGE TROUGH AROUND BOTTOM OF PIT.

LOOSEN SOIL AROUND SIDES AND AT BOTTOM OF PIT PRIOR TO INSTALLATION.

PRUNE, THIN OUT AND SHAPE AS REQUIRED. DO NOT PRUNE LEADER.

PROVIDE 2" CLEARANCE FROM TREE TRUNK,

3" DEEP MULCH LAYER, CREATE SAUCER FOR WATER RETENTION AROUND ENTIRE PIT EDGES.

SEE PLAN FOR SURROUNDING VEGETATION.

IF BURLAP ROOTBALL REMOVE TOP
X AND LAY DOWN SIDES, REMOVE ALL NAILS, STAPLES, PINS, ETC.
PRIOR TO INSTALLATION.

6° DEEP DRAINAGE TROUGH AROUND BOTTOM OF PIT.
LOOSEN SOIL AROUND SIDES AND AT BOTTOM OF PIT PRIOR TO INSTALLATION.

TREE PLANTING

N,T.S.

SHRUB PLANTING

N.T.S.



NOTE: ALL ANNUAL COLOR BEDS TO BE MULCHEDWITH BLACK HARDWOOD MULCH

typical color bed

RECEIVED

JAN 1 5 2021

PLANT LIST - SUMMARY TABLE SCIENTIFIC NAME SIZE CONDITION KEY QTY COMMON NAME REMARKS TREES | Inaba Shidare Laceleaf Maple | 2.0° cal. | B&B | As Shown | Brandywine Red Maple | 1.5° cal. | B&B | Narrow upright oval maluring to 30°x15° AP Acer pal. dis. Inaba Shidare BM 5 Acer rubrum 7'ht. B&B SHRUBS 36" ht. B&B 36°O.C 8 Euonymus alatus 'Compactus' Dwarf Burning Bush TO 8 Thuja accidentalis 'Ernerald' Emerald Arborvitae 7 ht. B&B 36" O,C. / As Shown B&B 18 Juniperus virginiana 'Grey Owl' Grey Owl Juniper 3 gal. As Shown BG 10 Buxus x 'Green Mountain B&B Green Mountain Boxw 36°ht. B&B 16 Buxus miorophylla 'Green Velvet Green Velvet Boxwood 18° ht. As Shown SB 65 Spirea x burnalda 'Goldflarne' Goldflame Spirea #3 cont. As Shown 6 Viburnum carlesii Koreanspice Vibumun #5 cont. 5 gal. RA | 8 | Rhus aromatica 'Gro Low' 24° ht. 36" O.C. Gro Low Sumac #3 cont. 82 Panicum Virgatum 'Rotstrahlbusch' Red Rays Switch Grass 1 gal. #1 cont. As Shown CA 24 Calamagrostis acutiflora "Karl Foerster" | Feather Reed Grass 1 gal. #1 cont. | As Shown PERENNIALS MD 34 NepetaFaassenii Junior Walker Nepela 1 gal. #1 cont. As Shown HE 40 Hemerocalis 'Happy Returns Happy Returns Daylily 1 gal. #1 cont. As Shown MULCH BEDS Hardwood mulch Note that all beds are to be black hardwood mulch unless noted "STM

LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND VERIFYING ALL PLANT MATERIAL SHOWN ON THE PLANS, ANY PLANT MATERIAL SUBSTITUTIONS TO BE VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
- 2. CONTRACTOR TO PROVIDE DOUBLE SHREDDED MULCH PER DETALS AND SPECIFICATIONS AT ALL PLANTING BESS, PROVIDE A MIN. 3 DIAMETER MULCHBED AROUND EACH INDIVIDUAL TIREL DOCATED IN MANICURED LAWNISEED AREAS UNLESS TREES ARE INCORPORATED IN A PLANTING BED. FOR TREES LOCATED IN A MULDELOWER PLANTING AREAS, PROVIDE A MIN. 5 DIAMETER MULCH BED. AROUND EACH INDIVIDUAL TREE, MULCH OLO OR SHALL BE NATURLA HON DOT DYEE, AND MATCH EUSTINGBEDS UNLESS OTHERWISE SPECIFIED BY THE OWNER, CONTRACTOR SHALL SUBMIT MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO GODERING.
- ONCE FINAL GRADE ISESTABLISHED, ALL PLANTING BEDS SHALL RECEIVE 6" DEPTH OF PLANTING SOIL MIX
 PER THE SPECIFICATIONS AND DETAILS, ALL SEEDED AREAS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL
 PER THE SPECIFICATIONS. SALVAGED OR EXISTING TOPSOIL CAN BE REJUSED IF SPECIFICATIONS ARE MET
 AND IS APPROVED BY OWNER.
- PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE EXISTING DRAINAGE PATTERN ON SITE.
 THIS INCLUDES BUT IS NOT LIMITED TO PLACING PLANT MATERIALS IN OR NEAR SWALES OR CREATING
 MOUNDS THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL AND SEEDED AREAS UNTIL SUBSTANTIAL COMPLETION OF PROJECT. SLOW RELEASE WATERING BASS SHOULD BE USED ON ALL TREE.
- ALLMA TERIALS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- 12. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED UTILITY ROUTINGS AND LOCATING ALL EXISTING UNDERGROUND UTILITIES, CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK, LOCATIONS OF EXISTING SWIEDD UTILITY LINES SHOWN ON THE PLANSARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 11) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPARANY AND ALL DAMAGE TO UTILITIES, SITUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- 14. APPLY A PRE-EMERGENT HERBICIDE, PENDIMETHALIN OR OXADIAZON OR APPROVED SIMILAR, TO TREE, SHRUB, AND GROUNDCOVER AREAS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. DO NOT APPLY TO SEEDED AREAS.

