

**MACEDONIA PLANNING COMMISSION  
VIRTUAL MEETING AGENDA  
FEBRUARY 8, 2021**

**Location:** Macedonia City Hall  
Council Chambers  
9691 Valley View road  
Macedonia, Ohio 44056

**Time:** 5:30 P.M.

**Call to Order**

**Roll Call:**

- Mr. Westbrooks
- Mr. Schiavone
- Mr. Cox
- Mr. Velotta
- Mr. Roberts

**Approval of the January 11, 2021 meeting minutes.**

**Agenda Items:**

- 1) Mr. Gatliff with OLIO Development is proposing renovation of the existing building located at 597 E. Aurora Rd. for Raising Cane's Chicken Fingers restaurant.

Drew Gatliff  
OLIO Development  
1062 Ridge St.  
Columbus, Oh 43215  
419-306-4024  
dgatliff@oliodevgrp.com

**Miscellaneous:**

**Adjournment**

**Tabled Items:**

6/15/2020 Proposed New Building for Don Basch Jewelers located at Parcel #'s 3303733, 3301996, 3303238, 3302000, 3303240 and 3303242 located on Fairlane Dr.

**The next regularly scheduled meeting is set for March 15, 2021.**  
**All requests & documentation for the Planning Commission must be submitted by February 19, 2021**  
**Tabled items will be removed after one (1) year of inactivity.**

RECEIVED

JAN 15 2021

CITY OF MACEDONIA  
BUILDING DEPARTMENT



# City of Macedonia

## Building, Engineering, Zoning & Planning Dept.

*The Crossroads of Northeast Ohio*

9691 Valley View Road • Macedonia, Ohio 44056

330 / 468-8360 • Fax: 330 / 468-8396

### APPLICATION FOR HEARING BEFORE THE MACEDONIA PLANNING COMMISSION

**ALL PLANS FOR SUBMITTAL MUST BE FOLDED. NO ROLLED PLANS WILL BE ACCEPTED.**

**DATE OF APPLICATION:** November 19, 2020

**LOCATION OF PROPERTY INVOLVED:** 597 E Aurora Road

**NATURE OF REQUEST:** Renovation of existing building

**APPLICANT NAME & PHONE:** Drew Gatliff - OLIO Development - (419) 306-4024

**APPLICANT ADDRESS:** 1062 Ridge Street | Columbus, OH 43215

**APPLICANT EMAIL ADDRESS:** dqatliff@oliodevgrp.com

**APPLICANT SIGNATURE:** \_\_\_\_\_

**NOTES:**  
We are proposing to renovate the existing Steak N' Shake into a Raising Cane's Chicken Fingers restaurant. We will be modifying the site to accommodate a double drive-thru

**MEETING DATE:** \_\_\_\_\_ **FILING FEE:** \_\_\_\_\_

Deadline for submitting applications is 21 DAYS prior to meeting date. When applying for a hearing, please furnish THIRTEEN sets of sketches, maps, drawings, descriptions, or photographs of the property in question. THIRTEEN copies of the site plan are required. PLANS MUST BE FOLDED, NOT ROLLED. No rolled plans will be accepted. If new construction is involved, a landscape and signage plan should be prepared. This application is for the purpose of scheduling and planning the time of the Macedonia Planning Commission. It is the Commission's desire to serve each applicant with a minimum of delay.

**PLEASE NOTE: PERMIT FEES ARE NOT INCLUDED IN THE FILING FEE. ADDITIONAL FEES MAY BE REQUIRED.**

The Macedonia Planning Commission meets on the 3<sup>rd</sup> Monday of each month.

**Make checks payable to:**  
City of Macedonia

**Please submit plans to:**  
Macedonia Building Department  
9691 Valley View Rd.  
Macedonia, OH 44056

RESIDENTIAL ZONING



**ZONING INFORMATION**

CURRENT ZONING - CONVENIENCE BUSINESS DISTRICT "B-1"