LAWN SEED MIX

AREAS LABELED AS "LAWN" TO BE SEEDED PER SPECIFICATIONS BELOW, SIMILAR MIXES NEED TO BE FORMALLY SUBMITTED FOR APPROVAL TO ARCHITECT

RATE: 5-6 LBS PER 1000 SF

GRASS TYPE PERCENT
TALL FESCUE 100%
TURF MUST BE SALT, DROUGHT, AND TRAFFIC RESISTANT

Raising

CHICKEN FINGERS

Restauran Support Office

RESTAURANT
597 AURORA ROAD
MACEDONIA, 044056
PROTOTYPE P4E - V - AV
SCHEME: STANDARD - B
STORE #RCO51
VERSION 2020-2.0



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PERMIT SET

ENGINEER INFORMAT



DEVELOPMENT GROUP

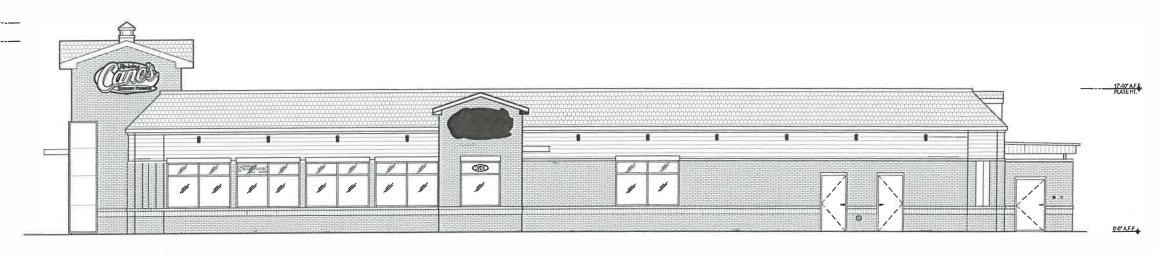
1062 Ridge Street Columbus, Ohio 45215
p. 888.543.5592 www.olodevyrp.com

	*	ANDREWA. HUBER
	AND	PRED ARCHIO
SHE	ET REVIS	SIONS
#	DATE	TYPE

PERMIT DATE 11/04/20

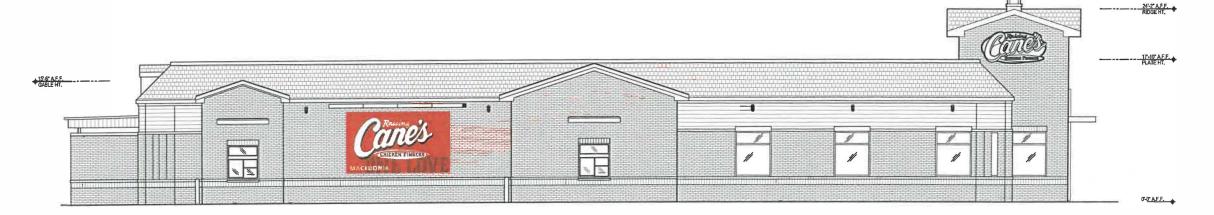
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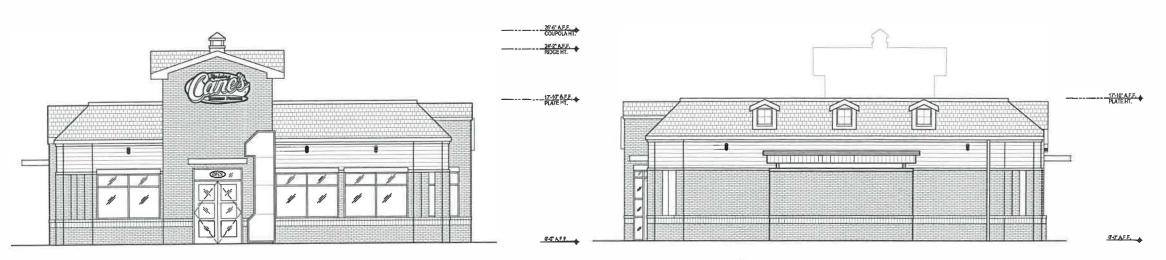
1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