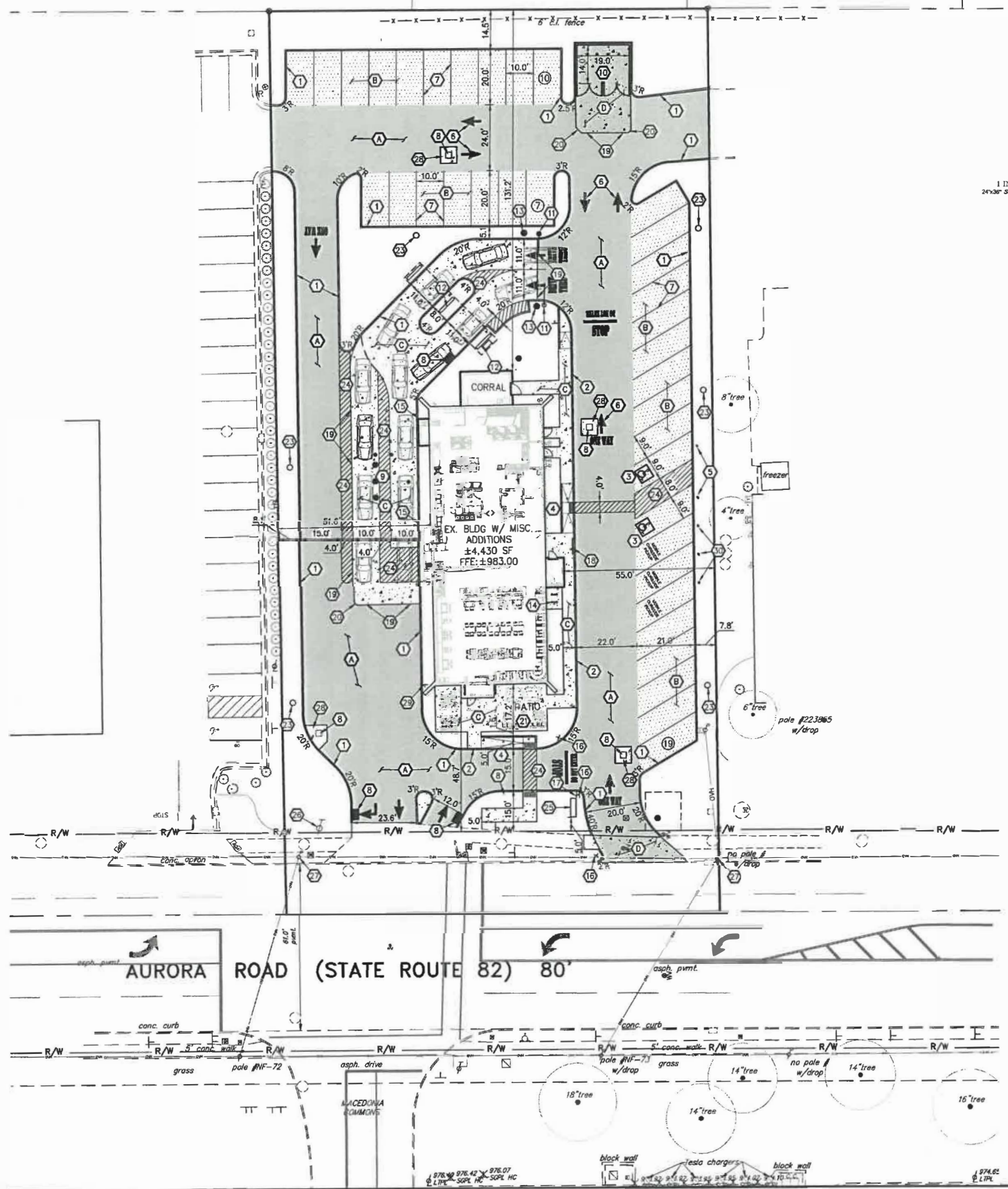
CODE SECTION	SUBJECT	REQUIRED BY ZONING CODE	PROVIDED
1167.02(g)	MAX. HT. OF BLDG	45 ft	TBD
1167.02(j)	MIN LOT FRONTAGE	100 ft	156.6 ft
1167.02(l)	MIN LOT AREA	20,000 sq ft	52,503 sq ft
1167.02(e)	FRONT YARD SETBACK - BLDG (FROM R/W)	35 ft	48.7 ft
1171.11(e)(2)A	FRONT YARD SETBACK - PARKING (FROM R/W)	20 ft	21.4 ft
1167.02(f)(1)	SIDE SETBACK - BLDG	10 ft	51.0 ft
1171.11(a)(2)	SIDE SETBACK - PARKING	0 ft	6.8 ft
1167.02(f)(1)	REAR SETBACK - BLDG	90 ft	131.2 ft
1171.11(a)(2)B	REAR SETBACK - PARKING	15 ft	14.5 ft*
1171.11 (6)	PARKING REQUIREMENT	1 space per 50 sq ft floor area	36 SPACES**
		86 SPACE REQ.	
1171.11 (6)	MIN. # OF STACKING SPACES (DRIVE-THRU)	6 (25 ft from R district)	15

- \* Rear Parking Setback Variance needed for 0.5 ft, from required 15 ft. to 14.5 ft.
- \*\* Parking Space Requirement Variance needed for 50 spaces, from required 86 spaces to 36 spaces.