+26-6 AF.F. COUPOLAHT. NIDGEHT.



WEST ELEVATION

SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/16" = 1-0"

A4.10 SCALE: 3/16" = 1'-0"



RAISING CANE'S
RESTAURANT
597 AURORA ROAD
MACEDONIA, OH 44056
PROTOTYPE P4E - V - AV
SCHEME: STANDARD - B
RESTAURANT #RCO51
VERSION 2020-2.0 RELEASE 7,14.2020



26'-6" A.F.F.

ENGINEER INFORMATION:

SHEET RE	EVISIONS					
# DA1	TE TYPE					
1						
2						
3						
4						
5						
6						
7						
8						
9						
10						
PROPOSED EXTERIOR ELEVATIONS						
PERMIT	DATE 1/14/21					
TOB NO	20196					

A4.10

Description		THE TANK	1. 12 15	101 12	1-1153		1000	THE WAY		1907/1-19
Symbol	Label	Quantity	Manufactur er	Catalog Number	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
	A	5	LSI INDUSTRIES , INC.	SLM-LED-18L- -SIL-FT-50- 70CRI	LED	1	19669	8.0	148.5	25'
0	В	1	LSI INDUSTRIES , INC.	SLM-LED-18L- -SIL-FT-50- 70CRI	LED	1	19669	0.8	297	25'

1 0.20.20.20.30.30.30.30.30.20.20.20.20.20.20.30.30.40.40.50.50.50.60.60.60.50.50.40.30.30.20.20.20.40.40. 0.40.40.50,50.60,60.60,60.60,60.60,60.60,60.70,70.70,80.80,91.01,01,11.11.11.11.10.60.70.70.60.50.4 0.50,50.60,70.80,80.80,80.80,90.90,90.90,90.90,91.01,01.11,21.21,31,31.41.41.41,31,21.10.90.80,70.5 0.6d70.80 91.01 01.11 11.11 11.11 11.21 21.21 31.41 41.51 51 61.11.71 77 61 61.41.21.00.90 6 0.70.81.01 11.21 31.31 41.41 41.41 41.41 41.41 41.41 51.51 61.71 71.81 81.91.91.91 81.61.51.31.21.00.7 0.91.21.51.71.82.02.22.42.52.52.52.52.52.52.52.52.42.32.32.42.42.42.32.32.32.32.1.91.71.71.71.61.41.2 0.91.31.61.81.92.02.22.42.52.52.62.62.62.62.62.52.62.42.32.42.52.52.42.32.32.42.31.91.71.82.02.11.91.6 0.91.31.61.81.92.02.12.32.52.72.92.92.92.82.52.42.32.32.42.52.62.42.32.32.42.31.91.82.72.52.72.62.0 1 0.81.31.51.71.82.02.22.42.73.33.83.83.83.32.72.42.32.32.42.42.42.22.32.42.42.02.02.42.93.13.12.8 0.81.11.41.61.71.92.32.83.44.14.54.64.54.13.42.82.42.22.22.42.42.42.22.32.42.42.12.32.73.03.13.32.7
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0.50.70.91.01.11.31.41.41.31.21.10.90.70.60.50.40.40.50.60.70.91.01.21.31.31.31.21.00.90.80.80.50.5 0.40.50.60.70.81.01.11.11.11.00.90.80.60.50.40.40.40.40.40.50.60.70.80.91.01.01.00.90.70.70.60.50.3 0.30.30.40.50.50.60.70.80.80.80.70.60.50.40.40.30.30.30.40.40.50.60.60.70.70.70.60.50.50.40.40.30.2

AURORA ROAD (STATE ROUTE 82) 80'



Raising Cane's Chicken Fingers - Macedonia 597 Aurora Road Macedonia, Ohio 44056

Date

Plan

01/13/2021

Site Lighting

1 of 1