**KEY NOTES**

- 5" VERTICAL CONCRETE CURB PER DT. 9 ON SHT. C7.0
- CURB AND WALK PER DT. 8 ON SHT. C7.0
- ADA ACCESSIBLE PARKING SYMBOL PER DT. 3 ON SHT. C7.2
- ADA ACCESSIBLE RAMP, PER DT. 1 ON SHT. C7.2
- ACCESSIBLE PARKING SIGN PER DT. 8 ON SHT. C7.0
- LOT TRAFFIC FLOW ARROW (SOLID) PER DT. 3 ON SHT. C7.2
- PARKING STRIPE (1) 4"WD. SOLID WHITE
- UTILITY STRUCTURE (SEE UTILITY PLAN, SHT. C4.0)
- GREASE INTERCEPTOR (SEE UTILITY PLAN, SHT. C4.0)
- DUMPSTER LOCATION, SEE ARCH. DRAWINGS FOR DETAILS.
- HEIGHT DELINEATOR BAR (SEE ARCH. DRAWINGS)
- ORDER BOARD (SEE ARCH. DRAWINGS)
- PREVIEW BOARD (SEE ARCH. DRAWINGS)
- BIKE RACK PER DT. 4 ON SHT. C7.2
- BOLLARD (SEE ARCH. DRAWINGS)
- "DO NOT ENTER" SIGN
- "STOP" SIGN
- SIDEWALK GUARD RAIL, PER DT. 5 ON SHT. C7.1.
- FLUSH CONCRETE PAVEMENT AT ASPHALT EDGE, PER DT. 4 ON SHT. C7.0. PROVIDE TOOLED EDGE AT CONCRETE SLAB
- CHAMFER CONCRETE CORNER
- PATIO AREA W/ THICKENED SLAB, SEE ARCH. PLANS FOR SLAB, SAWCUTTING, & STAINED CONC. DETAILS.
- CONCRETE MOUNTABLE CURB, PER DET. X, SHT. CX.X
- LIGHT POLE FOUNDATION, SEE STRUCTURAL & ELECTRICAL PLANS
- TRANSVERSE STRIPING- 4"WD. SOLID WHITE STRIPES @ 45'
- MONUMENT SIGN, SEE ARCH. PLANS.
- EXISTING TRAFFIC SIGNAL POLE, TO REMAIN.
- EXISTING POWER UTILITY POLE, TO REMAIN.
- MIN. 2' CONCRETE COLLAR AROUND EX. STORM STRUCTURE.
- "WATCH FOR PEDESTRIANS" SIGN
- "MOBILE CURBSIDE PICKUP" SIGN

- A HEAVY DUTY ASPHALT PAVEMENT PER DT. 1 ON SHT. C7.0
- B STANDARD DUTY ASPHALT PAVEMENT PER DT. 2 ON SHT. C7.0
- C CONCRETE PAVEMENT/SIDEWALK, PER DTS. 4, 5, 6, & 8 ON SHT. C7.0
- D HEAVY DUTY CONCRETE PAVEMENT, PER DT. 3 ON SHT. C7.0



STORE:  
**RAISING CANE'S RESTAURANT**  
 597 AURORA ROAD  
 MACEDONIA, OH 44056  
 PROTOTYPE P4E - V - AV  
 SCHEME: STANDARD - B  
 RESTAURANT #RCO51  
 VERSION 2020-2.0 RELEASE 7.14.2020



This document ("Instrument of Service") was prepared by ADA Architects, Inc. ("ADA") specifically for the referenced project and is not intended for any other use. ADA retains all common law, statutory and other reserved rights, including copyrights. The Instrument of Service shall not be used on other projects, for additions to this project or for completion of this project by others without ADA's prior written consent. Any unauthorized use of the Instrument of Service shall be at the User's sole risk and without liability to ADA. ADA makes no warranties, express or implied, of merchantability or of fitness for a particular purpose.

**PERMIT SET**

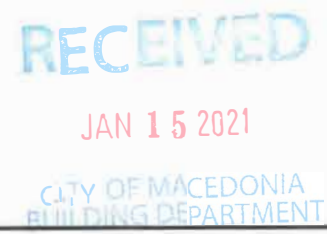


SHEET REVISIONS

#	DATE	TYPE
1	12/1/20	REVISION 1
2	1/13/21	REVISION 2
3		
4		
5		
6		
7		
8		
9		
10		

**SITE LAYOUT PLAN**

PERMIT DATE 11/04/20  
 JOB NO. 20196  
**C5.0**  
 SHEET NO.

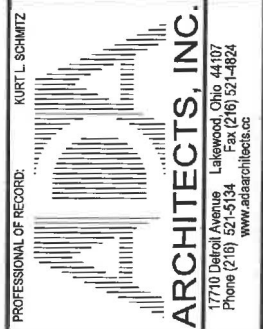


N:\LAND DEVELOPMENT\PM\11190011 Raising Cane's - Macedonia\AutoCAD\11190011-C.dwg, 11/02/2021 11:13:46 AM, gweilch



Restaurant Support Office  
6800 Bishop Road, Plain, TX 75024  
Tel: 972-769-3100 Fax: 972-769-3101

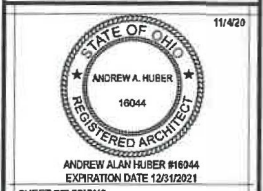
STORE: **RAISING CANE'S RESTAURANT**  
597 AURORA ROAD  
MACEDONIA, OH 44056  
PROTOTYPE PAE - V - AV  
SCHEME: STANDARD - B  
STORE #RC051  
VERSION 2020-2.0



This document ("Instrument of Service") was prepared by ADAArchitects, Inc. ("ADAA") specifically for the intended project and is not intended for any other use. ADAA retains all common law, statutory and other reserved rights, including copyrights. This Instrument of Service shall not be used on other projects, for additions to this project or for completion of this project by others without ADAA's prior written consent. Any unauthorized use of this Instrument of Service shall be at the User's sole risk and without liability to ADAA. ADAA makes no warranties, express or implied, of merchantability or of fitness for a particular purpose.

PERMIT SET

ENGINEER INFORMATION:  
**OLIO**  
DEVELOPMENT GROUP  
1062 Ridge Street Columbus Ohio 43215  
p. 608.543.5592 www.olioenv.com



SHEET REVISIONS

#	DATE	TYPE
1	1/13/2021	REVISION 2
2		
3		
4		
5		
6		
7		
8		
9		
10		

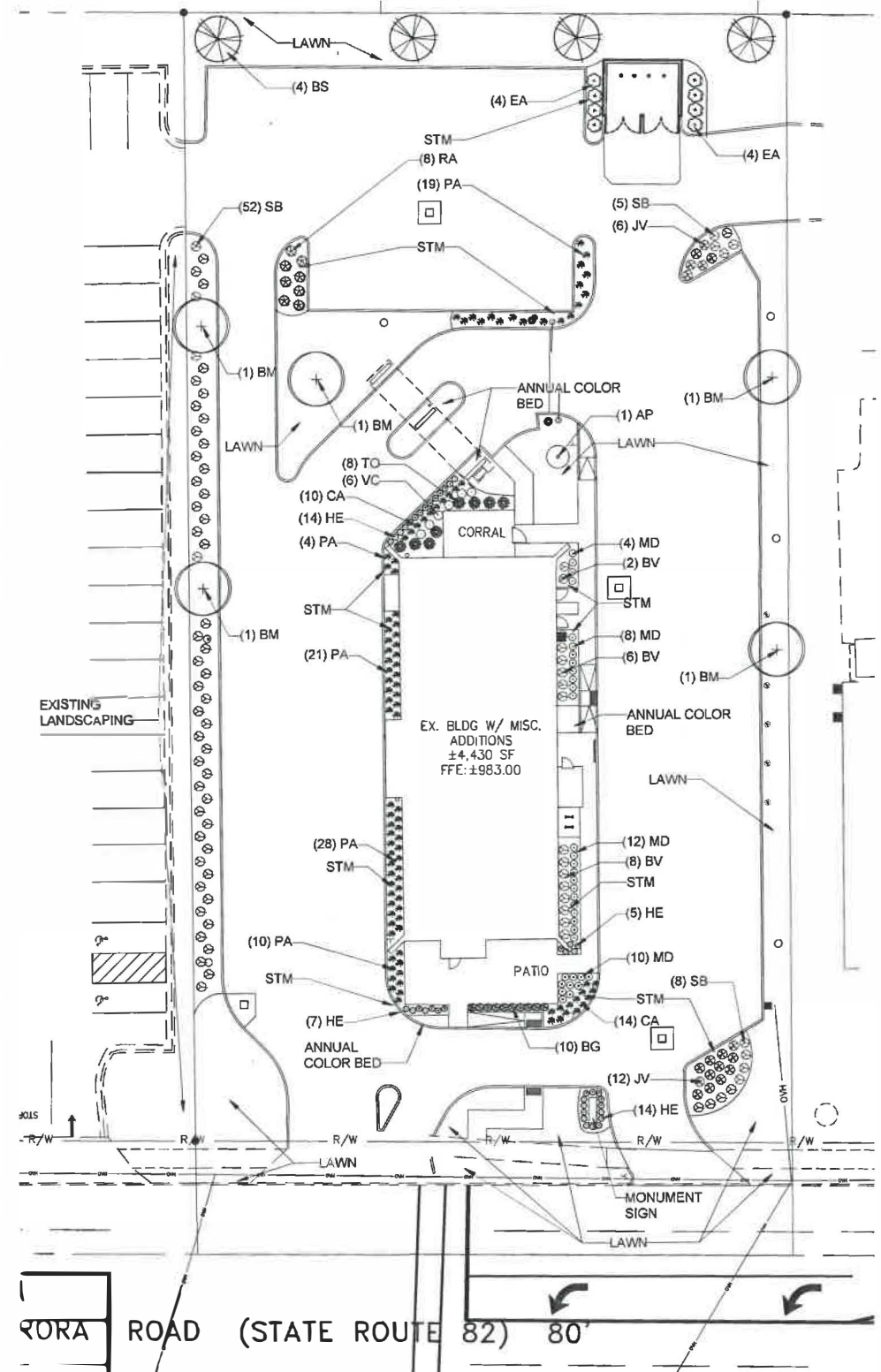
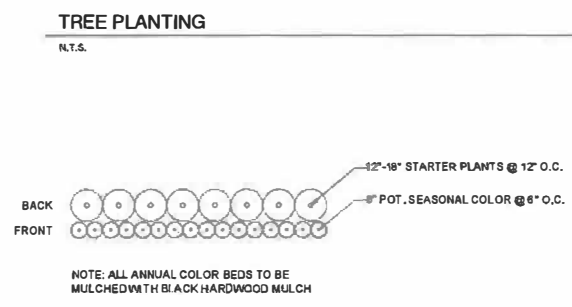
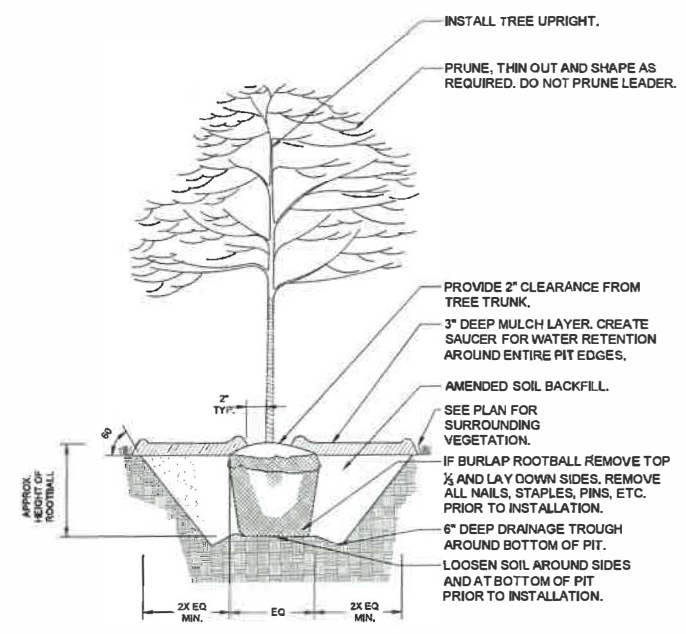
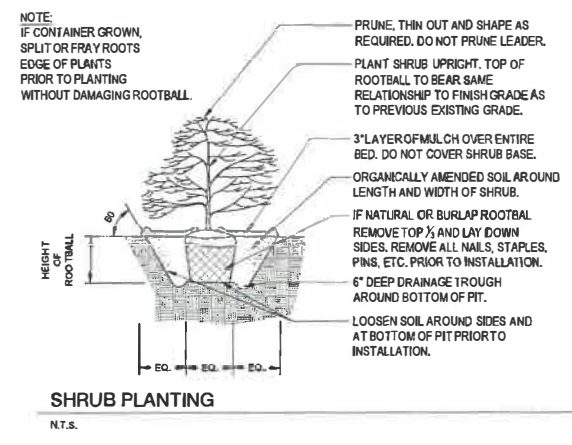
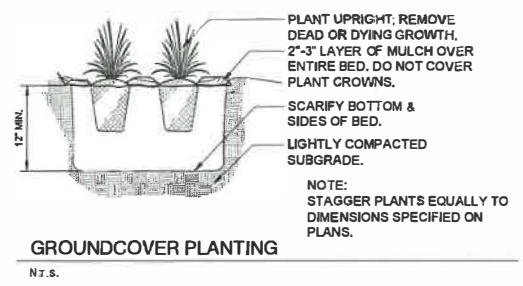
LANDSCAPE PLAN

PERMIT DATE 11/04/20  
JOB NO. 20196

**L1.0**  
SHEET NO.

PLANT LIST - SUMMARY TABLE

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	REMARKS
<b>TREES</b>						
AP	1	Acer pal. dis. 'Inaba Shidare'	Inaba Shidare Laceleaf Maple	2.0' cal.	B&B	As Shown
BM	5	Acer rubrum	Brandywine Red Maple	1.5" cal.	B&B	Narrow upright oval maturing to 30'x15'
BS	4	Picea pungens	Colorado Blue Spruce	7'ht.	B&B	As Shown
<b>SHRUBS</b>						
EA	8	Euonymus alatus 'Compactus'	Dwarf Burning Bush	36" ht.	B&B	36" O.C.
TO	8	Thuja occidentalis 'Emerald'	Emerald Arborvitae	7' ht.	B&B	36" O.C. / As Shown
JV	18	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	3 gal.	B&B	As Shown
BG	10	Buxus x 'Green Mountain'	Green Mountain Boxwood	36" ht.	B&B	24" O.C.
BV	16	Buxus microphylla 'Green Velvet'	Green Velvet Boxwood	18" ht.	B&B	As Shown
SB	65	Spirea x bumalda 'Goldflame'	Goldflame Spirea	36" ht.	#3 cont.	As Shown
VC	6	Viburnum carlesii	Koreanspice Viburnum	5 gal.	#5 cont.	36" O.C.
RA	8	Rhus aromatica 'Gro Low'	Gro Low Sumac	24" ht.	#3 cont.	36" O.C.
PA	82	Panicum Virgatum 'Rotstrahlbusch'	Red Rays Switch Grass	1 gal.	#1 cont.	As Shown
CA	24	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	#1 cont.	As Shown
<b>PERENNIALS</b>						
MD	34	Nepeta Faassenii	Junior Walker Nepeta	1 gal.	#1 cont.	As Shown
HE	40	Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal.	#1 cont.	As Shown
<b>MULCH BEDS</b>						
HWM		Hardwood mulch	Note that all beds are to be black hardwood mulch unless noted 'STM'			
STM		Stone mulch				



**LANDSCAPE PLAN**  
SCALE: 1" = 20'-0"

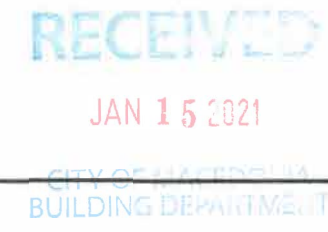
- LANDSCAPE NOTES
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND VERIFYING ALL PLANT MATERIAL SHOWN ON THE PLANS. ANY PLANT MATERIAL SUBSTITUTIONS TO BE VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
  - CONTRACTOR TO PROVIDE DOUBLE SHREDDED MULCH PER DETAILS AND SPECIFICATIONS AT ALL PLANTING BEDS. PROVIDE A MIN. 3" DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE LOCATED IN MANICURED LAWNSEED AREAS UNLESS TREES ARE INCORPORATED IN A PLANTING BED. FOR TREES LOCATED IN A MULCH LOWER PLANTING AREAS, PROVIDE A MIN. 5" DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE. MULCH COLOR SHALL BE NATURAL AND NOT DYED, AND MATCH EXISTING BEDS UNLESS OTHERWISE SPECIFIED BY THE OWNER. CONTRACTOR SHALL SUBMIT MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO ORDERING.
  - ONCE FINAL GRADE IS ESTABLISHED, ALL PLANTING BEDS SHALL RECEIVE 6" DEPTH OF PLANTING SOIL MIX PER THE SPECIFICATIONS AND DETAILS. ALL SEEDED AREAS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL PER THE SPECIFICATIONS. SALVAGED OR EXISTING TOPSOIL CAN BE RE-USED IF SPECIFICATIONS ARE MET AND IS APPROVED BY OWNER.
  - PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE EXISTING DRAINAGE PATTERN ON SITE. THIS INCLUDES BUT IS NOT LIMITED TO PLACING PLANT MATERIALS IN OR NEAR SWALES OR CREATING MOUNDS THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL AND SEEDED AREAS UNTIL SUBSTANTIAL COMPLETION OF PROJECT. SLOW RELEASE WATERING BAGS SHOULD BE USED ON ALL TREES.
  - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED UTILITY ROUTINGS AND LOCATING ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
  - APPLY A PRE-EMERGENT HERBICIDE, PENDIMETHALIN OR OXADIAZON OR APPROVED SIMILAR, TO TREE, SHRUB, AND GROUND COVER AREAS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. DO NOT APPLY TO SEEDED AREAS.

LAWN SEED MIX

AREAS LABELED AS 'LAWN' TO BE SEEDED PER SPECIFICATIONS BELOW. SIMILAR MIXES NEED TO BE FORMALLY SUBMITTED FOR APPROVAL TO ARCHITECT.

RATE: 5-6 LBS PER 1000 SF

GRASS TYPE	PERCENT
TALL FESCUE	100%
TURF MUST BE SALT, DROUGHT, AND TRAFFIC RESISTANT	





Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-769-3100 Fax: 972-769-3101

STORE:  
**RAISING CANE'S RESTAURANT**  
597 AURORA ROAD  
MACEDONIA, OH 44056  
PROTOTYPE P4E - V - AV  
SCHEME: STANDARD - B  
RESTAURANT #RC051  
VERSION 2020-2.0 RELEASE 7.14.2020

PROFESSIONAL OF RECORD:  
KURT L. SCHMITZ  
**ARCHITECTS, INC.**  
17710 Detroit Avenue Lakewood, Ohio 44107  
Phone (216) 521-5134 Fax (216) 521-4824  
www.adaarchitects.com

This document ("Instrument of Service") was prepared by ADA Architects, Inc. ("ADA") specifically for the referenced project and is not to be used for any other use. ADA retains a copyright in this document and all rights therein. Any use of this document for any other project, for additions to this project or for completion of this project by others without ADA's prior written consent. Any unauthorized use of this Instrument of Service shall be a breach of the Instrument of Service. ADA makes no warranties, express or implied, of merchantability or of fitness for a particular purpose.

ENGINEER INFORMATION:

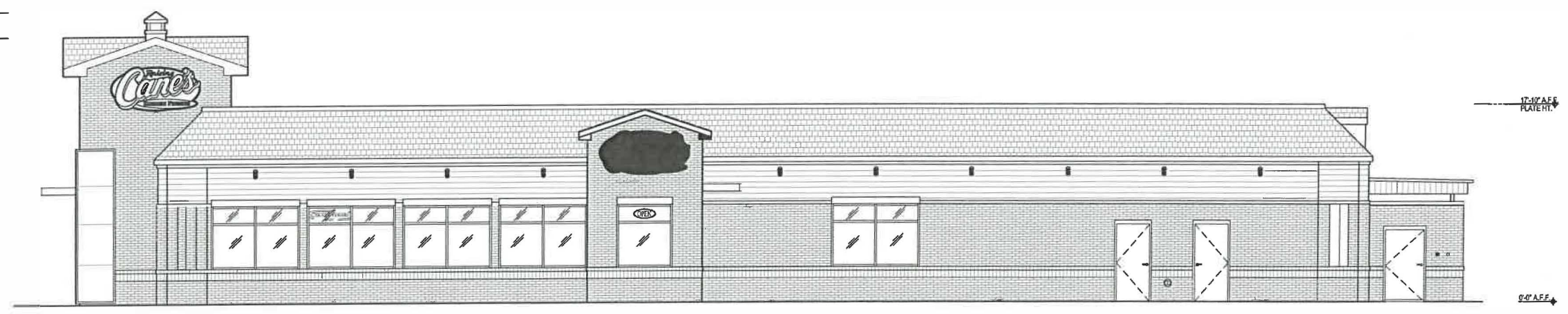
SHEET REVISIONS		
#	DATE	TYPE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

**PROPOSED EXTERIOR ELEVATIONS**

PERMIT DATE 1/14/21  
JOB NO. 20196

**A4.10**  
SHEET NO.

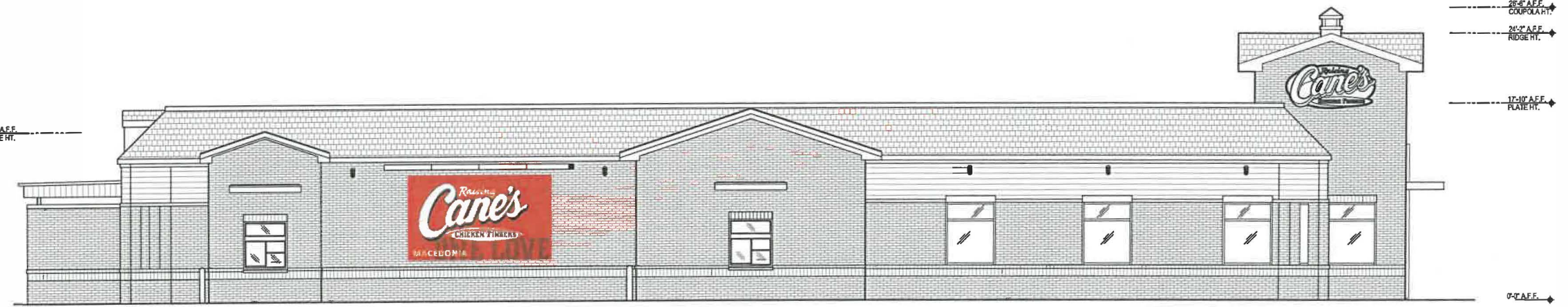
28'-6" AFF. COUPOLA HT.  
24'-2" AFF. RIDGE HT.



1 EAST ELEVATION  
A4.10 SCALE: 3/16" = 1'-0"

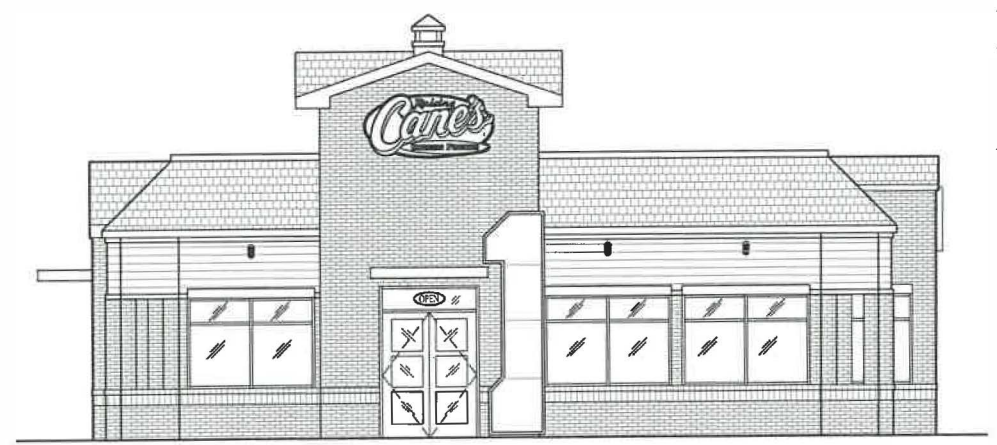
28'-6" AFF. COUPOLA HT.  
24'-2" AFF. RIDGE HT.  
17'-10" AFF. PLATE HT.

12'-6" AFF. GABLE HT.



2 WEST ELEVATION  
A4.10 SCALE: 3/16" = 1'-0"

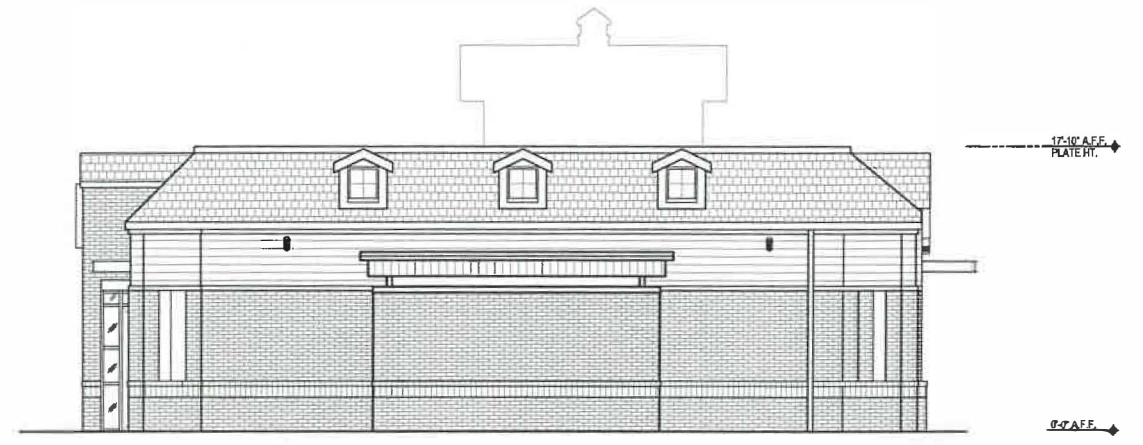
28'-6" AFF. COUPOLA HT.  
24'-2" AFF. RIDGE HT.  
17'-10" AFF. PLATE HT.



3 SOUTH ELEVATION  
A4.10 SCALE: 3/16" = 1'-0"

17'-10" AFF. PLATE HT.

0'-0" AFF.

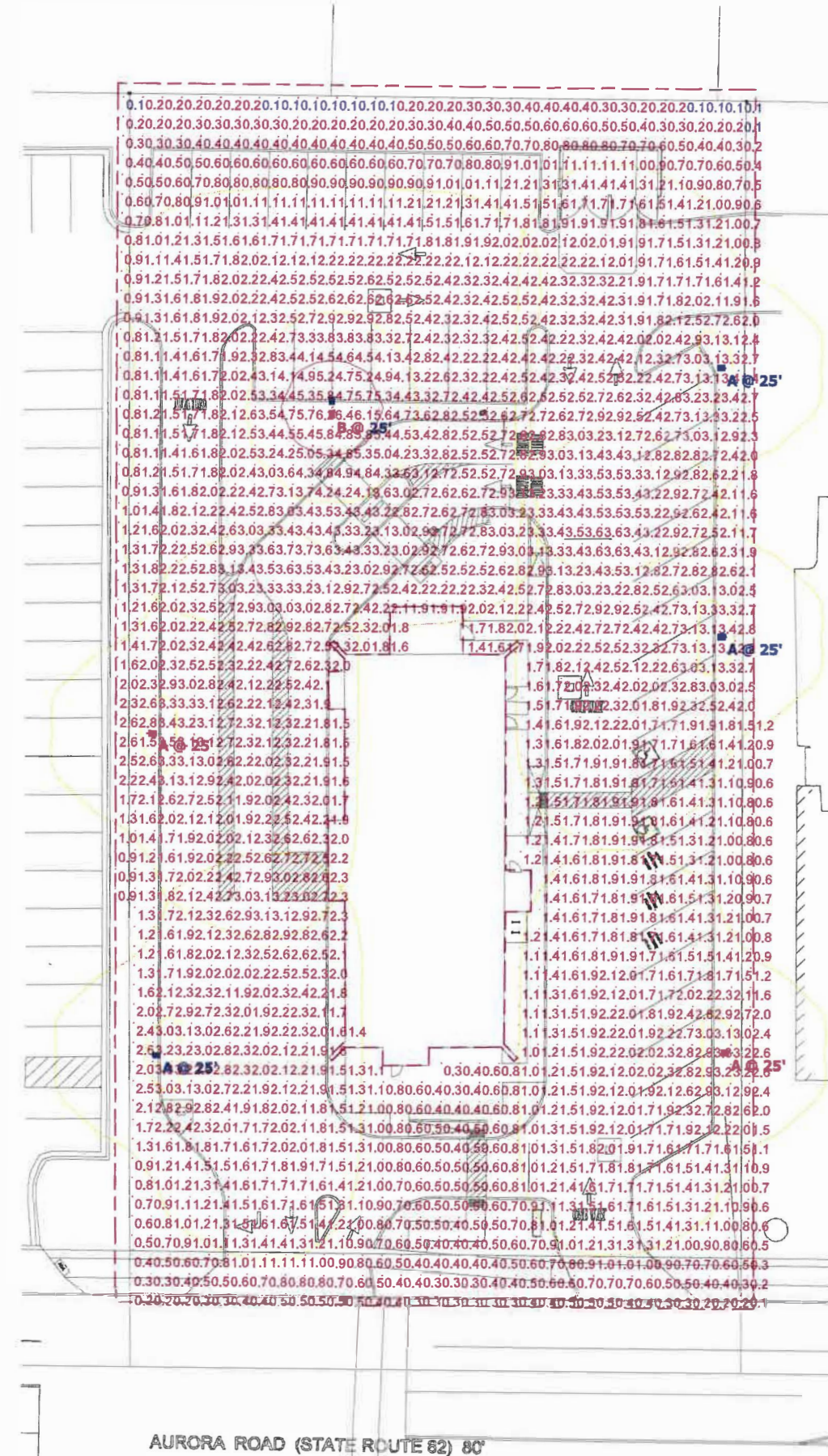


4 NORTH ELEVATION  
A4.10 SCALE: 3/16" = 1'-0"

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	<b>+</b>	1.9 fc	6.4 fc	0.1 fc	64.0:1	19.0:1

Description	Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
		<b>A</b>	5	LSI INDUSTRIES, INC.	SLM-LED-18L-SIL-FT-50-70CRI	LED	1	19669	0.8	148.5	25'
		<b>B</b>	1	LSI INDUSTRIES, INC.	SLM-LED-18L-SIL-FT-50-70CRI	LED	1	19669	0.8	297	25'



DEVELOPMENT GROUP

Raising Cane's Chicken Fingers - Macedonia  
 597 Aurora Road  
 Macedonia, Ohio 44056

Date  
 01/13/2021  
 Site Lighting  
 Plan